



WALHALLA DESIGN, PERMIT AND EXEMPTIONS GUIDE

Incorporating the Walhalla Design and Development Guidelines

*Incorporated Document and Plan, Schedule to Heritage Overlay
(Clause 43.01, Baw Baw Planning Scheme)*



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How to use this Guide

This Guideline is a statutory document, and is required to be complied with like any other part of the planning scheme. The Special Use Zone, the Bushfire Management Overlay and the Heritage Overlay in the Baw Baw Planning Scheme are the primary provisions setting out when development in Walhalla needs a planning permit. This document aims to assist for new development and works to positively enhance Walhalla and its elements as a heritage place

NOTE: This Guide is intended only to provide design advice and vary planning permit requirements under the Heritage Overlay and the Special Use Zone. Refer separately to the planning scheme for permit requirements under the Bushfire Management Overlay, the Rural Flood Overlay or the Land Subject to Inundation Overlay.

Please note building permit requirements are not dealt with in this document.

Use this Guide to:

- Identify the types of development that will be supported;
- Identify which type of development is exempt from planning permit requirements under the Heritage Overlay and the Special Use Zone
- Understand how the building and planning rules apply; and
- Find heritage gradings and advice for heritage places in Walhalla.

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1. Walhalla: Context and Background

1.1 Walhalla at a glance

- Walhalla started as a gold mining town in the 1860s and the heritage buildings and sites in the town are associated with those days.
- The heritage significance of the valley, old buildings and sites in Walhalla are recognised by the planning scheme, which aims to conserve these assets on behalf of the community.
- New works, re-development of sites and new buildings are required visually to fit in with the heritage setting of the town, specifically the 1870-1914 period.
- Environmental hazards like flood and bushfire in and around Walhalla influence the design and materials of new development.
- Land titles and roadway boundaries are sometimes poorly defined on the ground so need to be checked carefully before works begin.
- Walhalla has no reticulated sewerage and water service.
- New buildings can only be built if a suitable on-site waste disposal system can be approved. Lot size, slope of land and proximity to watercourses are all challenges in achieving this.

1.2 Walhalla's heritage and why it is important

- Historically and socially Walhalla is important as a tangible reminder of the settlement associated with Gippsland's richest and most famous goldfield, as well as supporting Victoria's richest ever gold mine, the Long Tunnel Gold Mine and one of the State's richest quartz mining areas.
- Of all the Gippsland towns associated with gold mining, Walhalla was by far the largest and is the only one that has significant surviving built remnants today.
- Although a 'gold town', Walhalla's streetscape in its 1870-1914 heyday was made up of relatively simple buildings and features built of timber, tin and stone. Grand edifices like those found in Ballarat or Melbourne were not a feature. These guidelines seek to continue this simple architectural style of small scale buildings.

1.3 Heritage Gradings

Heritage places are graded into different ranking and the rankings indicate the level of importance of that heritage place. They are, in order from most important to least: Significant, Contributory and Non-contributory.

Tip: When planning works on or adjacent to a Significant or Contributory site, first identify the important features of the place using the Statement of Significance, to design the work so it enhances rather than detracts from these features. Refer to Appendix 2, Heritage Gradings.

1.4 Statement of Desired Sense of Place

The below Statement summarises the aim of planning controls for Walhalla:

"Walhalla's landscape is dominated by steep, treed hillsides rising from a narrow valley floor, but is defined by its built and remnant heritage places. A picturesque setting is created by the buildings from the pre-1914 period, mining relics of mullock heaps and machinery, exotic trees from old gardens, gaps where buildings once stood and dry stone walls are set high and low in the landscape. The winding pathways, deep stream courses and hillsides create a landscape of hidden and revealed views and aspects that contribute to the perception of a landscape to be discovered. Unobtrusive new development, restoration and preservation of heritage places and maintenance and restoration of public plantings and infrastructure play an important part to this natural and heritage landscape."

1.5 Precincts

Precincts identify areas of similar land use or landscape character, based around significant heritage places or functions (eg: gateways), to better manage the heritage landscape. Four precincts have been designated for Walhalla. Refer to Appendix 1, Maps.

1.6 New Development

Due to Walhalla's unique setting, it is important that new development does not diminish the significance of heritage places or the heritage landscape.

Sympathetic infill means new development, either as new buildings, redevelopment or extension of existing ones, is designed so that it does not visually dominate adjacent heritage places or views of heritage places.

Generally this means the new work is of a similar size, roof form, cladding, and proportion as significant and contributory buildings in the precinct.

Reconstruction means returning a place to a known earlier state and is distinguished from restoration by the introduction of new material. This means reconstructing a building on its original site as an authentic replica, externally. The interior can be as desired.

Walhalla has an extensive photographic record from the 1870-1914 era. It shows Walhalla had a mix of simple houses, shops and industrial sites. This record allows historic buildings to be reconstructed accurately.

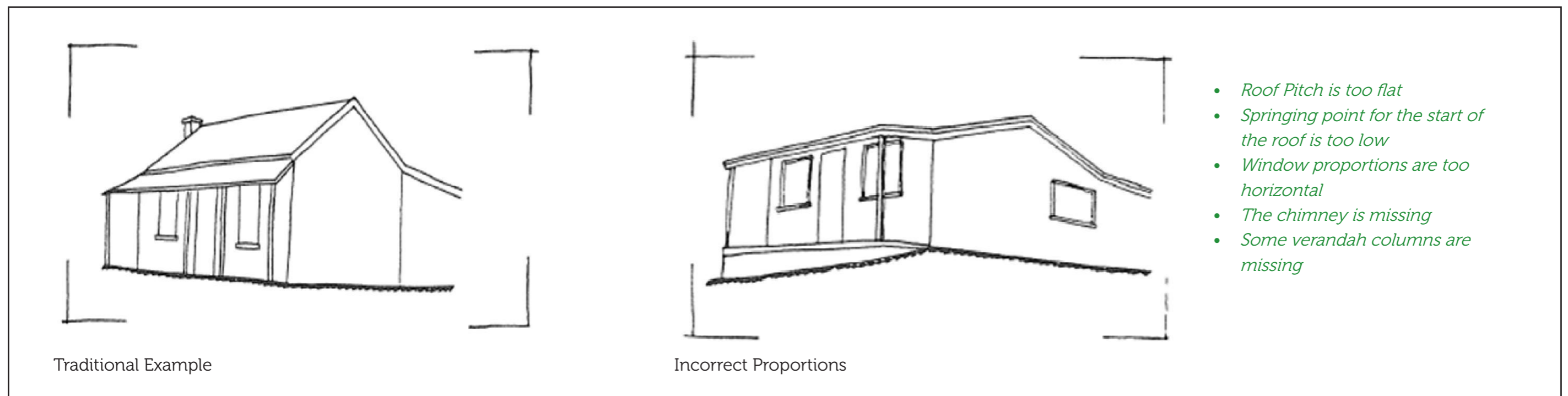
However, it is important that reconstructed buildings are able to be identified as a modern replica, so as not to confuse it for

an authentic heritage place.

Sympathetic infill does not include something that adds reproduced architectural features from a different time or place – for example using fake concrete paving to create a cobblestone appearance. Cobblestones were never a feature in Walhalla. Hence, their use is irrelevant and misleading for those keen to understand the built heritage of Walhalla.

Figure 1 illustrates the difference between sympathetic infill and inappropriate design. Little design changes can make a big difference.

Figure 1



2. Planning and Building Rules

2.1 Plan ahead and save

Walhalla has a unique set of physical characteristics and so planning and building requirements are rigorous and complex. Note these pointers:

- An application that addresses and complies with the preferred styles and designs set out in these guidelines is far more likely to be successful with shorter processing times than one that does not.
- Early consultation with officers from Council and other agencies (e.g. Country Fire Authority (CFA), Department of Environment, Water, Land and Planning (formerly DEPI) is a good way to identify key issues.
- You can apply for a permit as the prospective owner of land, once the owner has signed the application form that he or she is aware of the application.
- A planning application should include written advice on how the development responds to the Statement of Significance (s) applying to the site.

2.2 What you need to know about Planning Permits

The planning permit process considers:

- Streetscape and landscape impact.
- Land use function, cause and effect (e.g. parking, waste management, impact on adjacent land uses).
- Social, environmental and economic considerations, including heritage, bushfire, and waste disposal matters.

- Social and economic considerations.
- Heritage considerations.
- Flooding, waste disposal, bushfire and native vegetation considerations.

The planning permit stage is the one to address bushfire risk. Ask your Council Planner for advice on meeting Planning Scheme requirements on this issue.

2.3 What you need to know about Building Permits

The building permit process considers:

- Structural integrity both under its own weight, and from the effects of fire, wind and water, and
- Functionality of the building over time (light access, ventilation, sanitary requirements, egress, access for all users).
- The effect of environmental hazards such as bushfire, erosion and flooding, all of which are issues in Walhalla.

3. Reference Documents for this Guide

Document Type	Title	When to Use	Where to Find
Statements of significance	<ul style="list-style-type: none"> Baw Baw Heritage Study Volume 2 September 2011 Walhalla Bushfire Heritage and Overlay Review Attachment 1, 2013 	When preparing plans to alter or extend a heritage place or a site next to a heritage place, to understand what is important.	Baw Baw Shire website under 'publications'. If you do not have access to the internet, you can call the Baw Baw Shire Planning Office on 5624 2411 to request a copy.
Image libraries	<ul style="list-style-type: none"> Example: James GF and Lee, C. G. (1970), Walhalla Heyday , Graham Publications, Ringwood, Victoria 	Key reference when designing reconstruction of buildings and signs.	<ul style="list-style-type: none"> Local libraries www.trove.nla.gov.au Bookshops Council customer services centres (sale of books)
Bushfire Planning and Building Guides and Information	Various	When preparing for planning and building applications.	<ul style="list-style-type: none"> Department of Environment, Land, Water and Planning (DELWP) CFA Victorian Building Authority (Australian Standard AS3959)
Heritage Guidelines	Heritage place guidelines - various	Guidelines and fact sheets on managing heritage place issues and preparing designs for heritage places.	Heritage Victoria website and Heritage Victoria office.
Planning Provisions	Baw Baw Planning Scheme	To define when a planning permit is required, and information needs to prepare a planning permit application.	www.planningschemesonline.vic.gov.au or Council's Statutory Planning Team on 5624 2411.
Charter	Burra Charter (2013); The Australian International council on Monuments and Sites.	When learning how heritage conservation works.	Online at http://australia.icomos.org/

4. How to read Permit and Exemption Tables

4.1 Reading the Tables

The tables below set out scenarios to which permit requirements or exemptions apply. The notes qualify the scenario setting, by adding extra detail. The requirements column state if a planning permit is required, what circumstances where a planning permit is not required, and sets out the supported and not supported design solutions.

4.2 Key Terms

Terms from the Burra Charter are marked with an asterisk i.e. *

Place* means a geographically defined area. It may include elements, objects, spaces and views. Place may have tangible and intangible dimensions.

Fabric* means all the physical material of the place including elements, fixtures, contents and objects.

Conservation* means all the processes of looking after a place so as to retain its cultural significance.

Maintenance* means the continuous protective care of a place, and its setting. Maintenance is

to be distinguished from repair, which involves restoration or reconstruction.

Preservation* means maintaining a place in its existing state and retarding deterioration.

Restoration* means returning a place to a known earlier state by removing accretions or by reassembling existing elements without the introduction of new material.

Reconstruction* means returning a place to a known earlier state and is distinguished from restoration by the introduction of new material.

Setting* means the immediate and extended environment of a place that is part of or contributes to its cultural significance and distinctive character.

Contributory: a contributory heritage place contributes to the significance of a heritage precinct, but may not be significant on its own.

Non-contributory: a non-contributory place does not contribute to the significance of a heritage place.

Significant: a significant heritage place that has significance independent of its setting.

Significant feature: a feature of a heritage place described as being integral to the significance of the place.

“Like for Like” means replacing a fitting or feature of a building with an exact replacement in materials, form and dimensions as part of a maintenance task. Exact is the key word – modern equivalent materials for example replacing a galvanised iron roof with zincalume is not a ‘like for like’ replacement.

Sympathetic Infill – a new building built as an interpretation of a traditional style typical of the significant heritage character of the precinct. It would visually blend in due to its form, silhouette, proportion, materials, colours and details.



Figure 2: A Significant Place.



Figure 3: A Contributory Place.



Figure 4: An example of sympathetic infill.

5. Building Elements

5.1 Modern Buildings - New and Extensions - Variation to Heritage Overlay and Special Use Zone and Design Guide

Scenario	Notes	Requirement
New building on Valley floor	Check site boundaries before starting. Application needs to explain how design responds to relevant Statement of Significance and 'Sense of Place' statement.	Permit required. Sympathetic infill required to blend in with surroundings, particularly near significant or contributory heritage places. Reconstruction required in Historic Town Centre Precinct, where practicable. <ul style="list-style-type: none"> • Single storey construction encouraged in one of the formats in Figure 8 below. • New buildings are encouraged to be of a simple form with gabled corrugated iron roofs, weather board walls and a posted skillion roofed verandah. • Small roof forms are better with roof pitches of 45 degrees, finished with hipped or gabled ends, and spanning walls of not more than 6.5 metres long. If the wall is longer, insert another skillion, gable or hip rather than making the roof taller. • House styles with large bulky roofs or long unbroken roof lines are discouraged because their size, proportions and appearance are out of character with Walhalla. • Reconstructed commercial and industrial buildings can be configured for residential use inside.
New building in the form of reconstruction of building	Consult 1870-1914 photographic record.	Permit required. Development must accurately reconstruct the exterior form of a documented pre 1914 building. A permit can allow for departure from reconstruction to: adapt the building to modern requirements; where a different sized building is needed; or where the reconstructed building will be used for a different purpose.
New building on hillside	As above	Permit required. Sympathetic design required but specialist engineering advice needed to achieve alternative solution under building regulations. Difficult to achieve. Siting to be managed so the silhouette of the new building does not intrude above the skyline of ridges when viewed from the valley floor.
External repairs to Non contributory building		No planning permit required for 'like for like' maintenance.
Extension to Non contributory building	Increase in bedrooms will trigger review of waste disposal system. Check permit requirement under other Planning Controls, for example Wildfire Management Overlay and the zone.	Permit required for extension or alteration of modern and/or non-contributory building. Design to be sympathetic to pre 1914 style.
Demolition of a Non contributory building		No planning permit required. Building permit will be required.
Decorations on Non contributory building		No permit required. Encouraged: understated and simple. Discouraged: application of a range of reproduction bits and pieces from various architectural styles.

5.1 Continued..



Figure 5: A new building erected as a reconstruction of a previous building. on the same site



Figure 6: A modern building with little sympathy.



Figure 7: A modern building with some sympathy with the Walhalla character.



Source: State Library of Victoria, Gippsland Scenery Collection, NJ Caire, H27476.



Source: State Library of Victoria, Walhalla Views Collection, F Cornell, H36257.

Figure 8: Examples of pre 1914 buildings in Walhalla.

5.2 Heritage buildings - Repairs and Extensions to Significant and Contributory Sites - Heritage Overlay and Special Use Zone

- For any of the 16 sites in Walhalla on the Victorian Heritage Register (identified in the Heritage Overlay table in the Baw Baw Planning Scheme), approval is required from Heritage Victoria for works, rather than the Baw Baw Shire Council.

Scenario	Notes	Requirement
External maintenance – ‘like for like’ replacement.		No planning permit required if part of normal maintenance.
Extension to heritage building	Refer to statement of significance to check what is important. An increase in bedrooms will trigger review of waste disposal system.	<p>Planning permit required.</p> <ul style="list-style-type: none"> • Reconstruction of previous building part or copy of existing style not required. • New building part encouraged to be behind the building or the setback of the building so the heritage building remains prominent. • Extensions required to compliment the heritage and setting of the existing building and not visually dominate it.
External painting change to heritage building	Refer to Appendix 3 for external colours.	No permit required if this meets Element 5-6. Permit required otherwise. Note: permit is required if previously unpainted surface is proposed to be painted.
New roof to heritage building		No permit required if corrugated galvanised iron. Permit required for treated coloured steel or other material including Zincolume.
External works to alter building	Includes structural work, rendering, painting an unpainted surface, sandblasting, or any other way.	Permit required.
Demolition of all or part	Demolition is only appropriate when a report from a suitably qualified and independent person shows that the building is structurally compromised and cannot be reconstructed or repaired.	Permit required. Generally not supported, unless a non-heritage part of the place.

5.3 Outbuildings - Variations to Heritage Overlay and Special Use Zone

- Design Advice: Sympathetic infill is required for the design of outbuildings – simple designs are encouraged. Photographic record shows typical sheds had horizontal weather boards or vertical galvanised corrugated iron, had gable or hipped roofs, with the gable over the narrow end of the building. Skillion roofed buildings were also small and simple in design in domestic applications.

Scenario	Notes	Requirement
New Domestic Shed not for habitable purposes	See Elements 5-4, 5-5, 5-6 and 5-7.	No permit required for a building of less than 10 square metres where it is located behind the main building on the site, and meets the no-permit-required specifications for windows, doors, roofs and walls. This only applies where no significant features or heritage fabric exist where the shed is to go. Note: Check the planning scheme for other permit requirements.
Extending an existing domestic shed, not for habitable purposes		No permit required if extension is less than 10 square metres and is behind main building on the site and matches existing cladding and form. Note: Check the planning scheme for other permit requirements.
Extending or building a shed used or to be used for habitable purposes (eg a sleep-out)	See Elements 5-4, 5-5, 5-6 and 5-7.	Needs a permit.

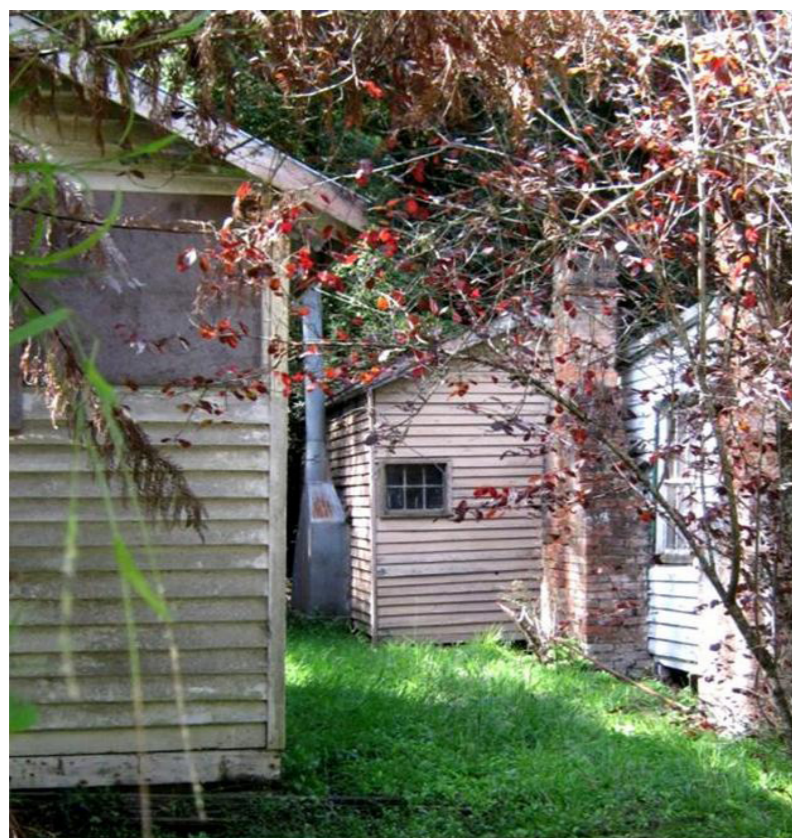


Figure 9: The outline and cladding of these buildings illustrate the small scale and simple designs characteristic of Walhalla.



Figure 10: Note roof angle, cladding and simple design, in keeping with Walhalla character.

5.3 Continued...



Figure 11

Figure 11 is more in sympathy, Figure 12 is unsympathetic. Roof pitch and cladding are incorrect.



Figure 12

5.4 Roofs and Verandahs - Variation to the Heritage Overlay, Special Use Zone and Design Advice Guide

Scenario	Notes	Requirement
Replacement roof (maintenance)	Replaces existing	<ul style="list-style-type: none"> No permit required if unpainted corrugated galvanised iron. Permit required if material other than this. Tile or Zinalume discouraged. Supported: Corrugated galvanised iron for roof, cappings, round, downpipes and guttering; 40 to 45 degree pitch for gabled or hipped roof; timber barge boards; eaves to 200mm. Skillion roof pitch to be between 15 and 25 degrees.
New roof	New building or extension to existing	Permit required. Supported: Corrugated galvanised iron for roof, cappings, round, downpipes and guttering, 40-45 degree pitch for gabled or hipped roof; timber barge boards; eaves to 200mm; skillion roof pitch to be 15-25 degrees. Guttering profiles to be "Ogee" or "half-round". No visible plastic pipes.
Verandah or pergola to non contributory building	Modern building	No permit required if it has a non-reflective roof cladding, is located behind the frontage of the existing building, and has a finished floor level not more than 800mm above ground level and a maximum building height of 3 metres above the ground.
Gable ends and verandah sides	Significant or Contributory Site or pre-1914 building	Permit required. Timber materials preferred, then galvanised iron. If a reconstruction, then as per the original. If sympathetic infill, then make a simpler version of authentic examples in the town or documented historic examples.
Gable ends and verandah sides	For maintenance	No permit required if "like for like". Supported: Trellis set on the cross rather than square.
Verandah	Reconstruction to Significant or Contributory Site or pre-1914 building	Permit required: <ul style="list-style-type: none"> Frame bays to be 2:1 height to width ratio; or Verandah posts to be timber and square and of an even number set symmetrically across the verandah, unless photographic evidence supports otherwise; or Timber construction. Supported: galvanised, corrugated iron, skillion style. Not supported: Zinalume, tile, bull nosed finish, iron lace, unless photographic evidence supports otherwise.

5.5 Windows and Doors - Variation From Heritage Overlay, Special Use Zone Provisions and Design Guide

Scenario	Notes	Requirement
Replacement as part of maintenance	Significant or Contributory Heritage building	No permit required if replacing "like for like", including of materials.
New windows	Significant or Contributory Heritage building	Permit required if new window opening. Permit required if changing window to door or door to window.
New window and doors in new building	New building (will need a planning permit overall)	Design guide: <ul style="list-style-type: none"> • Rectangular, i.e. 2:1 height to width ratio, vertically hung. • Take up a minor proportion of the wall surface. • Arranged symmetrically across facade. • Timber construction or of timber appearance. • Windows to be double hung or casement, or fixed.
New doors	New building and new fixture (will need a planning permit overall)	Design guide: <ul style="list-style-type: none"> • 2:1 height to width ratio, minimum. • Timber construction preferred, timber appearance considered. • Front doors to be solid, plain finish panel or vertically boarded. • Any glass panelling to be vertically arranged. • Back or side doors can contain windows but of a traditional design.
New windows and doors	Non-contributory building	No permit required.



Figure 13



Figure 14



Figure 15

Figures 13-15 Examples of suitable opening treatments.

5.6 Walls - Variation From Heritage Overlay, Special Use Zone Provisions and Design Guide

Scenario	Notes	Requirement
New walls	Non contributory building	Permit required. Horizontal square edged 150mm weatherboards preferred but weatherboard appearance accepted in some circumstances. Not supported: rendered; vinyl cladding; or treated pine.
Replacement	Significant or Contributory building	Like for like maintenance requires no planning permit.
New walls	As part of extension to Significant or Contributory building	Permit required. Horizontal square edged 150mm weatherboards preferred but weatherboard appearance accepted in some circumstances. Galvanised iron acceptable in some circumstances.
New walls	Brick	Permit required. Rendered brick not supported unless not visible to the public. Traditional red brick supported – red or reclaimed handmade bricks, with a face brick finish. Modern brick colours and finishes not supported.
Paint heritage building including balustrades	This includes Significant or Contributory buildings	No permit required if painting from palette as per Appendix 3 of this document in following form: <ul style="list-style-type: none"> • Light coloured walls in natural shades (beige, cream, tan), with joinery and features in contrasting slightly darker shades . • Darker coloured walls as above, but with darker again coloured contrasts e.g. brown, Indian Reds, Brunswick Green. <p>Avoid uniformly dark or light colours for entire buildings; contrasting trim breaks up large expanses of walls and provides interest. Permit required otherwise.</p>
Paint non contributory building		No permit required Preferred colours: muted tones to complement Walhalla character.
Paint fences		No permit required Preferred colours are muted and pale tones to complement Walhalla character.

5.7 Chimneys - Variation to Heritage Overlay, Special Use Zone and Design Guide

Scenario	Notes	Requirement
New Chimney	Significant or Contributory building and reconstructed heritage building.	Permit required: Supported: exposed brick in traditional mixed red brick or reclaimed handmade bricks. <ul style="list-style-type: none"> • Profile to be tapered to the shaft by stepped brick courses. • Plain brick shafts or with corbelled (projecting) string courses at top. • Unencased flues acceptable if discreetly located. • Modern flues to be encased in brick to form a chimney.
New chimney	Non contributory building.	No permit required for chimney located at rear of building or more than four metres from the front wall of the building and under three metres high from the natural ground level. Supported design: Chimney style consistent with the building character.

5.8 Setbacks and Orientation - Design Guide

Scenario	Notes	Requirement
New buildings or extension to existing	In Historic Town Centre Precinct (will need a planning permit overall)	Supported, unless photographic evidence shows otherwise: <ul style="list-style-type: none"> • Setbacks to be zero from the side or front • Buildings to be oriented so the façade is parallel with the facing street.
New buildings or extension to existing	Outside Historic Town Centre Precinct (will need a planning permit overall)	Supported: Similar setbacks to adjoining development, but increased if necessary so as to not obscure view of significant heritage place.
New buildings or extension to existing	Hillside or sloping land (will need a planning permit overall)	Supported: the axis of the building across the slope. Not supported: the building stepped down the slope, unless supported by photographic evidence.
New buildings or extension to existing	Under the canopy of a significant tree, affecting its root zone, or within 2 metres of a significant feature (will need a planning permit overall)	Supported: Works that do not threaten the stability or existence of these features. Changes to the feature (removal, partial removal) requires approval as part of the planning permit overall.
New buildings or extension to existing	Hillside location (will need a planning permit overall)	Supported: siting so the building's roof line does not protrude above the skyline of the hill when viewed from the valley floor or Church Hill Road.

6. Private Yard Elements

6.1 Driveways and footpaths - Design Guide

Scenario	Notes	Requirement
New private footpaths and driveways	Important to avoid removal of or damage to significant heritage features, including damage of root zone of significant tree.	Permit required. Supported treatment: Fine crushed rock or asphalt of fine aggregate, see Figure 16-17 below. Asphalt seal over concrete will be considered.
Paving existing private driveway or footpath	Note: any works in a Flood Overlay or Land Subject to Inundation Overlay will require a permit regardless of this.	Not supported: plain concrete or faux brick paving.



Figure 16 - Asphalt

Figures 16-17– Asphalt or fine crushed rock is preferable to concrete for private driveways.



Figure 17 - Fine crushed rock

6.2 Private Fences - Variation from Heritage Overlay and Special Use Zone Provisions

Tip! For a boundary fence, check that the fence line is on or behind the legal boundary alignment. Fencing along front and side boundaries along Main Road is encouraged.

Scenario	Notes	Requirement
Maintenance to a fence		No permit required if like for like.
New or replacement side and rear fence	All sites, other than those in a Flood Overlay or Land Subject to Inundation Overlay.	No permit required for: <ul style="list-style-type: none"> • Picket fences, dressed or sawn timber, square or arrow headed, painted or unpainted, no more than 1.2 metres high; see Figures 18-19 below. • Fences made of steel star pickets and plain wire. Permit required otherwise. Permit required if damage to or removal of drystone wall or benching.

Source: State Library Victoria, JH Hanvey Collection Hem H92 150/692.



Figures 18-19– Examples of suitable fences.



6.3 Trees and Gardens - Design Guide, Variation to Heritage Overlay and Special Use Zone Provisions

Scenario	Notes	Requirement
Tree and plant selection	Design Guide	See suggested planting list, Appendix. 4
Landscaping works on private land with owner's consent	Permit requirement	Permit required only <ul style="list-style-type: none"> • Where works disturb or damage heritage features such as dry stone walls, foundations, or archaeological relics. This includes removing larger tree seedlings. • Where works involve earthworks such as new retaining walls, new driveways. • Where works affect trees of heritage significant or contributory ranking. No permit is required to remove seedling trees thinner than 25mm at base from archaeological features or relics like building foundations, retaining walls and the like. Preferred method is to cut stem close to ground and paint the stump with approved herbicide.

6.4 Bridges - Design Guide

Stone and timber walling to the creek and the wooden bridges over them are an integral and unique part of the Walhalla landscape. Repairs with cement or rocks not of local source are to be avoided. The choice of materials and design of new and repaired items are crucial.

Scenario	Notes	Requirement
New bridge	Permit requirement	Requires a planning permit. Design features to be as per list below.
Renovations to existing bridge	Design advice	Supported: <ul style="list-style-type: none"> • Timber deck and painted timber balustrades; see Figure 20 below. • Rails, abutments and balustrades to be timber or of timber appearance unless already stone abutments. • Not supported: Metal materials or concrete abutments unless cast and coloured to mimic weathered timber, and left unpainted.



Figure 20– Bridge boards should be closely spaced - top rail should be angle cut.

6.5 Old benching or building foundations, timber walling, drystone walls and relics - Design Guide

These are significant heritage features.

Scenario	Notes	Requirement
Removal	Of any relic	Permit required.
Maintenance to drystone walls where they are damaged or collapsing	Drystone Walls	No permit required if replacing like with like, with authentic methods. <ul style="list-style-type: none"> • Maintenance and repairs to use stones of limited size range consistent with nearby existing walling. • Mortar faces (used if photographic evidence supports) should be recessed so as not to visually dominate the wall. • On boundary walls, a transverse capping course of stones 'on edge' should be laid.
Reconstruction and repairs	Timber walling	Permit required.

6.6 Antennas, Water Tanks and Other Plant - Design Guide, Variation to Heritage Overlay and Special Use Zone

- 'Domestic services' include air-conditioning units, satellite dishes, internet dishes and devices, television aerials and the like, but exempts power and landline telephone connection.
- Domestic services should be out of the line of sight from nearby significant heritage features including trees and public roads and public footpaths.

Scenario	Notes	Requirement
Domestic services on a roof of a heritage building	Roof	Permit required.
Domestic services on a wall of a heritage building	Wall	Permit required unless located at the rear of the building and not visible from the abutting constructed streets.
Non contributory building	Roof or walls	Permit required only if domestic service item is visible from constructed public way.
Non contributory building	Construction of disabled access	No planning permit required.
Plant not on building	E.g. Pump, solar panels	Permit only required if located between the wall of a building and a constructed public way or having a dimension larger than 1 metre. This only applies if this does not destroy or damage a significant heritage feature on site, otherwise a permit is required.
Water tanks		No permit required for tanks that meet the following requirements: <ul style="list-style-type: none"> • Made of galvanised corrugated iron, unpainted. • Located at the rear of the site. • Installation does not destroy heritage features like rubble foundations, fences, or significant trees. • Involves no substantial earthworks including benching, cut and fill. Permit required otherwise. Round tanks preferred.

6.7 Advertising Signs for Private Buildings - Design Guide

- Painting a building in a way that constitutes an advertisement is classed as an advertising sign.
- Changing the message of a sign without altering its size does not require a planning permit.

Scenario	Notes	Requirement
New Advertising sign	Permit requirement	Permit required. Signs to be discreet, and located as shown in Figures 21-22 and 24, that is within the architectural features of the building, not protruding beyond them.
Advertising sign	Design guide: Lettering style and layout	Supported style – as per pictures in 'Walhalla Heyday' using fonts such as Grotesque Sans Serif, Algerian, Tuscan, Venus Bold, etc, using text in capitals and white or black. See Figure 23.
Changing advertising sign on Significant or contributory building	Permit requirement	No permit required for changing message or format of advertising sign on significant or contributory building or place if colours and lettering style are as per 'supported style' above.



Figure 21: Signage within architectural features.

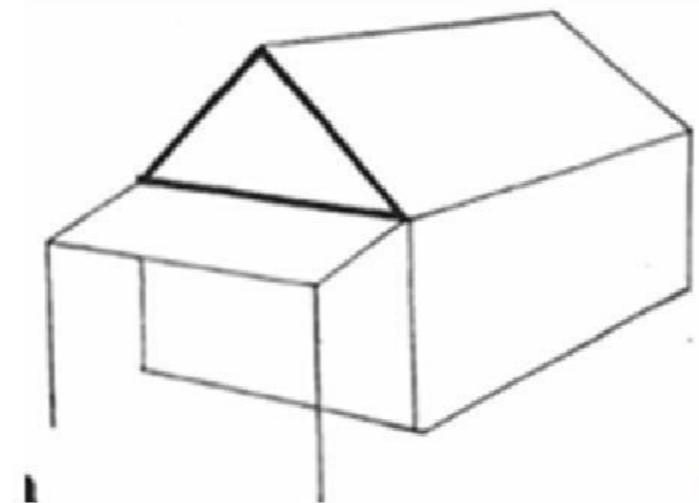


Figure 22: Signage within architectural feature.



Figure 23: Signage with symmetrical spacing of letters.

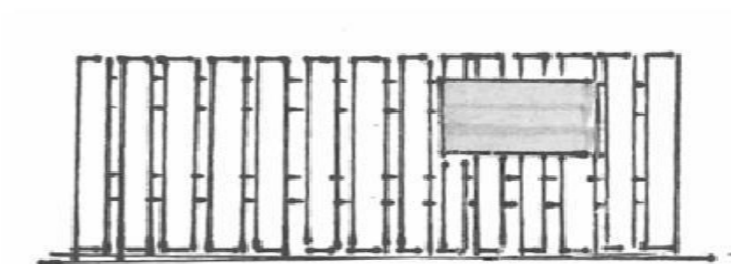


Figure 24: Discreet signage for fences.

Source for Figures 21, 22 and 23: Tibbets, G (1984), *Lettering and Signs on Buildings c. 1850 - 1900, Technical Bulletin 2.2, Australian Council of National Trusts and National Trust of Australia (Victoria)*.

7. Public Infrastructure

7.1 Roads, bridges, balustrades, kerbs and channels - Design Guide

The treatment of the road and bridges is extremely important to the historic landscape of Walhalla. In particular, the bridgeworks and handrails should be reconstructed in every detail the historic record shown in 'Walhalla Heyday'. Check prior to design phase for permit requirement.

Scenario	Notes	Requirement
Main Road	Town Centre and Railway Precincts	Asphalt up to hardwood timber upstand kerb, form stormwater channel within asphalt. See Figure 25. Not appropriate: concrete kerb and channel.
Balustrades and Handrails for Main Road	Town Centre and Railway Precincts	Handrails: post and rail, painted or unpainted with angle cut top rails, rectangular section lower rails, tenoned to posts. Main posts pointed at top and square in section. Intermediate posts capped by rail. Off-white colour paint finish preferred. Refer Figures 26 - 29.
Main road	North and South Residential Precincts	Asphalt, with gravel shoulder to grassed open space.
Bridge works	All	Deck: timber planks, timber balustrade, painted off-white. See figures 26-29. Abutments not to destroy drystone walls or drop slab retaining walls, but repair and conserve. Steel frame acceptable.
New bridge	All	Permit required. Design features as above for bridge works and balustrades

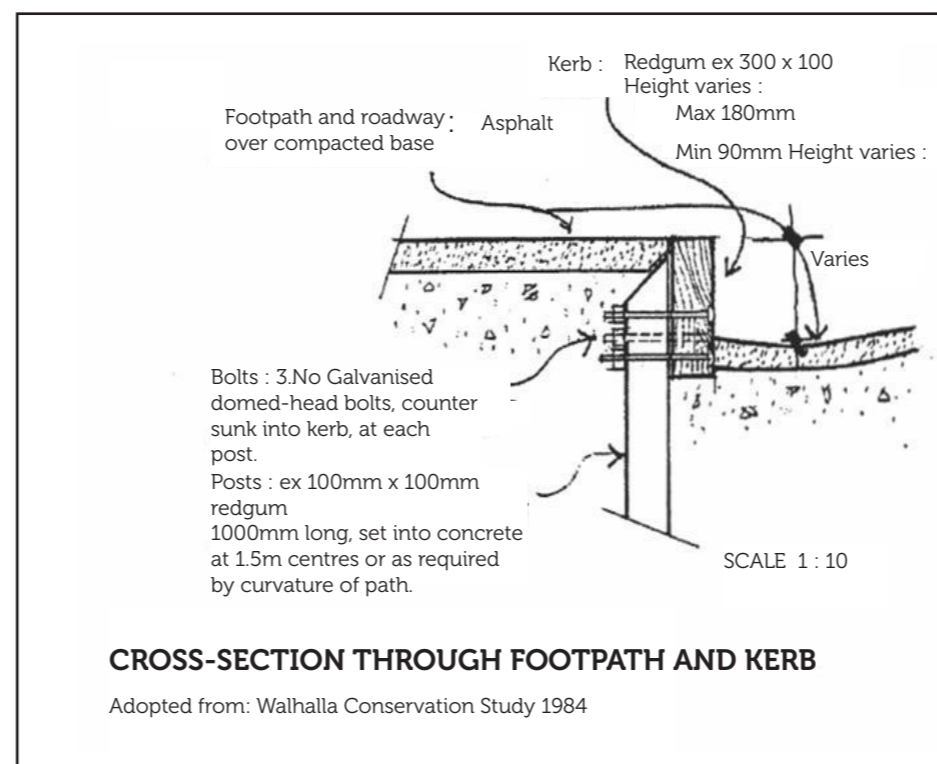


Figure 25: Footpath and kerb cross section.

7.1 Continued...



Figures 26 - 29: Examples of appropriate balustrades and guard rails.

7.2 Footpaths and steps - Design Guide

Scenario	Notes	Requirement
Public footpath	Adjacent to sealed roads in Historic Town Centre Precinct	Required: Fine aggregate asphalt footpath adjacent to buildings and graded for adequate stormwater run-off to a hardwood kerb, as per Figure 25 above. Not concrete.
Public footpath	Adjacent to sealed roads in North and South precincts	Fine aggregate asphalt paving footpath on compacted fine crushed rock subgrade, between moisture impervious timber edge boards. Or fine aggregate asphalt paving. Not concrete.
Pedestrian and tourist trails	Away from sealed roads.	Fine crushed rock (compacted) between moisture impervious timber edge boards. Not concrete.
Steps	E.g. Lodge Walk	Planning permit required to remove or alter. Supported design: retention of stone steps.
Bridge decks	Foot and vehicle	Timber decks, with planks closely laid. No concrete decks.

7.3 Public Lighting - Design Guide

- Limited lighting suggested.
- Standard public street lighting seen as inappropriate.

Scenario	Notes	Requirement
Public	Historic Town Centre	Limited concealed lighting to light facades and spaces under verandahs. Balustrades at creek to be painted off white to increase visibility. Any external light fittings for lighting public ways to be as per historic photographic record.

7.4 Public Signage - Design Guide

Scenario	Notes	Requirement
Public directional signage		To be located at the site or, if off the main road, at the intersection of the access to the site with the main road. To comprise timber structure, with dark lettering in capitals on a pale background – see Figure 30. Lettering styles to be typical of the Walhalla gold era 1870-1914.
Public interpretation boards		As per Figure 31 below



Figure 30

SMALL INTERPRETIVE BOARDS

4 off, single sided boards in vitreous enamel, background colour plus one, mounted to 50mm square RHS posts with 25mm square RHS cross rails. Boards to be attached to cross rails with security screws into top and bottom cross rails. Frame and posts to be hot-dipped galvanised finish (in Dulux 33593 – Ranch Brown). Steel enamel grade – CV4J2 1.6T Panel sides to be 400 x 600 (Panel colours PMS 498C on PMS 155C). Source: Ceratec Australia Pty Ltd

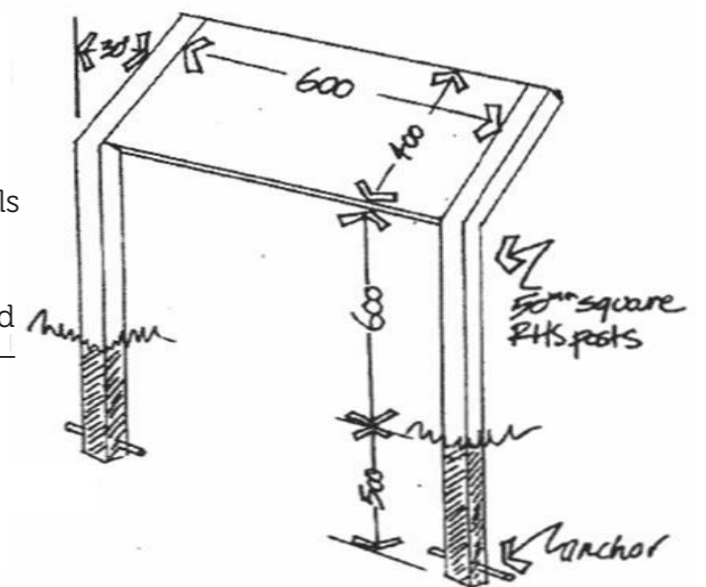


Figure 31: Interpretive Boards.

7.5 Trees in Public Places - Design Guide

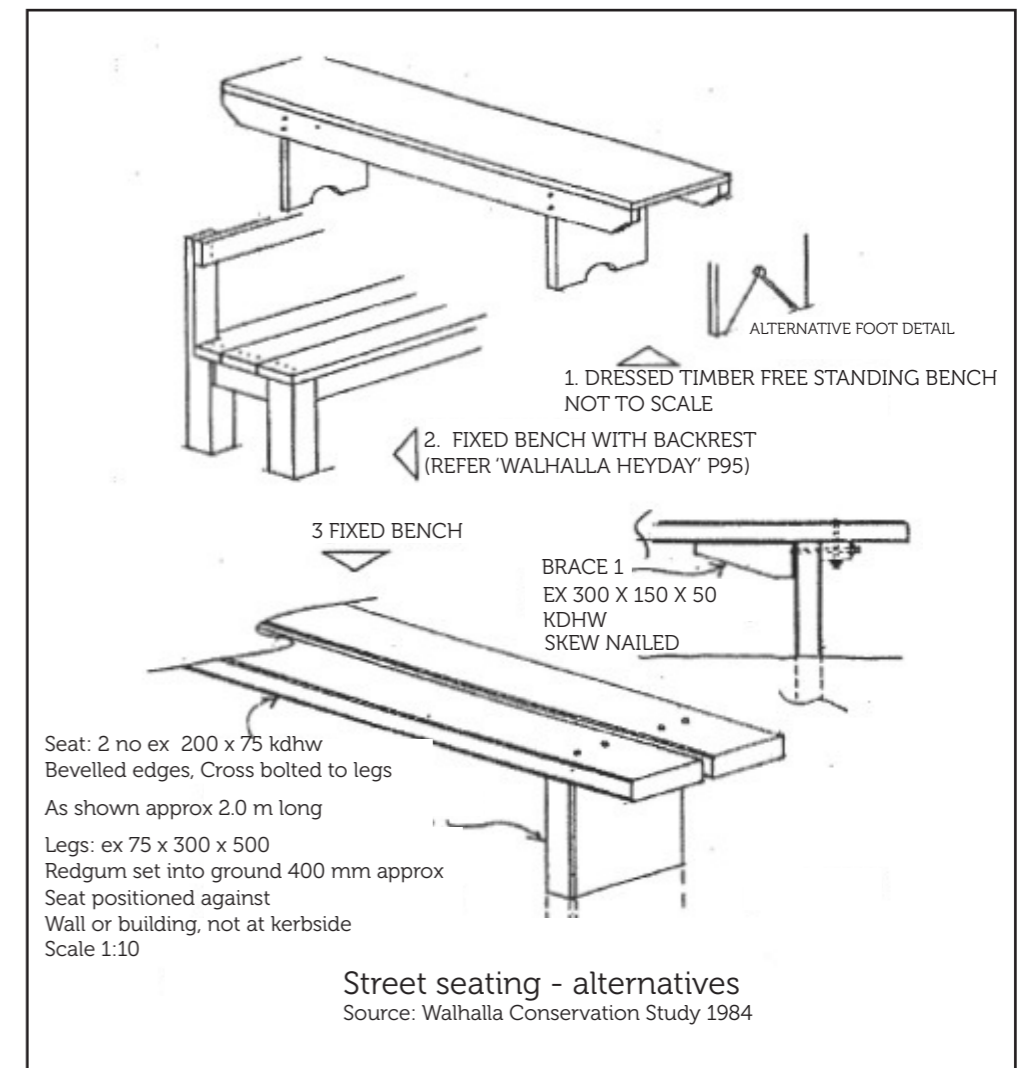
Exotic species along the floor of the valley perpetuate the tradition of planting from Walhalla's pre1914 era, and provide autumn colours in contrast to the grey-green of the surrounding forest.

Scenario	Notes	Requirement
Existing Significant and Contributory trees	Refer to Heritage Overlay map to identify	Retain and conserve where possible, replace with same species in same place or as close as possible when replacement needed. Refer to plan at Appendix 1 for location of Significant and Contributory trees.
New trees		Choose trees from preferred planting list in Appendix 4.
Removal of tree by public authority	Established tree, individual Heritage Overlay	No permit required if the tree presents an immediate risk of personal injury or damage to property. Risk needs to be documented. Otherwise, permit required.
Removal of tree by public authority	Seedling tree Risk of damage to relic or stonework	No permit required to remove very small seedling tree from drystone wall, foundations, retaining wall or other heritage place, for seedlings no thicker at base than 25mm. Preferred method is clipping tree off at ground level or as close as can be achieved and painting stump with appropriate herbicide. Damage to stonework or relic must be avoided.

7.6 Street Furniture - Design Guide

Scenario	Notes	Requirement
Bins	Rubbish	Street and Park Furniture 'Concourse' bins with stained hardwood slats or metal perforated surrounds, painted or finished in muted heritage tone.
Bins	Recycling	As above.
Park seating		Simple wooden bench, see Figure 32.
Seating beside footpath		"Ballarat" seat, proprietary system Street and Park Furniture Australia. Stained timber finish with paint finish steel / ironwork in consistent Walhalla colour scheme.
Bollards		Timber, square with pointed tops.

Figure 32: Sample wooden bench.



7.7 Public Buildings Including Shelters and Amenities - Design Guide, Variation from Heritage Overlay and Special Use Zone

Scenario	Notes	Requirement
External painting	Heritage building	No permit required if repainted with heritage colours as per Appendix 3.
External maintenance	Heritage building	No permit required if maintenance is 'like for like'.
New plant to external fixtures e.g. Solar panels	Heritage building	Permit required.
Shelter and amenities block	New	Permit required. Simple timber and corrugated iron construction, hip or gable roof pitch 40-45 degree range.
Barbeque shelter	New	Permit required. As above, but barbeque housed in rectangular structure, with walls of stone/slate, deep raked mortar joints to achieve a 'dry stone' wall appearance. Asphalt apron paving to 1.5 metres all around, with stone paved banding.



Figure 32: A good example of a modern adaptation of a traditional style.

7.8 Dry Stone Walls , Retaining Walls and Breasting - Design Guide

Dry stone walls, timber walling to creek and remnants of rubble and drystone building foundations are an integral and unique part of the Walhalla landscape. Repairs with cement or rocks not of local source are to be avoided at all costs. Figures 33-37 show examples of appropriate and inappropriate treatments from heritage perspective.

Scenario	Notes	Requirement
Works to old stone walling, foundations etc	In a Heritage place	Permit required unless repairs are "like for like", i.e. drystone construction. Supported: works that respect the heritage features, for example ensuring repairs to a drystone wall involves only dry-stone techniques. For boundary walls, a transverse capping of course of stone 'on edge' should be laid. Repairs should use similar sized stones consistent with nearby walling.
Drop slab walling	For creek wall stabilisation	Retention and replacement of same is preferred. Pit sawn slabs of 150mm x 250mm in section supported.
Dry stone walls	For creek wall stabilisation	Retention, conservation and replacement of dry stone walls with dry stone walls is preferred to rock gabions.



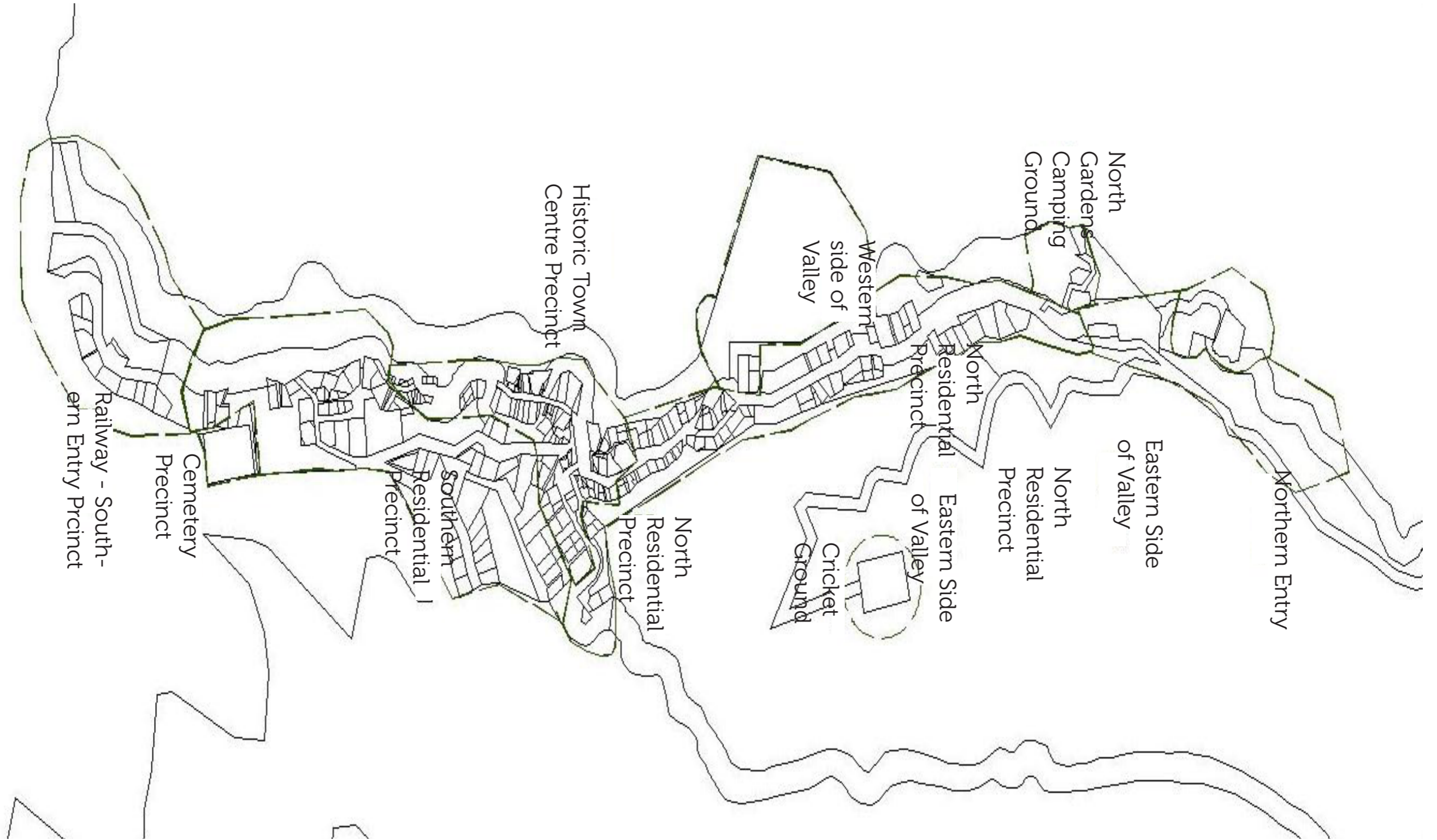
Figures 33, 34, 35 and 36 L-R: Creek walls: Dry stone and rubble creek walls are significant and contributory heritage features in themselves and are an integral part of Walhalla's heritage landscape. These should be conserved. Gabions and treated pine treatments are not.



Figure 37: Repairs with cement mortar are inappropriate.

Appendix 1: Maps

Map 1: Walhalla Precincts



What the Maps Show – Heritage Gradings

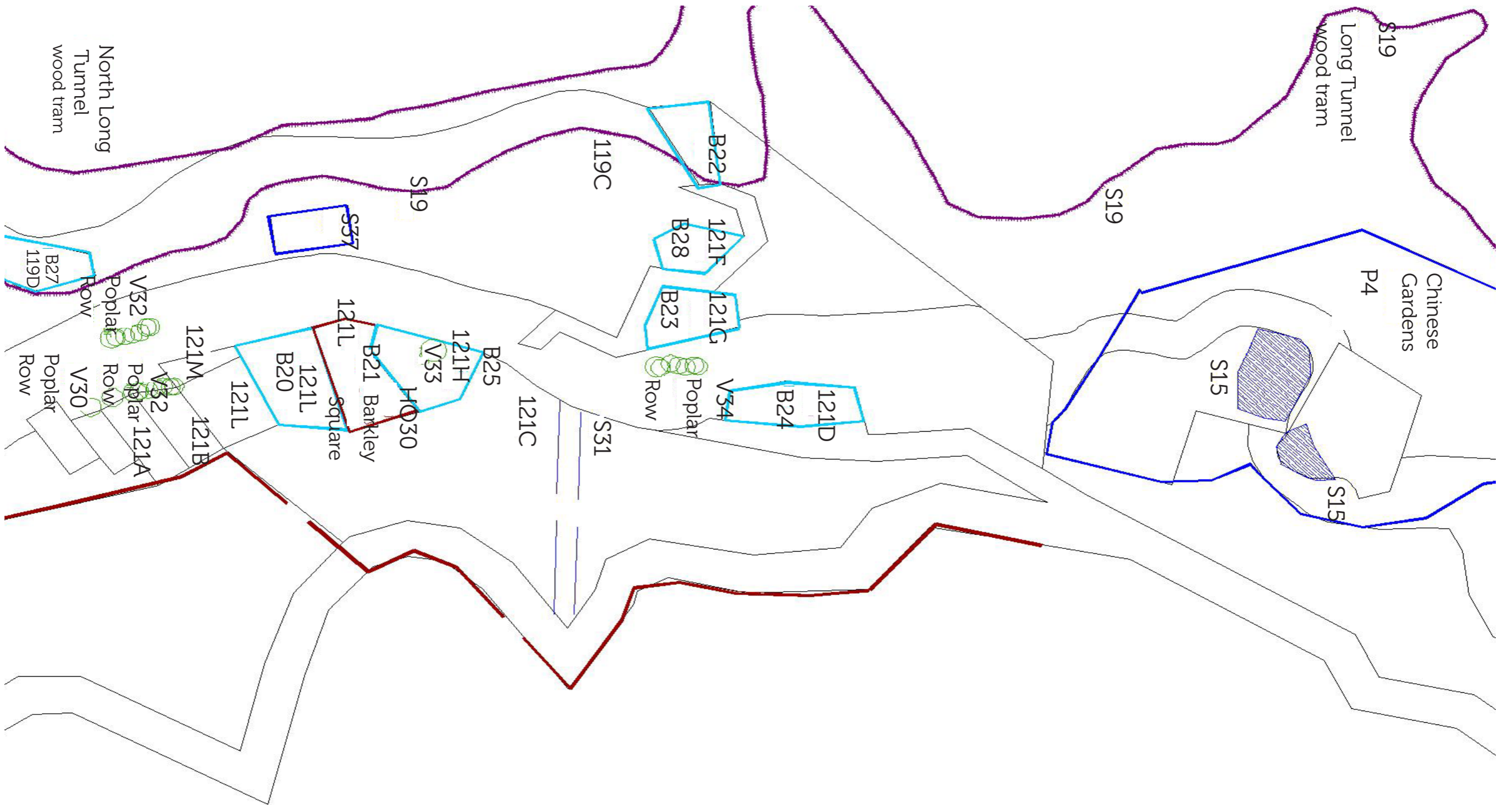
Maps 2-5 show the location of Significant and Contributory sites as described in the table to Appendix 3, Heritage Gradings.

The designations are:

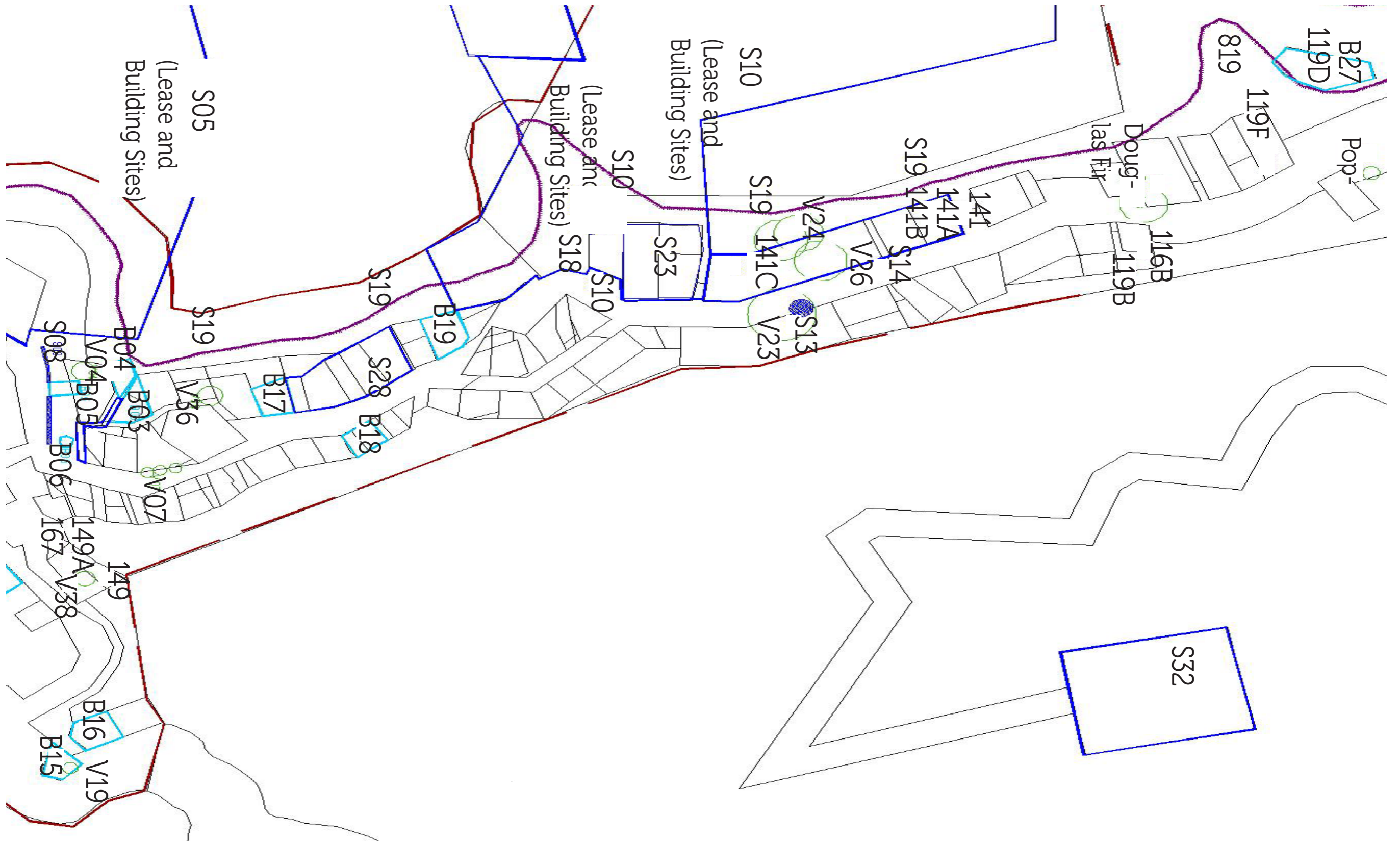
- 'V' refers to vegetation
- 'S' refers to sites, including sites where buildings or trees once stood
- 'B' refers to buildings.

The V-, S- and B- letters correspond to the site numbers in Appendix 2, Heritage Gradings.

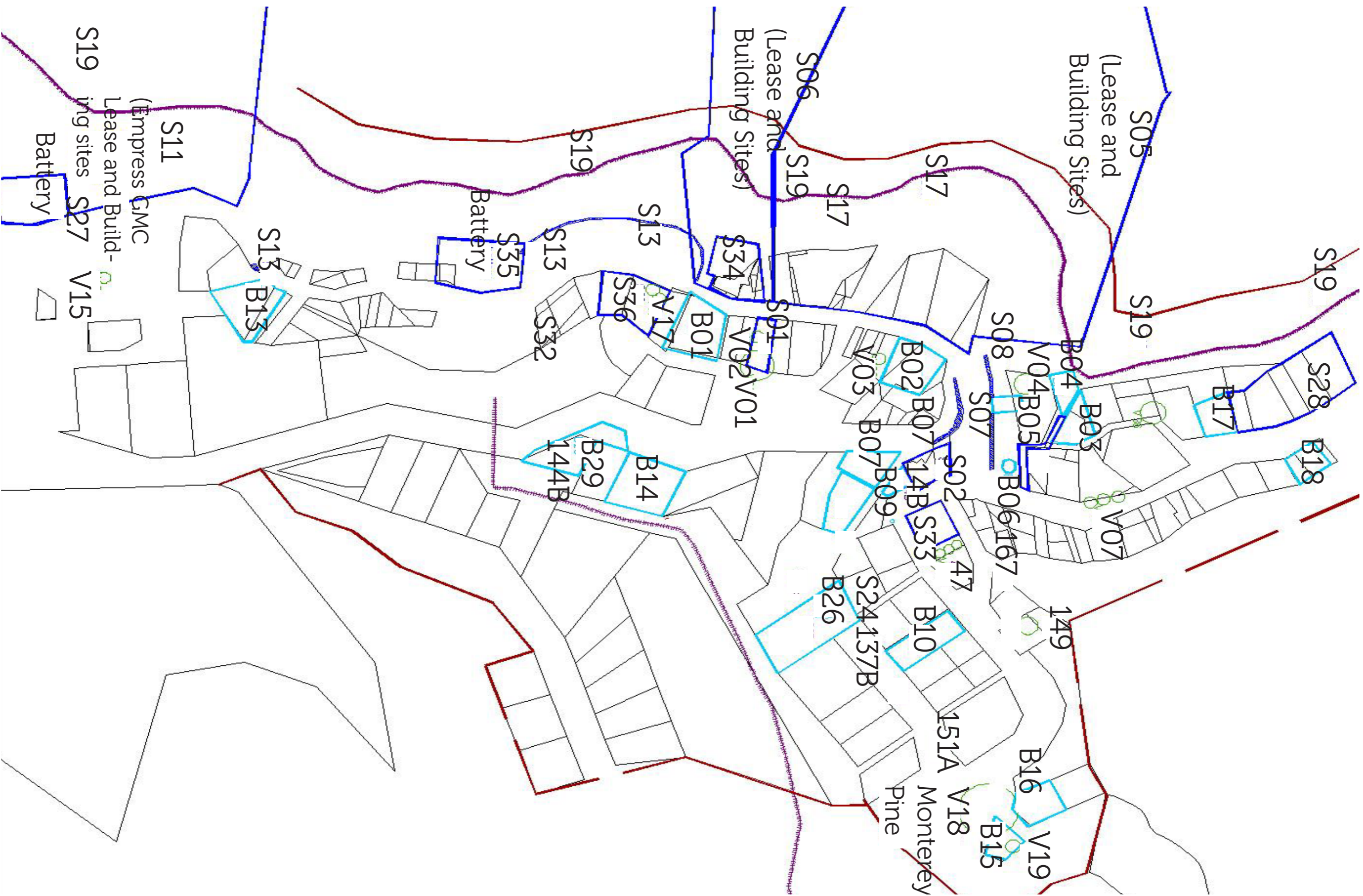
Map 2: Chinese Gardens and Northern Entry



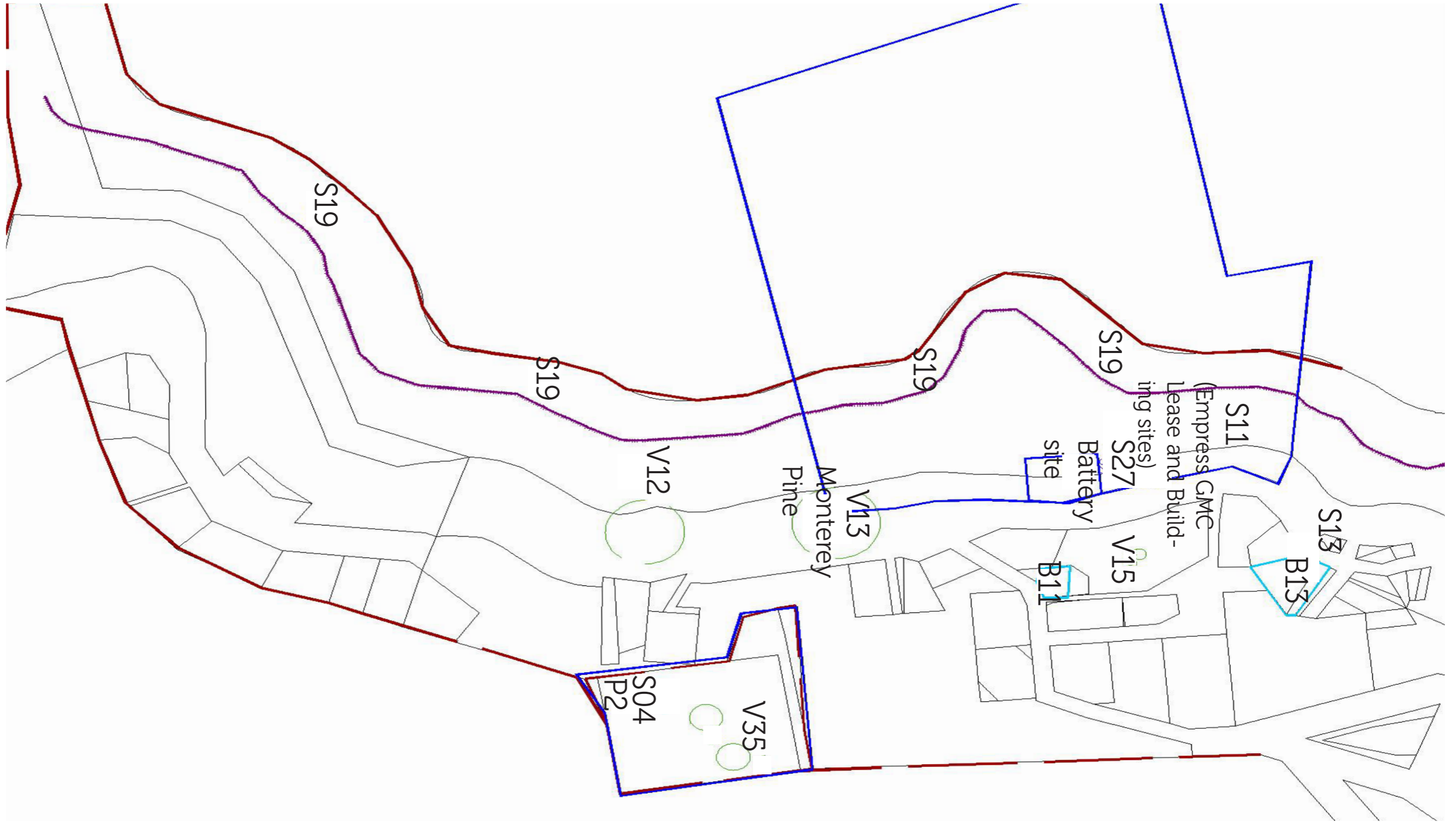
Map 3: Western Side of Valley, Northern Residential Precinct



Map 4: Historic Town Centre Precinct



Map 5: Railway Station Precinct, Cemetary Precinct and Southern Residential Precinct



Appendix 2: Heritage Gradings

S = Site; B = Building; V = Vegetation

The management advice and heritage gradings are derived from the reference document 'Walhalla Heritage Place Citations 2013'.

In the 'Grading' column, the first letter relates to the importance of the site to the precinct, and the second letter relates to the individual significance of the site. 'C' = contributory, 'S' = significant,

'N-C' = non-contributory and 'N-S' = not significant. CA = Crown Allotment

Heritage Place Name or Item	Place Number	Grade Number	Graeme Butler and Associates PL's Gradings, 2013
ALL OF TOWN			
Walhalla Precinct: HO8		S : S	Refer to individual place recommendations. Provide for tree and external paint controls. Provide for interior control as recommended for selected places.
Dry stone retaining walls, house terraces, various: HO8	S20	C : C	Map and record all existing dry stone terraces using the Black 1899 survey and field notes. Investigate option to provide specific Heritage Overlay for stonework with associated management policies.
RAILWAY – SOUTHERN ENTRY PRECINCT			
Walhalla Railway Station area, Walhalla to Moe Railway Station Yard reserve and track reserve works, Stringers Creek	P3	C : S	Research and investigate further the original station and water wheel sites towards reconstruction or interpretation. Clarify on site what is original and what is recreation.
CEMETERY PRECINCT			
Walhalla Cemetery, Crown Allotments CA5X, 5Y, 5Y2 Main Road: HO22	S04	C : S	Significant trees should be itemised and located in citation. Guide to significant graves and planting should be prepared and published to allow interpretation of the place. A Conservation Management Plan should be prepared, adopted and executed towards conservation of significant headstones and plantings, with a view to preserving the range, numbers and precise type of trees planted there by c.1899.
Bhutan cypress, <i>Cupressus torulosa</i> x 2, Walhalla Cemetery, Main Road HO22	V35	C : S	Victorian Heritage Register entry should be reviewed to itemise all significant and contributory trees in this place.
SOUTHERN RESIDENTIAL AREA			
Foundations of Empress Battery (later Great South Long Tunnel Mine) Main Road : HO8	S11	C: N-S	
Empress Gold Mining Company Sites, later Great South Long Tunnel GMC sites Main Road: HO8	S27	C:S	Above ground contributory and significant elements to be recorded and mapped in detail and reassessed. Significant below ground elements should be monitored where possible in any future mine workings. Provide interpretive signage at roadside. Provide separate mining Heritage Overlay with associated policies in planning scheme.

S = Site; B = Building; V = Vegetation

Heritage Place Name or Item	Place Number	Grade Number	Graeme Butler and Associates PL' s Gradings, 2013
SOUTHERN RESIDENTIAL AREA CONTINUED...			
Oak Quercus sp, on Stringers Creek, west of CA4Z, Main Road: HO8	V12	C : S	
Monterey Pine, Pinus radiata, group, Stringers Creek, opposite cemetery path, Main Road: HO8	V13	C: N-S.	Maintain and replant where significant with potential for a specific 'Pinus radiata' hybrid for Walhalla.
Cabbage tree, Cordyline australis at site of Roberts, Neill and Miles' store CA4 Main Road: HO8	V14	C:N-S	Perpetuate specimen on this site.
Camellia, Camellia japonica, at former Exchange Hotel site, CA6, Main Road: HO8	V15	C: S	Research ownership or origins of property
Pear, Pyrus sp., removed and now replaced with Plum or Prunus sp, CA20 and 22A Main Road: HO8	V17	N-C: N-S	None.
Tainsh House , CA85 Main Road: HO8	B11	C: S	Verify extent of renewal since 1984 and reassess.
Elliott's Bakery, Shop and Residence, later shop and residence, CA12 and 12A, Main Road: HO8	B13	C: S	Repaint in original colors. Fence boundary with picket or paling fence. Consider rebuilding brick chimney and removing concrete verandah floor or footpath (replace with asphalt). Record show window joinery details and ashlar pattern cladding as public record. Record shingling details, if they still survive. Assess any remaining building and oven ruins at rear.
Walhalla Hospital, later Walhalla Pearson Memorial Hospital, later House, CA143 Church Hill Road: HO21	B14	C: S	Assess for Victorian Heritage Register. Apply external paint controls. Remove paint from brick chimneys and ridging if terracotta but approved non-abrasive method. Inspect and evaluate interior. Restore fences.
Bartley later Busse House and Monterey Pine, CA160D, HO8	B26	C: N-S	Inspect in detail and reassess. Research Permissive Occupancy files and re-assess.
York Cottage also Walhalla Hospital Matron's Cottage CA 114B, Church Hill Road: HO8	B29	S:S	Research and verify sources and reassess as required. Make detailed inspection, including interior.

S = Site; B = Building; V = Vegetation

Heritage Place Name or Item	Place Number	Grade Number	Graeme Butler and Associates PL' s Gradings, 2013
HISTORIC TOWN CENTRE PRECINCT			
Vault and site of Bank of Victoria, CA25, Main Road : HO8	S01	C: S	Address conservation issues, including need of shelter to halt plant growth in structure and water damage. Enhance and protect by enclosing site, in a sympathetic manner and ensuring against erosion of brickwork by rain water and damp. Provide interpretive literature showing original bank building. Investigate if former building foundations remain and consider this area as protected adjunct to the vault.
Junction Hotel Site and Fire Place, CA44 and 44A, Main Road : HO8	SO2	C: N-S	Record chimney photographically with scale, draw to scale Investigate footings of previous buildings, and demarcate their former sites on ground. Maintain shelter and revise to a simpler fence as required.
Long Tunnel Gold Mining Company sites including machine bases, CAs 29, 30, 32, 33, 34, 25 and 35, Main Road : HO8	S05	C: S	Any mining artefacts from the boom period pre1914 should be recorded and mapped in detail and reassessed. Significant below ground elements should be assessed archaeologically and monitored where possible in any future mine workings.
Walhalla Gold Mining Company Site, later part of Long Tunnel Mining Company Complex, West of CAs 23-28, Main Road : HO8	S06	S:C	Any mining artefacts from the boom period pre1914 should be recorded and mapped in detail and reassessed. Significant below ground elements should be assessed archaeologically and monitored where possible in any future mine workings.
Church Hill Road Stone Retaining Wall, CA41A, Main Road: HO27	SO7	S:S	Assess for addition to Victorian Heritage Register. Assess its restoration using the original dry stone techniques and removing large mortar joints.
Stringers Creek Dry Stone Walling, adjacent to Fire Station and in Creek Main Road : HO8	SO8	C:S	All early contributory and significant dry stone wall construction should be recorded and mapped to ensure efficient management. Repairs should use matching stone and original dry stone methods.
Tar-paved footpath remnants (of original footpaths) (3 sites), Main Road : HO8	S13	C:N-S	Assess retention, reinstatement and repair of existing footpaths as identified. Where new footpaths are required in Walhalla use the detail and specification in the Walhalla Design Permit and Exemption Guide with fine crushed basalt aggregate bedded in asphalt or bitumen base to match existing examples identified.
Dry stone retaining walls to Stringers Creek, Main Road : HO8	S14	C: N-S	Map and assess all significant and contributory stone retaining walls and breasting along Stringers Creek.
Long Tunnel Gold Mining Company sites; ore dump or mullock heap, near CA34 and CA35, Main Road : HO8	S17	C:S	Map and assess artefacts in detail as part of a proposed mining Heritage Overlay covering lease area and sites.
Mining tramways: Long Tunnel Gold Mining Company No. 1 tramway and feeder lines, Main Road : HO8	S19	C:S	Map and assess artefacts in detail as part of a proposed mining Heritage Overlay covering lease area and sites. Map all Walhalla mining tramways (ore and timber) using the 1899 and other surveys, and assessment Include in mining based Heritage Overlay for Walhalla. This would extend well beyond the existing Heritage Overlay. See references such as 'Walhalla Valley of Gold' and "Tramways of Walhalla'.

S = Site; B = Building; V = Vegetation

Heritage Place Name or Item	Place Number	Grade Number	Graeme Butler and Associates PL' s Gradings, 2013
HISTORIC TOWN CENTRE PRECINCT...CONTINUED			
Remains of timber walling or breasting to creek, near rotunda, Main Road : HO8	S25	N-C:N-S	Assess if existing timber retaining wall was carried out using original breasting as model for reconstruction and reassess.
Walhalla Police Station site, CA45 and CA46, Right Hand Branch : HO8	S33	C:N-S	Maintain as interpreted site, with option for recreation using original Public Works Department drawings (VPRO).
Walhalla's St Patrick's Catholic Church site, CAs 72Bm 72A and 73, Main Road : HO8	S34	C:N-S	Maintain as interpreted contributory site with options for recreation as evidence allows.
Walhalla GMC later South Long Tunnel GMC battery site, Part CA 75, Main Road : HO8	S35	C: S	Any contributory or significant artefacts from the 1870-1914 period above ground should be recorded and mapped in detail and reassessed as required. Significant below ground elements should be monitored archaeologically where possible in any future mine workings. Proposed as part of a separate mining Heritage Overlay.
Long Tunnel GMC offices site, CA20 and CA 21 Main Road : HO8	S36	C: N-S	Interpret on site. Maintain as vacant or as potential replication, as evidence allows.
London Plane tree, Platanus acerifolia, former Bank of Victoria rear garden, CA 25, Main Road : HO8	V01	C:S	Tree control should be applied in HO8 and/list individually.
Cabbage tree, Cordyline australis in former Bank of Victoria site garden, CA25, Main Road: HO8	VO2	C: N-S	Leave as individual listing or apply tree control in HO8.
Fruit tree, CA 39, Main Road: HO8	V03	C: N-S	Apply tree control in HO8 with this tree described as Contributory.
Cedar, Cedrus sp:, north west of fire station, Main Road HO8	VO4	N-C: N-S	None
Lombardy Poplar Populus nigra var. 'Italica', row x 3:, CA 59, CA53 and CA60, Main Road HO8	V07	C: S	List row individually in HO or apply tree control in HO8.
Lombardy Poplar Populus nigra var. 'Italica', x 4, site of former Wesleyan church, CA47, Right Hand Branch: HO8	V37	C: N-S	Apply tree control in HO8 with this tree described as Contributory.
Walhalla Post Office & Telegraph Office and Residence, later house, CA23, Main Road :HO5	B01	C:S	Investigate restoration of residence's rear verandah. Restore cast iron ridge finials. Record counter and fitting layout for public record. Assess if HO should cover adjoining CA22 (former Amor Store site).

S = Site; B = Building; V = Vegetation

Heritage Place Name or Item	Place Number	Grade Number	Graeme Butler and Associates PL' s Gradings, 2013
HISTORIC TOWN CENTRE PRECINCT...CONTINUED			
Tricks Corner Stores, later Trembaths Corner Stores, CA 40 and CA41, Main Road: HO8	B02	C:S	Restore verandah to correct detail. Find original colors and repaint as required. Record original shop front details and make publically available. Investigate removal of slurry to south wall. Consider interior protection to corner store.
Wesleyan Church, later Walhalla Masonic Lodge No. 69, CA 93C, Lodge Walk: HO8	BO3	C:S	Verify mapped boundary of HO; apply external paint control, encourage repainting in original colours (sampled from 1866 or c1890 section); encourage repair of cladding and spouting; inspect interior and assess for protection.
Read's house site, later known as Foleys, CA93C, Main Road: HO8	B04	C: N-S	Reserve site for reconstruction as photographic evidence allows.
Walhalla Fire Station and Merryweather Manual Pump Fire Cart., north of CA41A, Main Road HO20, 29	B05	C: S	Clarify reconstruction status on interpretive panel. Restore changed fascia. Correct boundary of overlay. Apply external paint control.
Mountaineers Brass Band Rotunda, south of CA62, Main Road: HO3	B06	C:S	Reassess to ensure mapping is correct. Restore bridge to road as evidence provides.
St John's Church of England, later Anglican Church, CA148, Church Hill Road,: HO8	B07	C:S	Fence title boundary. Consider individual HO with external paint and interior control, given importance of interior in expressing history use. Locate and archivally record former church buildings at Childers.
Sabine's House, CA160, HO8	B08	C:S	Restore original north fence. Record verandah construction as public restoration resource. Research ownership and construction history.
Parry's property, later White's house, later Mill House, CA44B, Church Hill Road: HO8	B09	C: N-S	Conserve and enhance the eastern wing, with option to remove or replace the west addition – to allow better expression of the earlier small wing.
Curved flight of steps to Walhalla Masonic Hall, Main Road: HO8	S09	N-C:N-S	Investigate origins on 1999 listing, reassess as required.
Gloz House, later Windsor House, CA66, Right Hand Branch, HO7	B10	C:S	Remove added window hoods. Verify construction date. Restore entry door case. Revise HO to ensure polgyon is on correct lot/s.

S = Site; B = Building; V = Vegetation

Heritage Place Name or Item	Place Number	Grade Number	Graeme Butler and Associates PL' s Gradings, 2013
NORTHERN RESIDENTIAL AREA			
Mountain Spring Brewing, Aerated Water and Cordial Manufacturing Company, later site of Lewis Loan's Star Brewery site, ruins, CA94, CA95, CA96 and CA97, Main Road: HO8	S28	C:N-S	Investigate site archaeologically and reassess as required.
Giovanni Guatta's wine shop cellar, Main Road: HO8	S30	C:N-S	
Leveridge's House site, CA165, Main Road: HO8	S37	N-C:N-S	Inspect for artefacts and reassess for values.
Monterey Pine Pinus radiata, group, CA128, Right Hand Branch: HO8	V18	C: S	Arboreal attention required to upper level.
Fuschia, Fuschia magellanica' Bruni's Cottage CA 128, Right Hand Branch: HO8	V19	C: N-S	Identify and map other 'Fuschia magellanica' specimens along Main Street.
Narrow leaf peppermint Eucalyptus radiata, CA150Bm Main Road: HO8	V23	C: N-S	Apply tree control in HO8.
Monterey Pine, Pinus radiata x 6 (4?) at Walhalla State School,CA141C, Main Road: HO8	V24	C: N-S	Apply tree control in HO8.
Horse Chestnut Aesculus sp. and Oak Quercus sp. at Walhalla State School Reserve, CA141B, Main Road: HO8	V26	C: N-S	Apply tree control in HO8.
Douglas Fir, Pseudotsuga menziesii, former Church of England parsonage site, CA118, Main Road: HO8	V27	C:S	Verify exact location of tree and and reassess as required.
Lombardy Poplar Populus nigra var. 'Italica', CA121A and CA121, Main Road: HO8	V30	C: N-S	Apply tree control in HO8.
Southern Magnolia Magnolia grandifolia: CA121H-K, Main Road HO8	V33	C:S	Apply tree control in HO8.
Conifer (possibly Redwood) at James Gerrard's house site, CA93 and CA93B, Main Road: HO8	V36	C:S	Inspect further and identify tree species.

S = Site; B = Building; V = Vegetation

Heritage Place Name or Item	Place Number	Grade Number	Graeme Butler and Associates PL' s Gradings, 2013
NORTHERN RESIDENTIAL AREA...CONTINUED			
Bruni's Cottage, later Stone Cottage CA142, Right Hand Branch: HO8	B15	C:S	Facilitate preservation and enhancement, or at least security. Restore doors, windows, chimney and roof. Paint external joinery in original or sympathetic colors. Delineate the frontage/allotment boundaries. Research origins, specifically the Italian Bruni connection and relationship with construction type.
Hamilton's House, later Thomas house, later Linga Longa, CA158, Right Hand Branch: HO8	B16	C:S	Repaint in original colors. Delineate boundaries and former pathways. Restore verandah and façade openings as evidence allows.
Salmon's House, CA57, Main Road: HO8	B17	C: N-S	Inspect and reassess.
Phillips house, CA100 and CA100A Main Road e: HO8	B18	C:S	Inspect interior and evaluate/record as required. Investigate restoration or delineation of street alignment.
Spetts House, CA99, Main Road: HO8	B19	C:S	Verify fabric date.
Tony (Antonio) Guatta's House, CA121K, Main Road: HO8	B20	C: N-S	Repaint in original colours.
Hoskin's House, Later Barkley Square, CA121J, Main Road HO30	B21	C:S	Investigate history further via Permissive Occupancy and Miner's Right files.
Magnolia Cottage, CA121H, Main Road: HO8	B25	N-C: N-S	None.
WESTERN SIDE OF VALLEY			
Walhalla State School (SS957) and reserve, CA141C, Main Road: HO8	S29	C: N-S	Assess weatherboard school for heritage values. Investigate reinstating stained weatherboard finish to school.
Cummins House or Caravan Cottage CA 119D, Tramway No. 1: HO8	B27	C: N-S	Inspect in detail and reassess. Research Permissive occupancy files and assessment required when completed.

S = Site; B = Building; V = Vegetation

Heritage Place Name or Item	Place Number	Grade Number	Graeme Butler and Associates PL' s Gradings, 2013
LONG TUNNEL EXTENDED MINE PRECINCT			
Long Tunnel Extended Gold Mining Company sites, boiler blocks & Farmer Robey Brown & Co steam engine, CA112B and 112, Main Road:HO9, HO8.	S10	C:S	Assess other machinery; itemise and combine in Heritage Overlay 9 listing. Provide and publicise interpretive data n the machinery at the site. Consider mining machinery for the Victorian Heritage Register.
Long Tunnel Extended Gold Mining Company sites: mullock heap, Main Road: HO8	S18	C:S	Map and assess artefacts in detail as part of a proposed mining Heritage Overlay covering lease area and sites.
NORTHERN GARDENS AREA			
Lombardy Poplar Populus Nigra var. 'Italica', row x 10, adjacent to CA121G, Main Road: HO8	V34	C: N-S	Apply tree control in HO8.
Box's House, later George Francis Seear House, and "Euroka", CA146A, Main Road: HO8	B22	C:S	Restore balustrading. Verify age.
George T Seear's House, later Hartrick's House, CA121G, Black Diamond Track,: HO8	B23	C: N-S	Investigate history further using Permissive Occupancy files.
Wrights Hut, CA121F, Black Diamond Track,: HO8	B28	N-C: N-S	None.
NORTHERN ENTRY including Chinese Gardens precinct			
Long Tunnel Extended Gold Mining Company sites: Incline Tramway Site, Main Road : HO8	S31	C:S	Map and further assess the incline tramway and any associated artefacts.
Chinese Gardens including house ruins, CA123A, B and C.	P4, S15	C:C	Map, identify and further assess archaeological items and sites of ruins dating from the Chinese Gardens operation..
Day's later Giovanni Guatta's House, CA121D, Main Road: HO8	B24	C: N-S	Research history further and reassess as required.
CRICKET GROUND AREA			
Walhalla Cricket and Recreation Reserve or Walhalla cricket ground and road reserve, CA6A , Cricket Ground Track:	S32	C:S	Investigate remains of structures or associated artefacts. Retain early routes to the ground as part of Heritage Overlay.

Building Period Name	Time Span	Exterior Colours	Detail Colours
Mid Victorian	1860-1875	Salmon pink (R42); Pink Beige [2660:3034]; Light Buff [381: 358]; Light Stone [381:361].	Deep Indian Red (R64); Fawn [2660: 3035]; Venetian Red (R62); Deep Brunswick Green [381:227].
Late Victorian	1875-1901	Salmon Pink (R42); Light Cream [2660: 3033]; Light Stone [381:361]; Biscuit (X42).	Brown (X54); Deep Brunswick Green [381:227]; Deep Indian Red (R64); Light Straw [381: 384].
Edwardian	1901-WW1	Pale Cream [381:352]; Buff (X41); Red Oxide (R63); Biscuit (X42).	Light Straw [381: 384]; Venetian Red (R62); Pale Green [2660:6070]; Mid Brunswick Green [381:226].

* Number in round brackets () indicates the Australian Standard 2700 number for the colour.

* Number in square brackets [] indicates the British Standard S 3881 or 2660 colour.

Source: Heritage Council of Victoria (2011) What House is That? A Guide to Victoria's Housing Styles 3rd Edition, Victorian Government, Melbourne.

- The fruit trees, particularly the apple varieties, are selected as being typical of a 19th century domestic garden.
- The remaining trees are also selected because of their historic associations with this period.
- Trees marked * are environmental weeds which may impact on existing and future remnant native vegetation and biodiversity values.

<ul style="list-style-type: none"> • Alder, <i>Alnus sp</i> • Apples (eg Gravenstein, Coxes Orange Pippin, Northern Spry) • Ash, <i>Fraxinus sp</i> except <i>F.rotundifolia</i> • Austral Mulberry, <i>Hedycarya augustifolia</i> • Bay Tree <i>Laurus nobilis</i> • Black Wattle <i>Acacia mearnsii</i> • Blackwood <i>Acacia melanoxylon</i> • Blanketleaf <i>Bedfordia salicina</i> • Cabbage Tree <i>Cordyline australis</i> • Camellia sp. • Camphor Laurel <i>Cinnamomum camphora</i> * • Crab apples, <i>Malus sp</i> • Crepe Myrtle, <i>Lagerstroemia indica</i> • Dogwood sp <i>Cornus</i> • English Elm <i>Ulmus procera</i> • Fig, <i>Ficus sp.</i> • Ghost Maple <i>Ace negundo</i> * • Hazel Pomaderris <i>Pomaderris aspera</i> • Hazelnut <i>Corylus avellana</i> • Horse Chestnut, <i>Aesculus hippocastanum</i> • Indian Horse Chestnut, <i>Aesculus indica</i> • Irish Strawberry Tree <i>Arbutus unedo</i> • Japanese Bead Tree <i>Melia azaderach</i> • Karaka <i>Corynocarpus laevigatus</i> • Sweet Bursaria <i>Bursaria spinosa</i> • Sweet Viburnum <i>Viburnum odoratissimum</i> • Tulip Tree, <i>Liriodendron tulipifera</i> 	<ul style="list-style-type: none"> • Kohuhu, <i>Pittosporum tenuifolium</i> • Lemon <i>Citrus limonia</i> • Lilly Pilly <i>Eugenia smithii</i> • Lombardy Poplar, <i>Populus nigra var Italica</i> * • London Plane, <i>Platanus acerifolia</i> • Loquat, <i>Eriobotrya japonica</i> • Medlar, <i>Mespilus germanica</i> • Mulberries, white and black, <i>Morus alba & M. nigra</i> • Musk Daisy <i>Olearia argophylla</i> • Myrtle Beech <i>Nothofagus cunninghamii</i> • Oak varieties, especially English <i>Quercus robur</i> • Olive, <i>Olea europaea</i> * • Oriental Plane, <i>Platanus orientalis</i> • Pear, <i>Pyrus sp.</i> • Persimmon, <i>Diospyros kaki</i> • Pyramid Tree <i>Lagunaria patersonii</i> • Quince <i>Cydonia oblonga</i> • Sassafras <i>Atherosperma moschatum</i> • Silver Poplar, <i>Populus alba</i> * • Silver Wattle <i>Acacia dealbata</i> • Soft Tree Fern <i>Dicksonia antarctica</i> • Walnut, <i>Junglans regia</i> • White Cedar • Southern Magnolia <i>Magnolia grandiflora</i> • Spanish Chestnut <i>Castanea sativa</i>
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