



# Application for a Planning Permit

## Section 1: LAND DETAILS

Unit Number:	Street Number: <b>5</b>	Street Name: <b>Williamson Street</b>
Town: <b>Drouin</b>		Postcode: <b>3810</b>

**FORMAL LAND DESCRIPTION** (Please complete either A or B – this information can be found on the Certificate of Title)

### Option A:

Lot No:	<b>12</b>
Type of Plan: Please tick ✓	Lodge Plan <input type="checkbox"/> Title Plan <input type="checkbox"/> Plan of Subdivision <input checked="" type="checkbox"/>
Plan Number:	<b>023812</b>

### Option B:

Crown Allotment Number:	
Section Number:	
Parish/Township Name:	

## Section 2: PERMIT APPLICANT

Name:	
Business:	
Postal Address:	
Telephone No. (H)	
Email Address:	

## Section 3: OWNER DETAILS (If different to the Applicant)

Name(s):	
Postal Address:	
Telephone No. (H)	
Email Address:	

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## Section 4: DEVELOPMENT COST - Estimated Cost of development for which the permit is required

<b>700000</b>
---------------

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**Section 5: PROPOSAL** You must give full details of the proposal being applied for. Insufficient or unclear information will delay your application..

Advertised

For what use, development or other matter do you require a permit?

**Development:**

<input type="checkbox"/> Advertising Signage	<input type="checkbox"/> Development of 2 or more dwellings Qty: <input type="text"/>
<input type="checkbox"/> Agricultural Outbuildings	<input type="checkbox"/> Mixed Use Development and Reduction of Carparking
<input type="checkbox"/> Buildings and Works and Reduction in Carparking	<input type="checkbox"/> Residential Outbuildings
<input type="checkbox"/> Commercial or Industrial Buildings and Works	<input type="checkbox"/> Single Dwelling
<input type="checkbox"/> Extension / Alteration to Dwelling	<input type="checkbox"/> Telecommunications

**Use:**

<input type="checkbox"/> Buildings and Works and Change of Use	<input type="checkbox"/> Home Based Business
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Sale and Consumption of Liquor
<input type="checkbox"/> Change of Use and Single Dwelling	

**Subdivision:**

<input type="checkbox"/> Boundary Realignment	<input type="checkbox"/> 3 or more Lot Subdivison Qty: <input type="text"/>
<input type="checkbox"/> Variation/ Removal of Restriction	<input type="checkbox"/> Create an easement
<input type="checkbox"/> 2 Lot Subdivision	<input type="checkbox"/> 100 or more Lot Subdivision Qty: <input type="text"/>

**Subdivision / Vegetation Removal:**

<input type="checkbox"/> Native Vegetation Removal or Lopping	<input type="checkbox"/> Non Native Vegetation Removal or Lopping (ESO4)
<input type="checkbox"/> Subdivision Qty: <input type="text"/>	<input type="checkbox"/> Alteration of access RDZ1

**Other:**


Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, Section 173 agreement or other obligation such as an easement or building envelope?

☐ Yes ☐ No ☐ Not Applicable (no such covenant, section 173 agreement or restriction applies)

If yes, you should contact Council for advice as to how to proceed with the application.

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**FURTHER DETAILS OF PROPOSAL** (optional)




**Section 6: EXISTING CONDITIONS** Describe how the land is used and developed now.

Provide a plan of the existing conditions. Photos are also helpful.

**Advertised****The property is currently used as a residential building****Section 7: PRE-APPLICATION MEETING** Has there been a Pre-Application meeting with a Council Planning Officer?No ☐Yes ☒

If yes, with whom?

Date of this meeting

**Section 8: DECLARATION** This form must be signed. Complete box A or B**A.** I declare that I am the Applicant and owner of this land and that all information given is true and correct.

Owner/ Applicant signature:

Date:

**B.** I/We the Applicant declare that I/We have notified the owner about this application and that all information given is true and correct.

Applicant Signature:

Date: **16 May 2024****CHECK LIST** Please ensure you have included the following items with your application form. *Failure to provide all the information above may result in a delay in the processing of the application.*

A fully completed and signed copy of this form.

Most applications require a fee to be paid. *Please make payment at time of lodgement if submitting at Councils Customer Service Centre or submitting through our on-line portal. If emailing your application, a payment link will be sent to your nominated email once registered on the system.***Contact Council to determine the appropriate fee.**

Full and current copy of title and title plan (no older than 60 days) for each individual parcel of land forming the subject site. The title includes: the covering register search statement, the title plan and the associated title documents (known as instruments).



Provided plans showing the layout and details of the proposal



Provided any information required by the planning scheme, requested by Council



Provided a description of the likely effect of the proposal (if required)



Completed the declaration in Section 8



Provided a contact phone number and e-mail address

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<b>E-mail:</b>	planning@bawbawshire.vic.gov.au	<b>Mail:</b>	Planning Department, Baw Baw Shire Council PO Box 304 Warragul VIC 3820
<b>Phone:</b>	5624 2411		
<b>In Person:</b>	Customer Service Centre: 33 Young Street Drouin		

The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application.

These third parties generally include, but are not limited to:

Transport Infrastructure Agencies such as VicRoads and VLine

Energy/Utilities Providers

Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

All information collected and held by Council is managed in accordance with Councils Privacy Policy which is available on our website. If you choose not to supply the requested information it may impair the ability of Council to consider your application or prevent Council from communicating with you in relation to your application.

If you have any concerns or require access to the information held by Council, please contact us on 5624 2411.

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Page 4 of 175



# Application to Amend a Planning Application S50/S57A

Advertised

## Section 1: PERMIT DETAILS

Planning Application No:	PLA0117/24
Address:	5 Williamson Street DROUIN VIC 3818

## Section 2: PERMIT APPLICANT

Name:	
Business:	
Postal Address:	
Telephone No. (H)	
Email Address:	

## Section 3: OWNER DETAILS (If different to the Applicant)

Name(s):	
Postal Address:	
Telephone No. (H)	
Email Address:	

## Section 4: AMENDMENT CATEGORY Please tick ✓

Section 50 – Amendment to the application at request of the applicant <b>before</b> notice	<input checked="" type="checkbox"/>
Section 57A – Amendment to the application <b>after</b> notice of application is given (please note, this will incur a fee)	<input type="checkbox"/>

**AMENDMENT DETAILS** List the changes being applied for and highlight changes on corresponding plans if applicable. A copy of the plans must be submitted with this application. If you need more space, please attach these details separately.

The proposed two(2) double storey dwelling will be specifically for Development Only. There will
No Sudvision.

## Section 5: DEVELOPMENT COST


State the estimated total cost of the proposed development, including amendment.	<input checked="" type="checkbox"/> Unchanged from initial application Or total cost \$
Does the amendment proposal introduce any additional Permit Triggers? (eg: creation of easement, parking reduction) If yes, an additional application fee may be required.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

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**Section 6: DECLARATION** This form must be signed. Complete box A or B

<b>A.</b> I declare that I am the Applicant and Owner of this land and that all information given is true and correct.	Owner/ Applicant signature:	Date: <div style="border: 1px solid red; padding: 2px; display: inline-block;"><b>Advertised</b></div>
<b>B.</b> I/We the Applicant declare that I/We have notified the owner about this application and that all information given is true and correct.	Applicant Signature: 	Date: <b>09/11/2024</b>

**PLEASE FORWARD THIS APPLICATION TO**

<b>E-mail:</b> <a href="mailto:planning@bawbawshire.vic.gov.au">planning@bawbawshire.vic.gov.au</a>  <b>Phone:</b> 5624 2411  <b>In Person:</b> Customer Service Centre: 33 Young Street Drouin	<b>Mail:</b> Planning Department, Baw Baw Shire Council PO Box 304 Warragul VIC 3820
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- Transport Infrastructure Agencies such as VicRoads and VLine
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## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 07830 FOLIO 018

Security no : 124115018455T  
Produced 16/05/2024 02:06 PM

### LAND DESCRIPTION

Lot 12 on Plan of Subdivision 023812.  
PARENT TITLE Volume 07701 Folio 122  
Created by instrument 2430028 21/08/1951

### REGISTERED PROPRIETOR

Estate Fee Simple  
Sole Proprietor

### ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AW712235P 06/04/2023  
MACQUARIE BANK LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

### DIAGRAM LOCATION

SEE LP023812 FOR FURTHER DETAILS AND BOUNDARIES

### ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 5 WILLIAMSON STREET DROUIN VIC 3818

### ADMINISTRATIVE NOTICES

NIL

eCT Control 18440T MSA NATIONAL  
Effective from 06/04/2023

DOCUMENT END

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Page 7 of 175

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Document Type	<b>Plan</b>
Document Identification	<b>LP023812</b>
Number of Pages (excluding this cover sheet)	<b>1</b>
Document Assembled	<b>16/05/2024 14:06</b>

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PLAN OF SUBDIVISION  
OF PART OF CROWN ALLOTMENTS 25 & 26 SEC.A

LP 23812  
Advised

TOWNSHIP OF DROUIN  
PARISH OF DROUIN WEST  
COUNTY OF BULN BULN

EDITION 1  
PLAN MAY BE LODGED  
4-7 -1952

VOL.7408 FOL. 401

Measurements are in Feet & Inches

Conversion Factor

FEET x 0.3048 = METRES

STREET NAME AMENDED

FROM: LONGWARRY-DROUIN ROAD

TO: LONGWARRY ROAD

VIDE: GOVT. GAZ. 1983 P. 115

**COLOUR CODE**

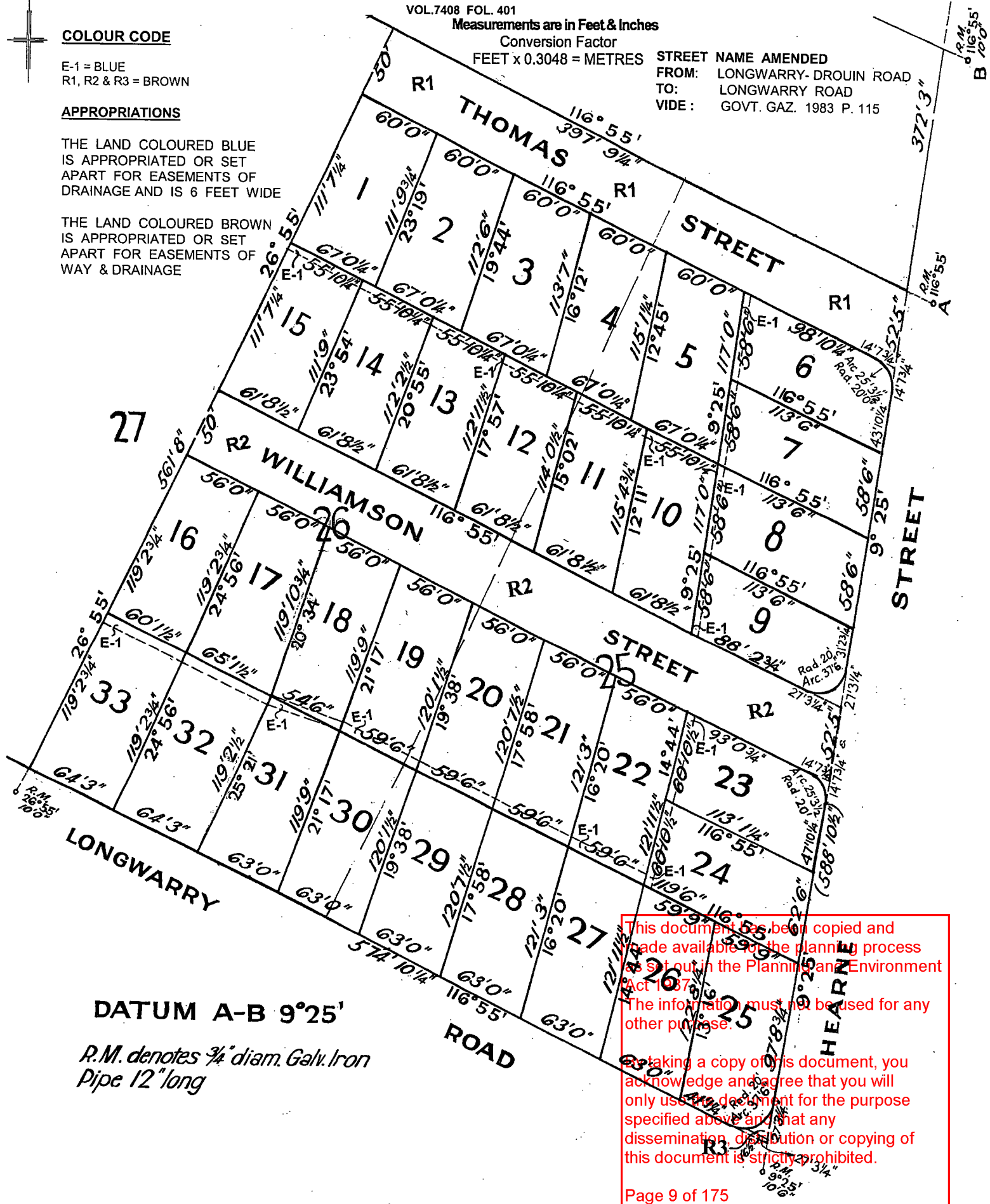
E-1 = BLUE

R1, R2 & R3 = BROWN

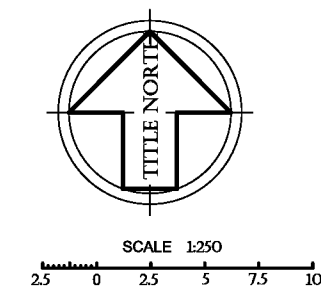
**APPROPRIATIONS**

THE LAND COLOURED BLUE  
IS APPROPRIATED OR SET  
APART FOR EASEMENTS OF  
DRAINAGE AND IS 6 FEET WIDE

THE LAND COLOURED BROWN  
IS APPROPRIATED OR SET  
APART FOR EASEMENTS OF  
WAY & DRAINAGE







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REV rev-n  
Page 10 of 175  
21182El 2 DWG

DRAWING NO.	REFNO
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## Client

job-location

PLAN OF FEATURE &amp; LEVEL SURVEY

Date:	Rev.	Amendments:	SURVEYED BY: -	DATUM: AS SHOWN
			DRAWN: -	DATE: -
			CHECKED: -	SCALE: AS SHOWN
			APPROVED BY: -	MELWAY REF.: -

DRAWING SHEET REGISTER	
No.	PAGE TITLE
TP00	TITLE SHEET
TP01	EXISTING SITE CONDITION
TP01.2	PROPOSED STREET ELEVATION
TP01.3	SITE ANALYSIS & DEMOLITION PLAN
TP02	PROPOSED SITE AND ROOF PLAN
TP03	PROPOSED GROUND FLOOR PLAN
TP04	PROPOSED FIRST FLOOR PLAN
TP05	PROPOSED ELEVATIONS
TP05.2	PROPOSED ELEVATION
TP06	PROPOSED SHADOW DIAGRAM
TP06.1	PROPOSED SHADOW DIAGRAM
TP07	OVERLOOKING DIAGRAM
TP08	TANDEM PARKING AND VEHICLE EXIT

REVISIONS			
No.	REVISION	DATE	BY
1	RFI BY STATUTORY PLANNER	05.16.2024	NSQ
2	RFI BY STATUTORY PLANNER	10.30.2024	ER

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35 Industrial Drive  
Cranbourne West  
Victoria 3977  
t: 03 90168239  
e: admin@mbdesignstudio.com.au

SHEET NAME: TITLE SHEET		PROJECT: PROPOSED 2 RESIDENTIAL DEVELOPMENT		JOB NO. 10325		SCALE: NTS	DRAWN: mc	DATE: 24.11.2021	CHECKED: J MERIN	DATE: 24.11.2021	BY: TP00	REVISION: 2
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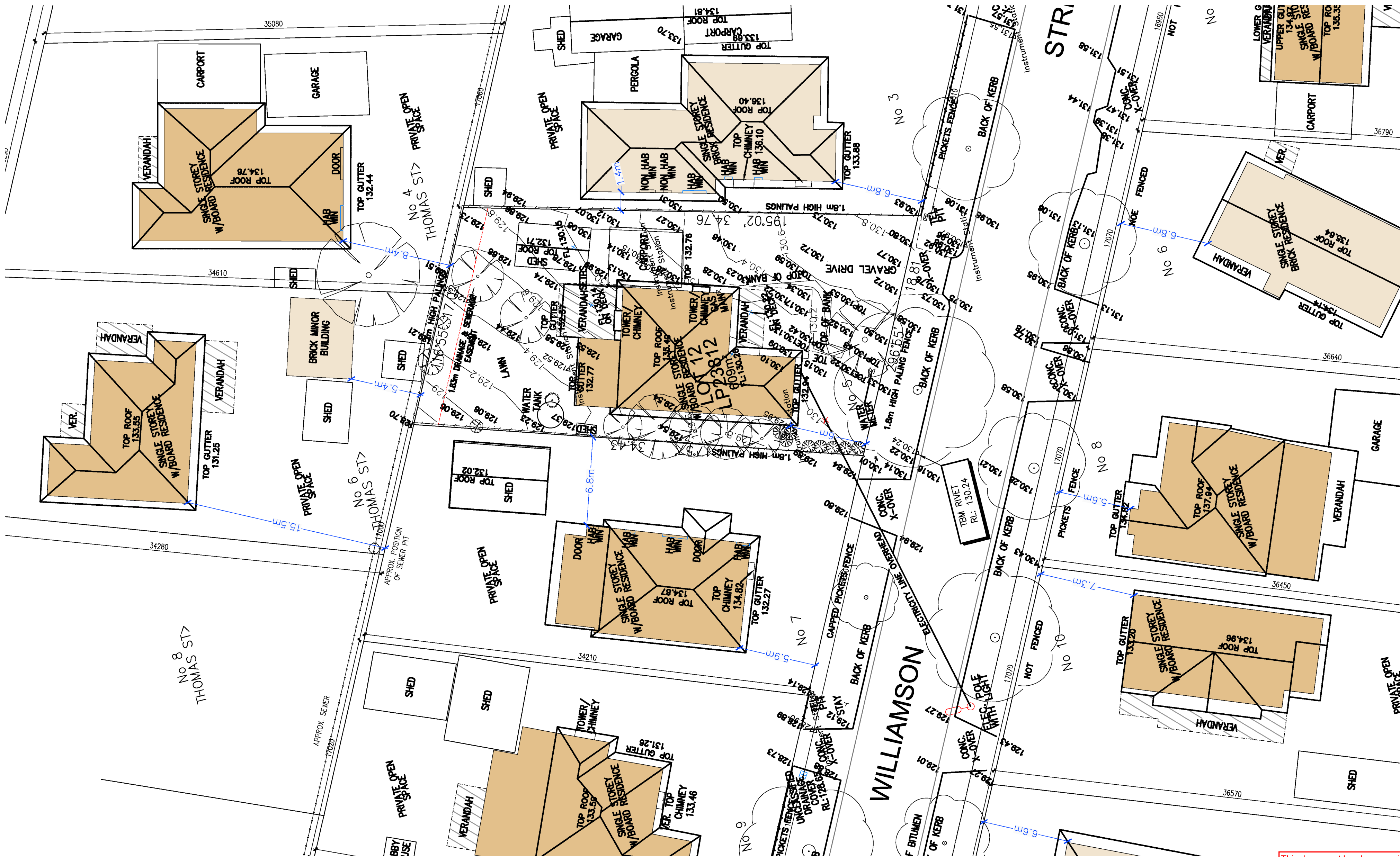
Page 11 of 175





Date:	Rev.	Amendments:	SURVEYED BY: -	DATUM: AS SHOWN	Client  5 WILLIAMSON STREET DROUIN 3818  PLAN OF FEATURE & LEVEL SURVEY	N.N.H. REF. NO. 21182	By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.
			DRAWN: -	DATE: -		SHEET 1 of 1	
			CHECKED: -	SCALE: AS SHOWN		REV	
			APPROVED BY: -	MELWAY REF.:		21182FL.DWG DRAWING NO. 21182FL	





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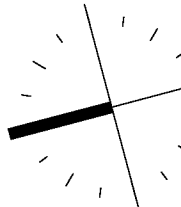
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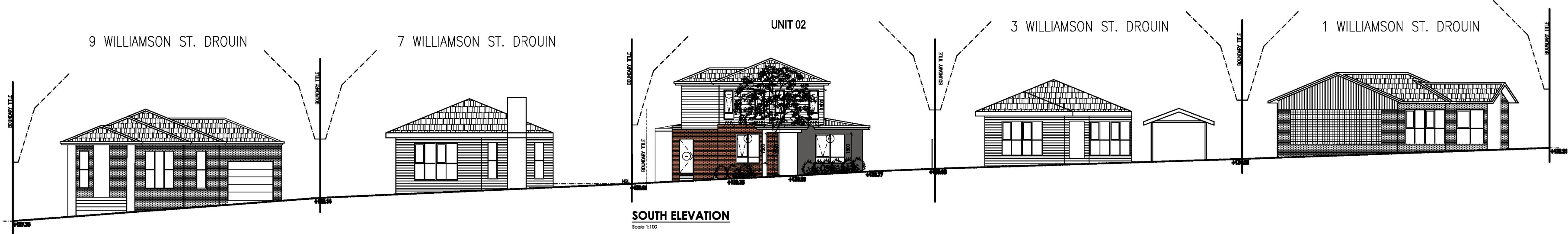
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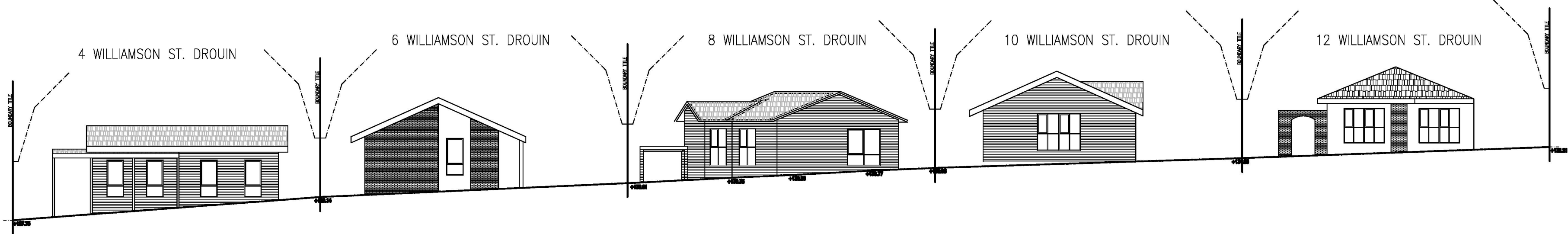
SHEET NAME: EXISTING SITE CONDITION				
PROJECT: PROPOSED 2 RESIDENTIAL DEVELOPMENT				
JOB NO. 10325	SCALE: 1:200	DRAWN: mc	DATE: 24.11.2021	CHECKED: J MERIN
SHEET NO. TP01				Page 13 of 175



ADJACENT PROPERTIES



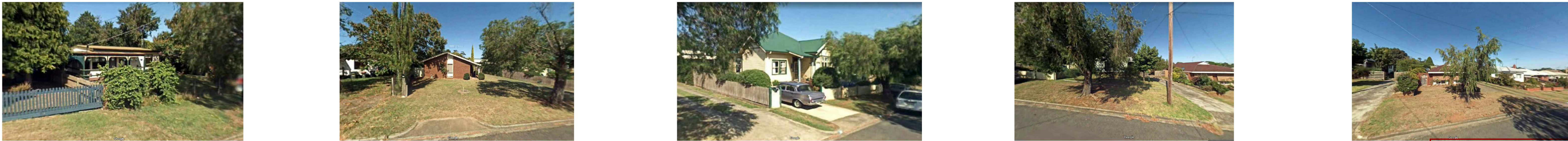
PROPERTIES ACROSS THE SITE



ADJACENT PROPERTIES



PROPERTIES ACROSS THE SITE



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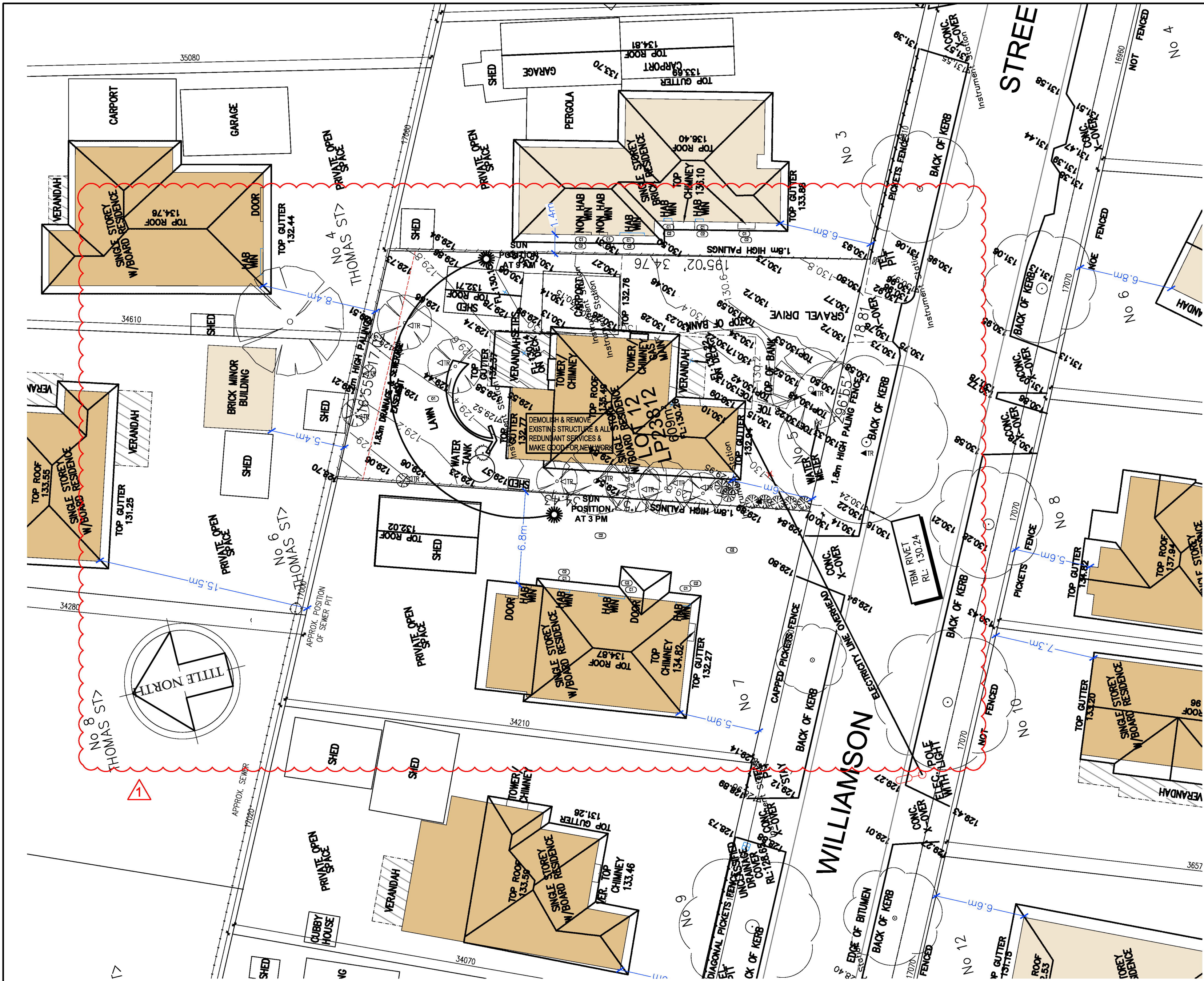
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e: admin@mbdesignstudio.com.au

SHEET NAME: PROPOSED STREET ELEVATION				
PROJECT: PROPOSED 2 RESIDENTIAL DEVELOPMENT				
JOB NO. 10325	SCALE: 1:200	DRAWN: mc	DATE: 24.11.2021	CHECKED BY: J MERIN
SHEET NO. TP01.2				2





**SITE CONSTRAINTS**

- C1 POTENTIAL OVERLOOKING
- C2 POTENTIAL OVERSHADOWING

**SITE OPPORTUNITIES**

- 01 THE SIZE OF THE LOT(1459.11 SQ.M.) PROVIDES THE OPPORTUNITY FOR UNIT DEVELOPMENT
- 02 OTHER PROPERTIES IN NEIGHBORHOOD HAVE MULTI UNIT DEVELOPMENT
- 03 NO SIGNIFICANT TREES ON SITE

TR TREES TO BE REMOVED  
▲TR TREES RETAIN

BOUNDARY TITLE

NO VEHICULAR OR PEDESTRIAN ACCESS, VEHICLE PARKING, COMPACTION, TRENCHING, SOIL EXCAVATION OR FILLING MUST OCCUR WITHIN THE TREE PROTECTION ZONE OF AN EXISTING TREE WITHOUT THE WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY. NO STORAGE OF TOOLS AND EQUIPMENT OR DUMPING OF WASTE IS TO OCCUR WITHIN THE TREE PROTECTION ZONE.



**DEMOLITION AND TREE REMOVAL**

IT IS THE RESPONSIBILITY OF THE OWNER TO UNDERTAKE ANY DEMOLITION WORKS AND TREE REMOVAL INCLUDING OBTAINING ANY NECESSARY PERMITS, & TO PROVIDE A SITE CLEAR OF ANY VEGETATION & DEBRIS TO THE SATISFACTION OF THE BUILDERS PRIOR TO COMMENCEMENT OF WORKS

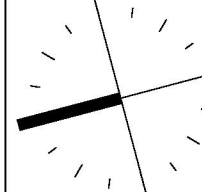
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Victoria 3977  
t: 03 90168239



SHEET NAME: SITE ANALYSIS & DEMOLITION PLAN			
PROJECT: PROPOSED 2 RESIDENTIAL DEVELOPMENT			
JOB NO. 10325	SCALE: 1:200	DRAWN: mc	DATE: 24.11.2021

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SITE ANALYSIS

SITE AREA	609.31 SQ.M
SITE COVERAGE	232.46 SQ.M

LEGEND

	GAS METER		HOT WATER UNIT
	WATER METER		DOWN PIPE
	RECYCLED TAP		RAINWATER HEAD
	FRESH WATER TAP		METER BOX
	SILT PIT		

NOTES

- STORM WATER LAYOUT INDICATIVE ONLY. ALL STORMWATER DRAINS TO CONNECT TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL. CLASS 6 UPVC STORMWATER DRAIN LAID AT A MIN. GRADE OF 1:100. PROVIDE INSPECTION OPENINGS AT 9000mm C/C AND AT EACH CHANGE OF DIRECTION. COVER TO UNDERGROUND.
- NO PART OF ANY FOOTING OR STRUCTURE TO ENCROACH ON TITLE BOUNDARY.
- GRADE SURFACE 50mm AWAY FOR 1000mm FROM ALL EXTERNAL WALLS.
- PROVIDE AGI DRAINS TO BASE OF ALL CUTS OVER 400mm HIGH CONNECTED TO STORMWATER SYSTEM.
- TEMPORARY DOWNPIPES ARE TO BE FITTED DURING CONSTRUCTION, UNTIL FINAL DOWNPIPES ARE INSTALLED & CONNECTED TO STORMWATER DRAINS.
- DOWNPIPES ARE TO BE NO MORE THAN 12M APART.

NOTES

- NO RETAINING WALLS PROPOSED.

FLOOR AREAS (UNIT 01)

GROUND FLOOR:	71.70sqm	
FIRST FLOOR:	78.70sqm	
TOTAL LIVING:	150.40sqm	(16.19SQ)
PORCH:	1.77sqm	
ALFRESCO:		
BALCONY:		
GARAGE:	24.55sqm	
TOTAL AREA:	176.72sqm	(19.02SQ)
POS/SPOS	47sqm	(0.00SQ)

FLOOR AREAS (UNIT 02)

GROUND FLOOR:	89.56sqm	
FIRST FLOOR:	88.06sqm	
TOTAL LIVING:	177.62sqm	(19.12SQ)
PORCH:	6.67sqm	
ALFRESCO:		
BALCONY:		
GARAGE:	24.55sqm	
TOTAL AREA:	208.85sqm	(22.48SQ)
POS/SPOS	40sqm	(0.00SQ)

SITE

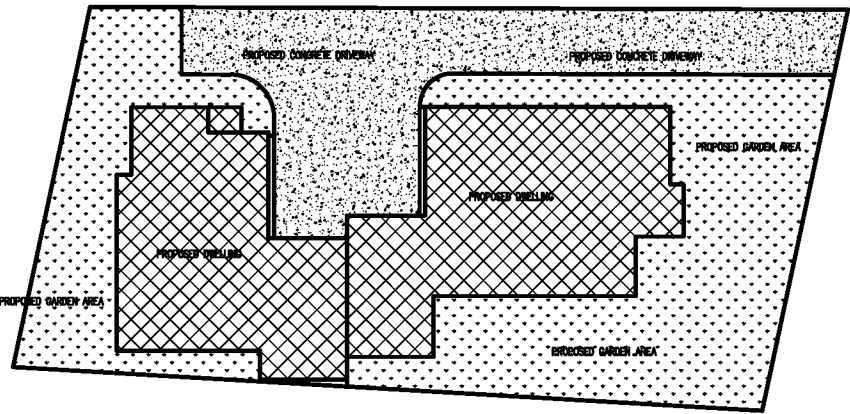
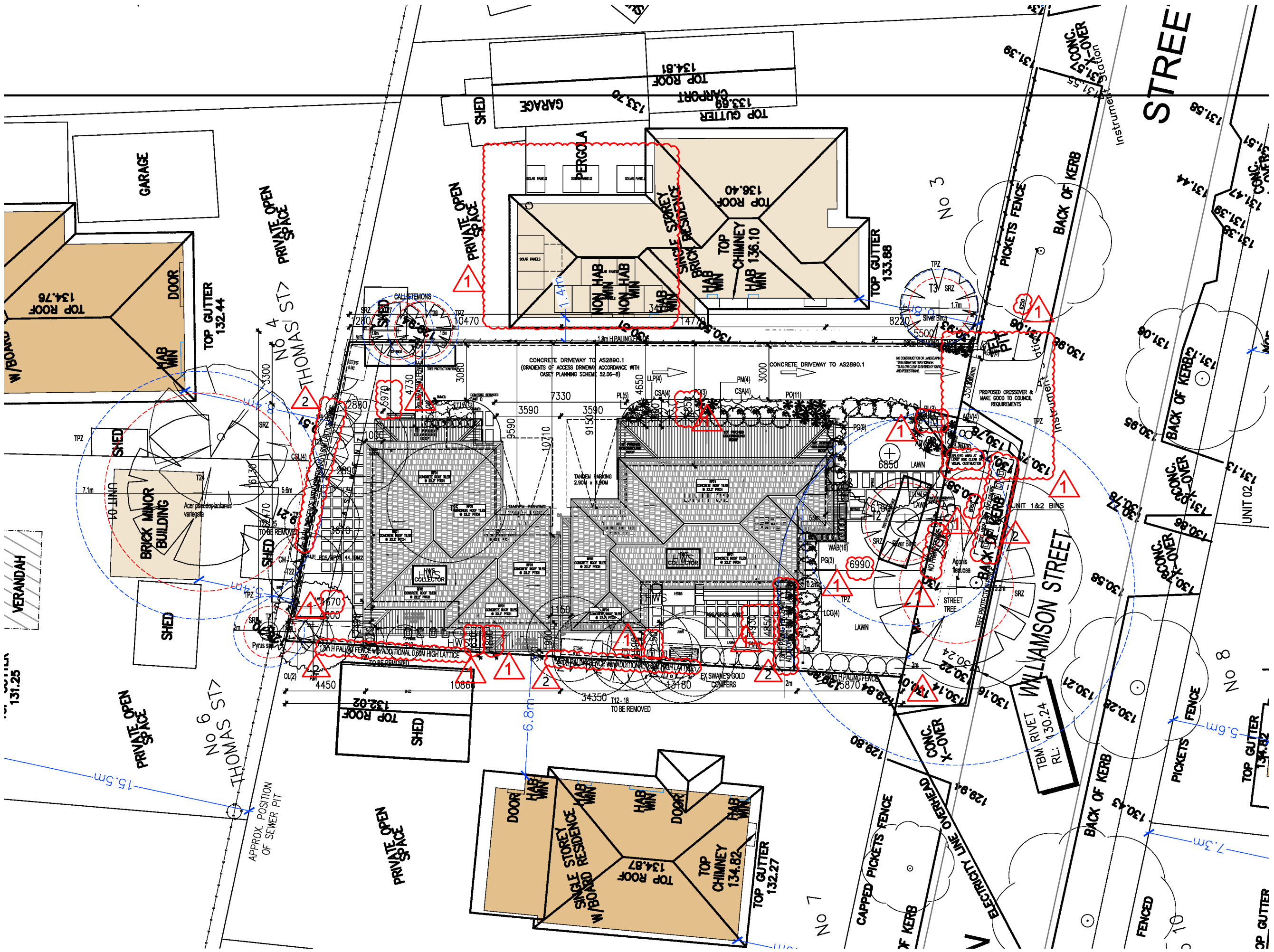
TOTAL SITE	609.31 SQM
TOTAL BUILT UP	385.57 sqm
TOTAL SITE COVERAGE	218.80 SQM = 35.91%
TOTAL PERMEABLE AREA (GARDEN AREA)	248.02 SQM =40.70%

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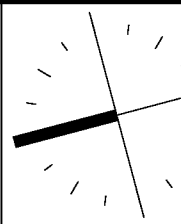


	PROPOSED CONCRETE DRIVEWAY AREA: 139.50 SQ.M (24.28 %)		PROPOSED GARDEN AREA AREA: 248.02 SQ.M (40.70%)
	PROPOSED DWELLING COVERAGE AREA: 223.36 SQ.M (37.65%)		

KEY PLAN

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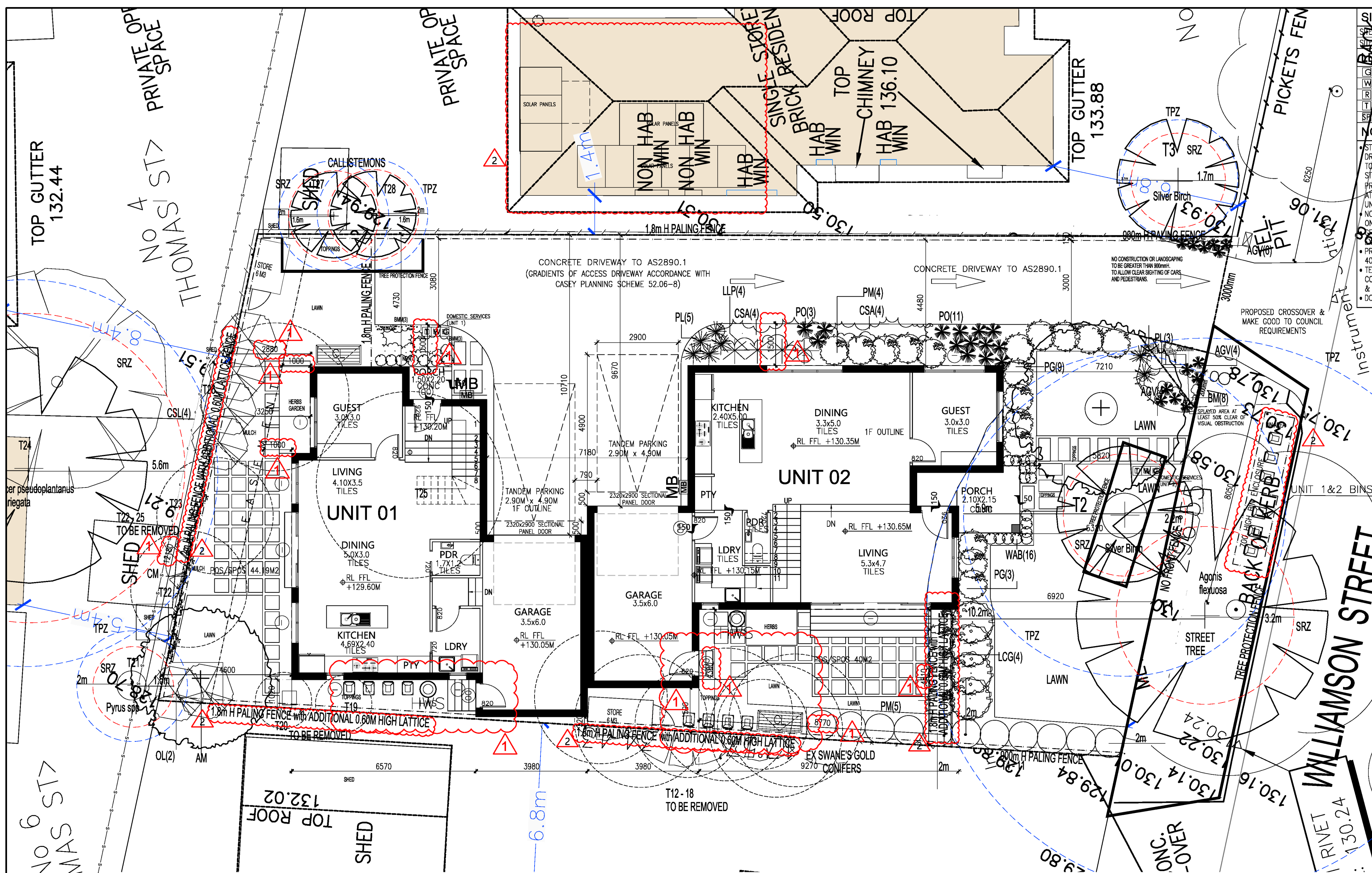
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Victoria 3977  
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SHEET NAME: PROPOSED SITE & ROOF PLAN			
PROJECT: PROPOSED 2 RESIDENTIAL DEVELOPMENT			
JOB NO. 10325	SCALE: 1:100	DRAWN: mc	DATE: 24.11.2021

TP02	2
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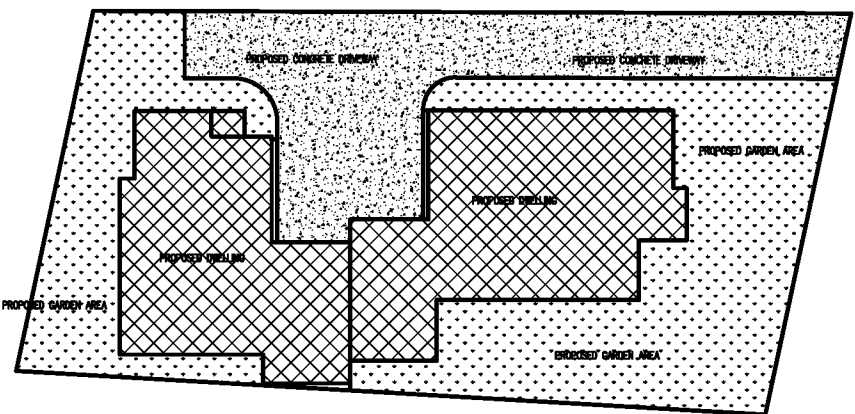




SITE ANALYSIS	
SITE AREA	609.31 SQ.M
SITE COVERAGE	232.46 SQ.M
LEGEND	
LG GAS METER	HW HOT WATER UNIT
WM WATER METER	DP DOWN PIPE
RT RECYCLED TAP	RWH RAINWATER HEAD
FT FRESH WATER TAP	MB METER BOX
SP SILT PIT	
NOTES	
STORM WATER LAYOUT INDICATIVE ONLY. ALL STORMWATER DRAINS TO CONNECT TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL. CLASS 6 UPVC STORMWATER DRAIN LAID AT A MIN. GRADE OF 1:100. PROVIDE INSPECTION OPENINGS AT 9000mm C/C AND AT EACH CHANGE OF DIRECTION. COVER TO UNDERGROUND.	
NO PART OF ANY FOOTING OR STRUCTURE TO ENCROACH ON TITLE BOUNDARY.	
GRADE SURFACE 50mm AWAY FOR 1000mm FROM ALL EXTERNAL WALLS.	
PROVIDE AGI DRAINS TO BASE OF ALL CUTS OVER 400mm HIGH CONNECTED TO STORMWATER SYSTEM.	
TEMPORARY DOWNPIPES ARE TO BE FITTED DURING CONSTRUCTION, UNTIL FINAL DOWNPIPES ARE INSTALLED & CONNECTED TO STORMWATER DRAINS.	
DOWNPIPES ARE TO BE NO MORE THAN 12M APART.	

FLOOR AREAS (UNIT 01)	
GROUND FLOOR:	71.70sqm
FIRST FLOOR:	78.70sqm
TOTAL LIVING:	150.40sqm (16.19SQ)
PORCH:	1.77sqm
ALFRESCO:	
BALCONY:	
GARAGE:	24.55sqm
TOTAL AREA:	176.72sqm (19.02SQ)
POS/SPOS	47sqm (0.00SQ)
FLOOR AREAS (UNIT 02)	
GROUND FLOOR:	89.56sqm
FIRST FLOOR:	88.06sqm
TOTAL LIVING:	177.62sqm (19.12SQ)
PORCH:	6.67sqm
ALFRESCO:	
BALCONY:	
GARAGE:	24.55sqm
TOTAL AREA:	208.85sqm (22.48SQ)
POS/SPOS	40sqm (0.00SQ)

SITE	
TOTAL SITE	609.31 SQM
TOTAL BUILT UP	385.57 sqm
TOTAL SITE COVERAGE	218.80 SQM = 35.91%
TOTAL PERMEABLE AREA (GARDEN AREA)	248.02 SQM = 40.70%



PROPOSED CONCRETE DRIVEWAY AREA: 139.50 SQ.M (24.28 %)	PROPOSED GARDEN AREA AREA: 248.02 SQ.M (40.70%)
PROPOSED DWELLING COVERAGE AREA: 223.36 SQ.M (37.65%)	

KEY PLAN



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SHEET NAME: PROPOSED GROUND FLOOR PLAN	
PROJECT: PROPOSED 2 RESIDENTIAL DEVELOPMENT	
JOB NO. 10325	SCALE: 1:100
DRAWN: mc	DATE: 24.11.2021
J MERIN	TP03

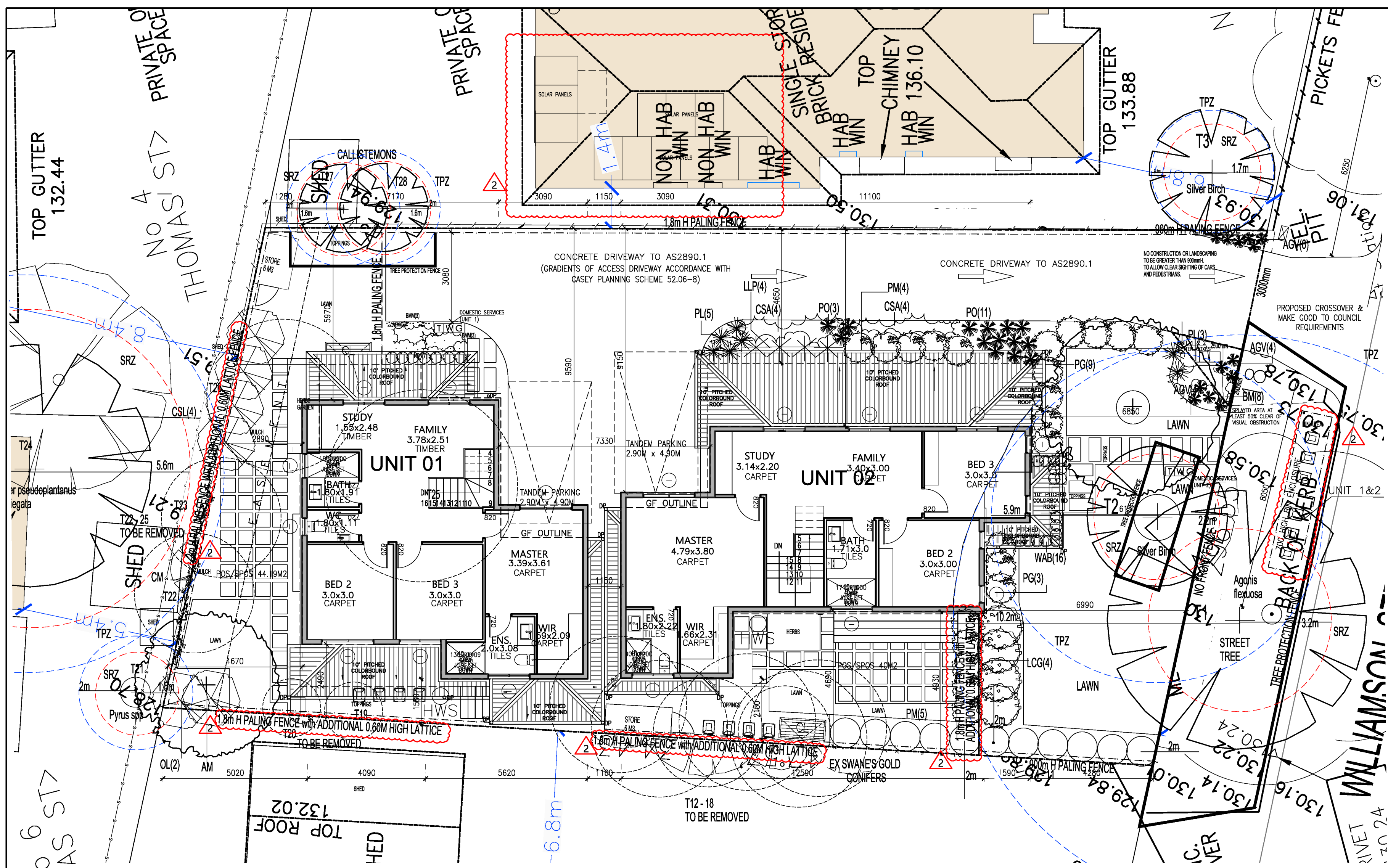
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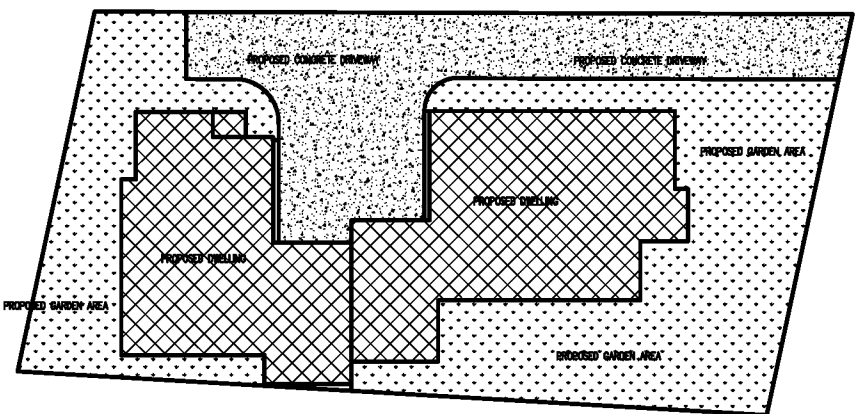




SITE ANALYSIS	
SITE AREA	609.31 SQ.M
SITE COVERAGE	232.46 SQ.M
LEGEND	
GAS METER	HOT WATER UNIT
WATER METER	DOWN PIPE
RECYCLED TAP	RAINWATER HEAD
FRESH WATER TAP	METER BOX
SILT PIT	
NOTES	
<p>• STORM WATER LAYOUT INDICATIVE ONLY. ALL STORMWATER DRAINS TO CONNECT TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL. CLASS 6 UPVC STORMWATER DRAIN LAID AT A MIN. GRADE OF 1:100. PROVIDE INSPECTION OPENINGS AT 9000mm C/C AND AT EACH CHANGE OF DIRECTION. COVER TO UNDERGROUND.</p> <p>• NO PART OF ANY FOOTING OR STRUCTURE TO ENCROACH ON TITLE BOUNDARY.</p> <p>• GRADE SURFACE 50mm AWAY FOR 1000mm FROM ALL EXTERNAL WALLS.</p> <p>• PROVIDE AGI DRAINS TO BASE OF ALL CUTS OVER 400mm HIGH CONNECTED TO STORMWATER SYSTEM.</p> <p>• TEMPORARY DOWNPIPES ARE TO BE FITTED DURING CONSTRUCTION, UNTIL FINAL DOWNPIPES ARE INSTALLED &amp; CONNECTED TO STORMWATER DRAINS.</p> <p>• DOWNPIPES ARE TO BE NO MORE THAN 12M APART.</p>	

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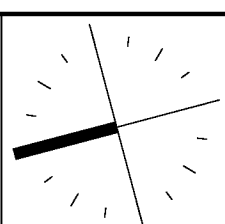
SITE	
TOTAL SITE	609.31 SQM
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PROPOSED CONCRETE DRIVEWAY AREA: 139.50 SQ.M (24.28 %)	PROPOSED GARDEN AREA AREA: 248.02 SQ.M (40.70%)
PROPOSED DWELLING COVERAGE AREA: 223.36 SQ.M (37.65%)	

KEY PLAN

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SHEET NAME: PROPOSED FIRST FLOOR PLAN	
PROJECT: PROPOSED 2 RESIDENTIAL DEVELOPMENT	
JOB NO. 10325	SCALE: 1:100
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J MERIN	TP04

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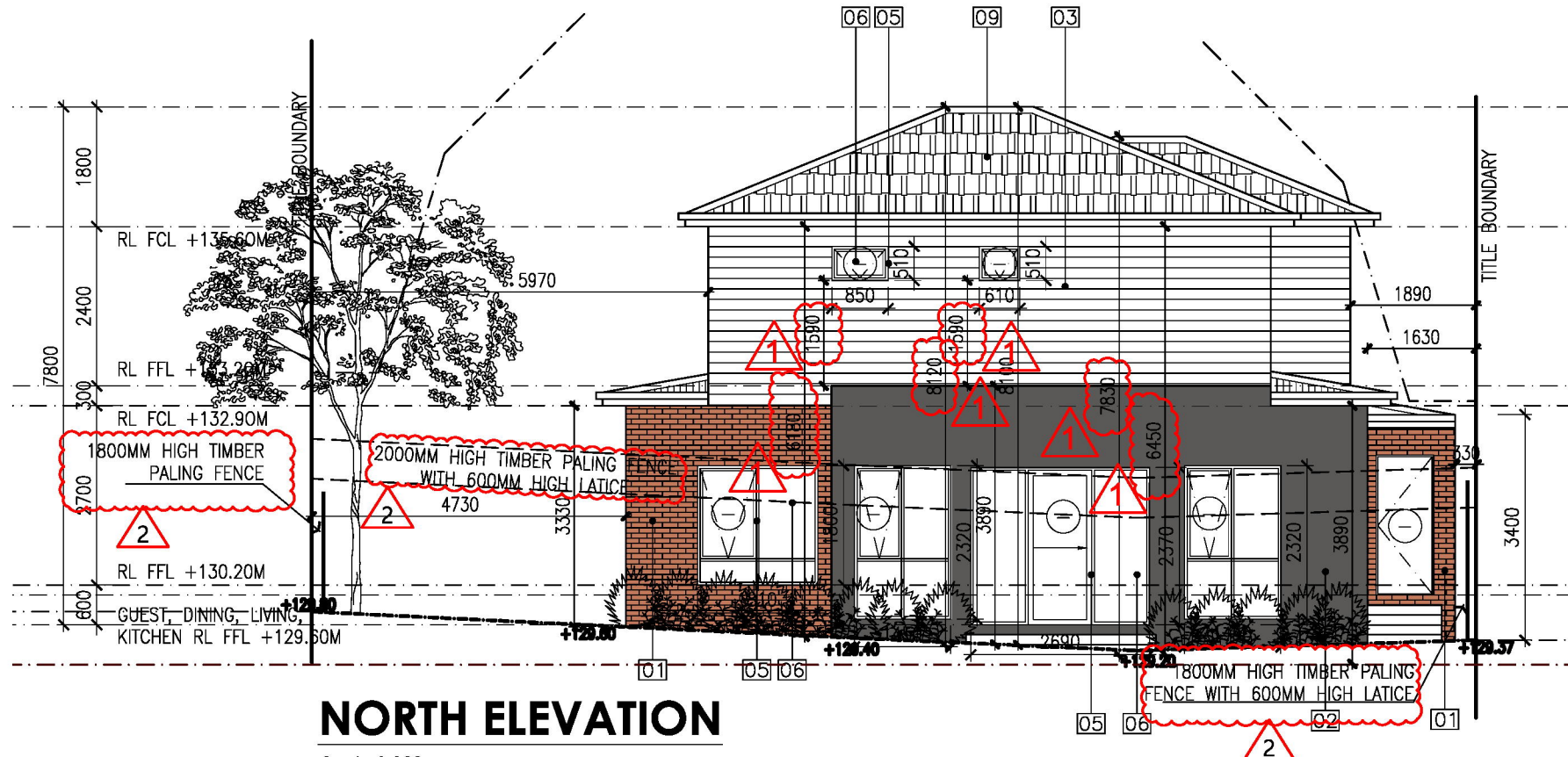
NOTES

- REFER TO WINDOW SCHEDULE FOR WINDOW SIZES.
- COLORBOND FASCIA AND QUAD GUTTER WITH 100x50 COLORBOND DOWNPIPES
- COLORBOND PARAPET CAPPING AS REQUIRED
- 600mm EAVE TO EXTERNAL BRICKWORK AND EXSULITE CLADDING U.N.O.
- PROVIDE TEMPORARY DOWNPIPE SOCKS THROUGHOUT DURING CONSTRUCTION
- = ARTICULATION JOINT
- AJ = DENOTES DOUBLE GLAZING
- X = DENOTES COVER PLATE TO MATCH WINDOW

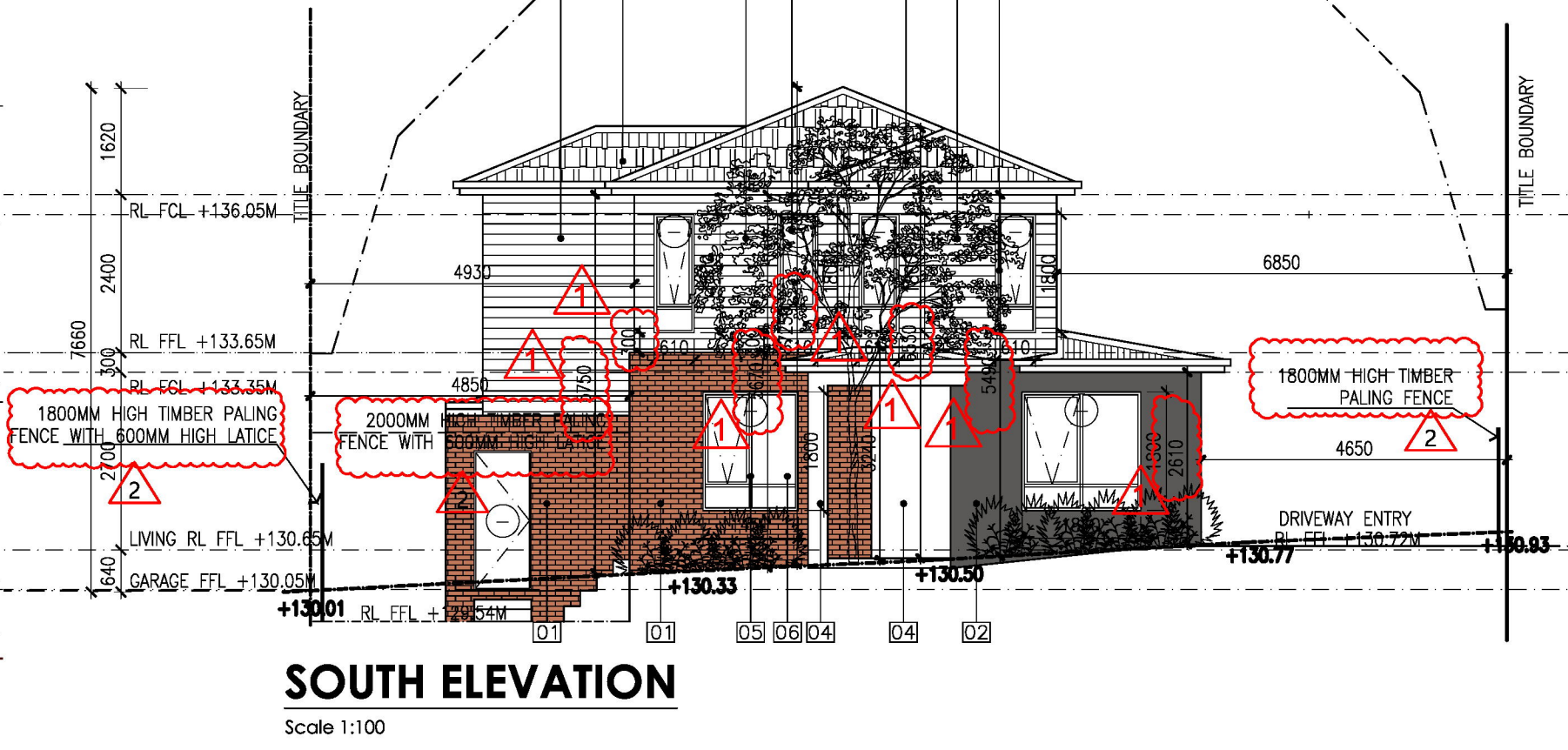
MATERIAL SCHEDULE:

- 1 AUSTRAL MELB SERIES KOORYONG
- 2 DULUX RAKU RENDERED ON BRICK
- 3 WEATHER BOARD (MOODY WHITE)
- 4 DULUX MOODY WHITE RENDERED ON BRICK
- 5 WINDOW FRAME WAYWARD GREY
- 6 CLEAR GLAZING
- 7 SELECTED GARAGE DOOR
- 8 ALUMINUM FRAMED GLASS BALUSTRADE
- 9 MONIER CONCRETE ROOF TILES
- 10 WINDOWS TO BE SCREENED WILL HAVE FIXED OSCURE GLAZING NO MORE THAN 25% TRANSPARENT (NON-OPENABLE) TO A HEIGHT OF 1.7 METRES ABOVE FINISHED FLOOR LEVEL. THE WINDOWS MAY BE CLEAR AND OPENABLE ABOVE 1.7 METRES. ADHESIVE FILM NOT BE USED

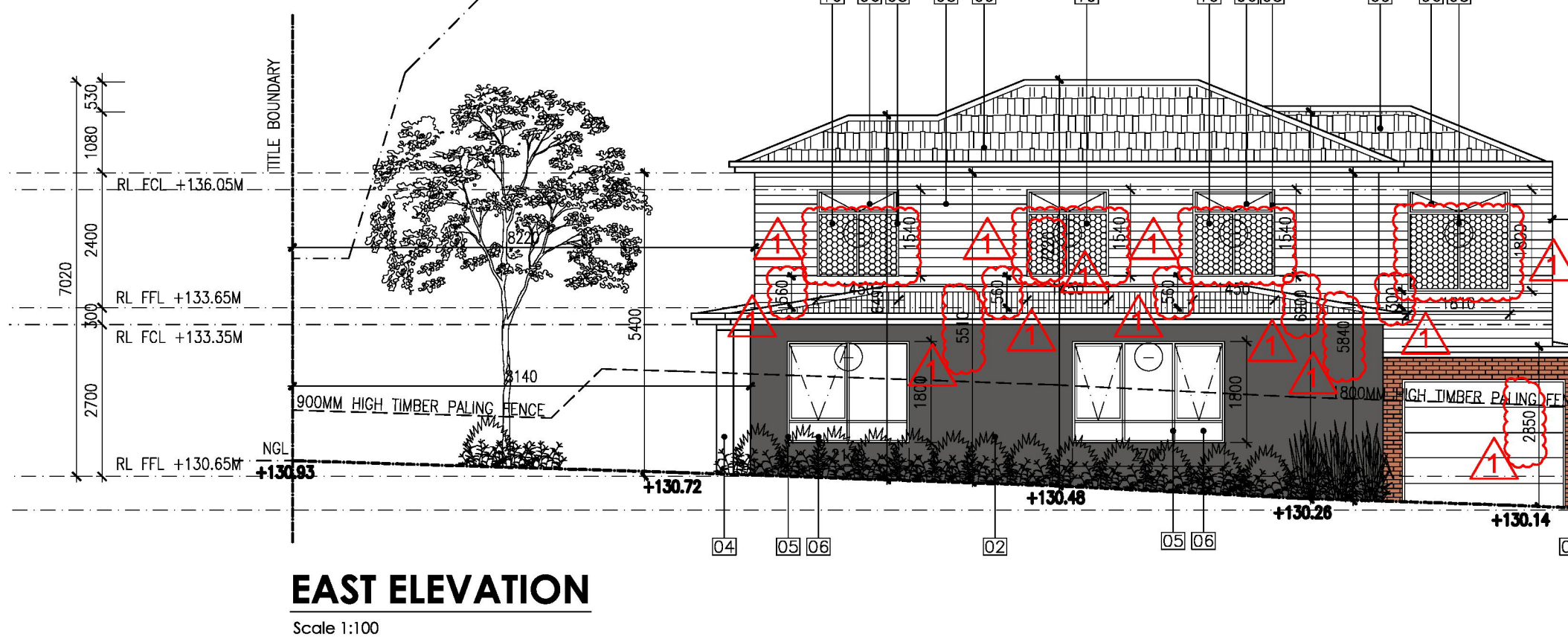
UNIT 01



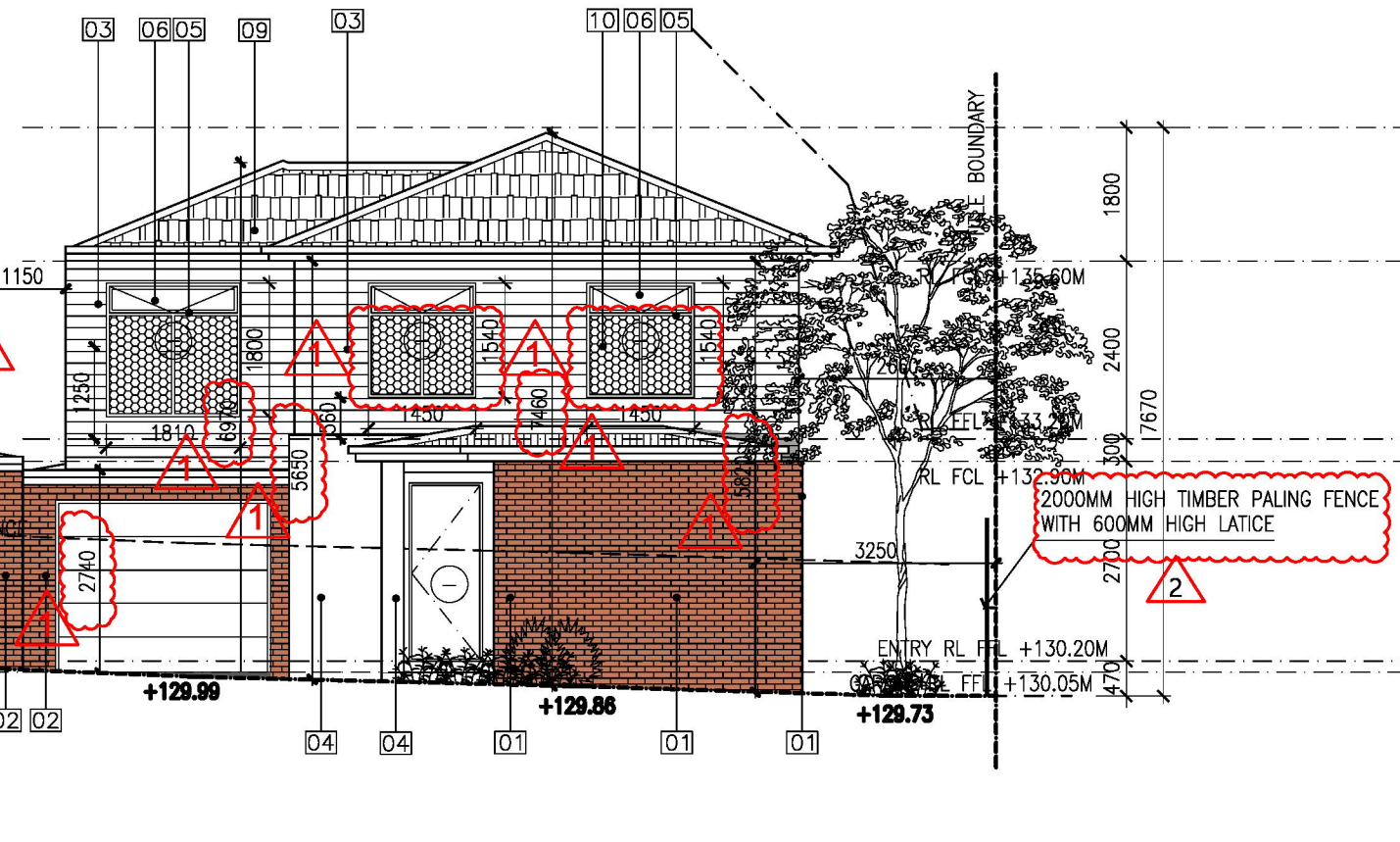
UNIT 02



UNIT 02



UNIT 01



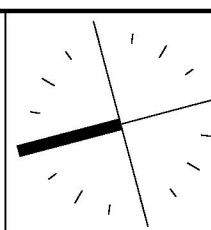
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PROJECT: PROPOSED 2 RESIDENTIAL DEVELOPMENT			
JOB NO. 10325	SCALE: 1:100	DRAWN: mc	DATE: 24.11.2021

Checked by: J MERIN  
Date: 24.11.2021  
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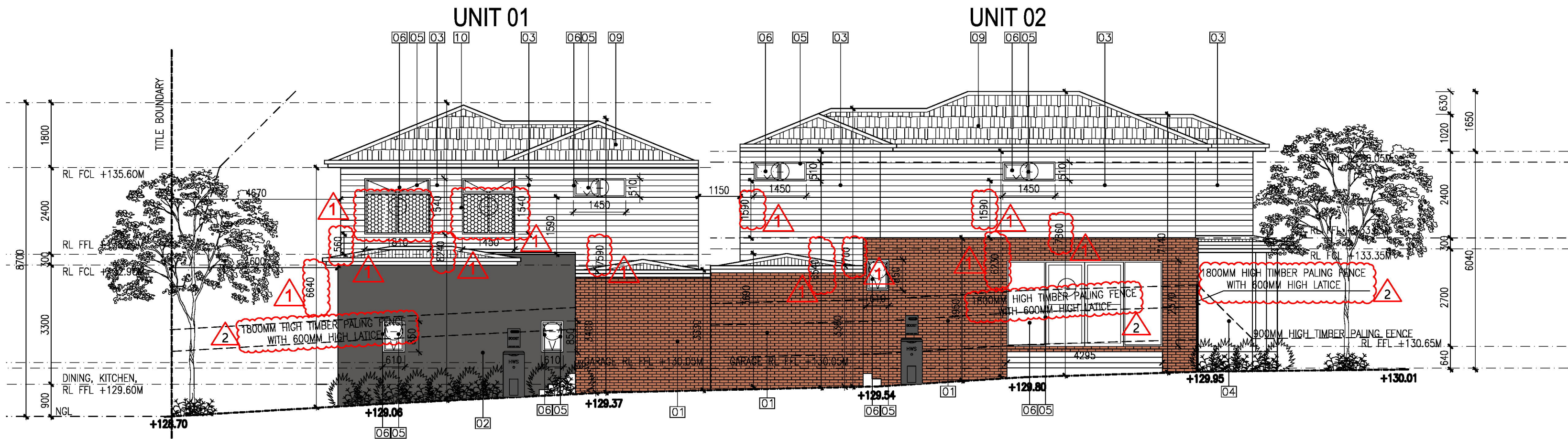


NOTES

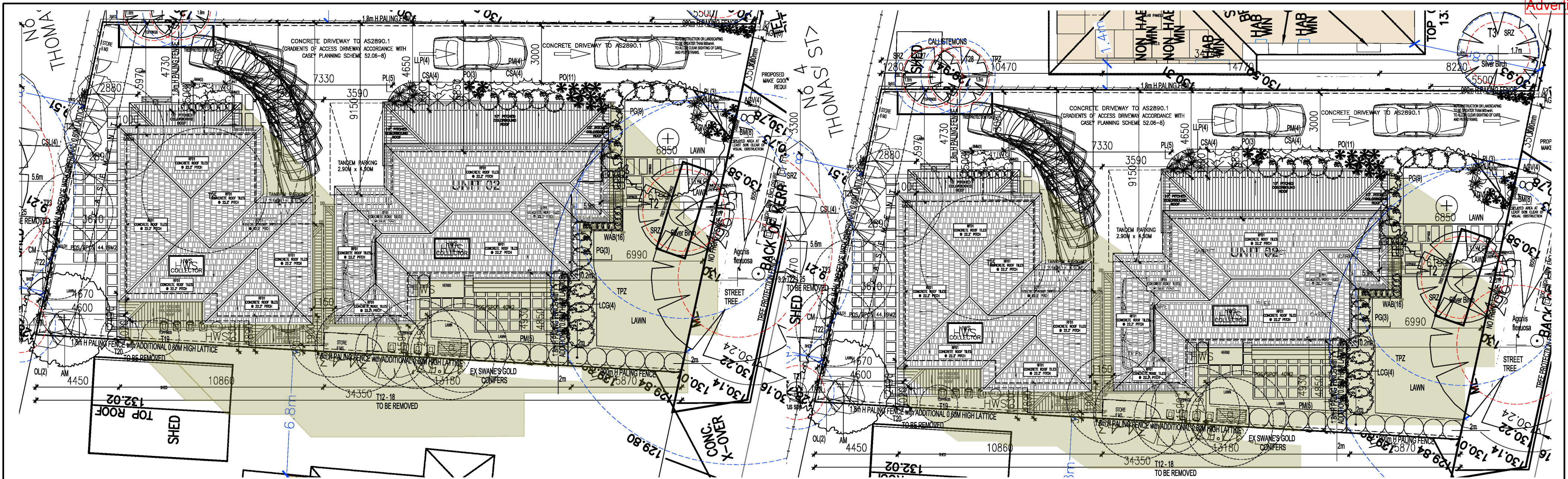
- REFER TO WINDOW SCHEDULE FOR WINDOW SIZES.
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MATERIAL SCHEDULE:

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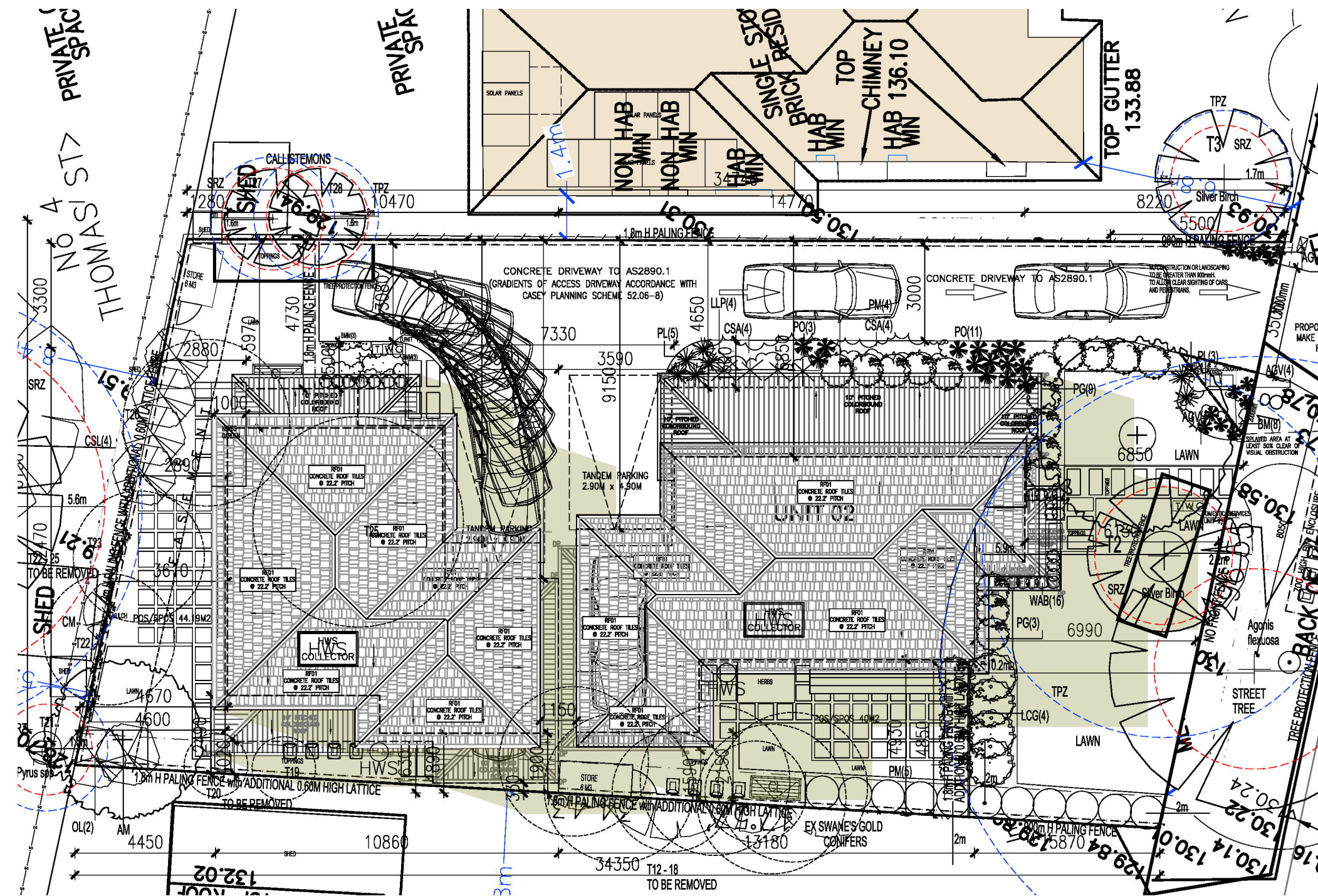






SHADOW DIAGRAM AT 9AM

SHADOW DIAGRAM AT 10AM



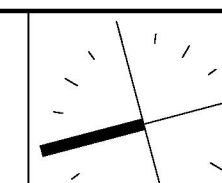
SHADOW DIAGRAM AT 11AM

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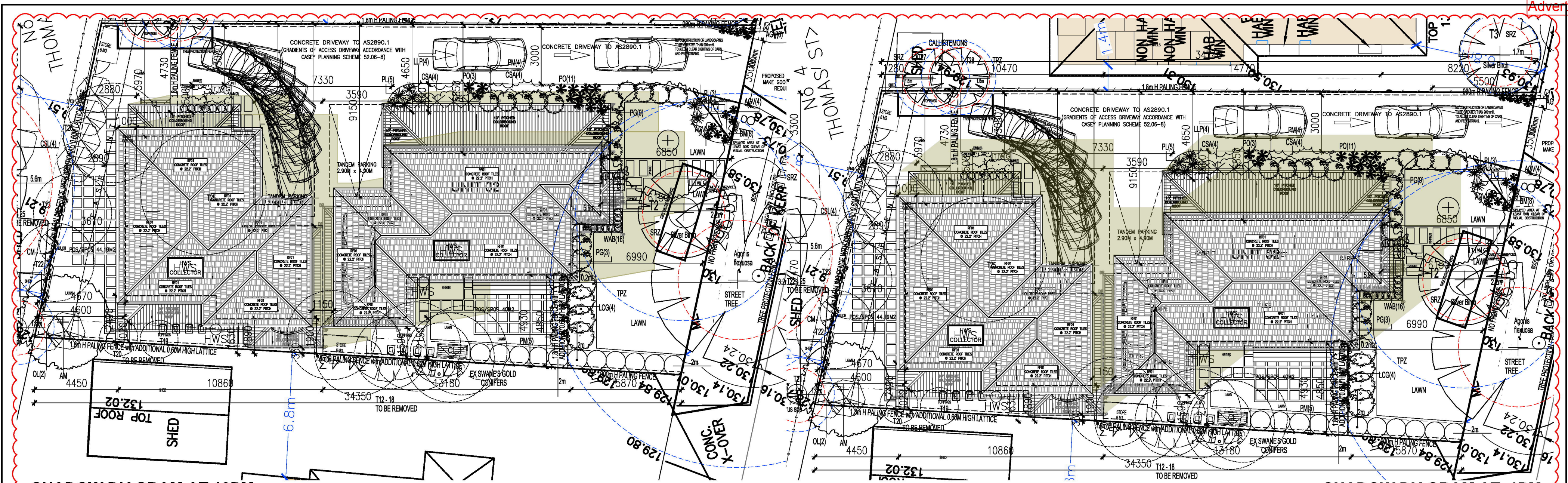


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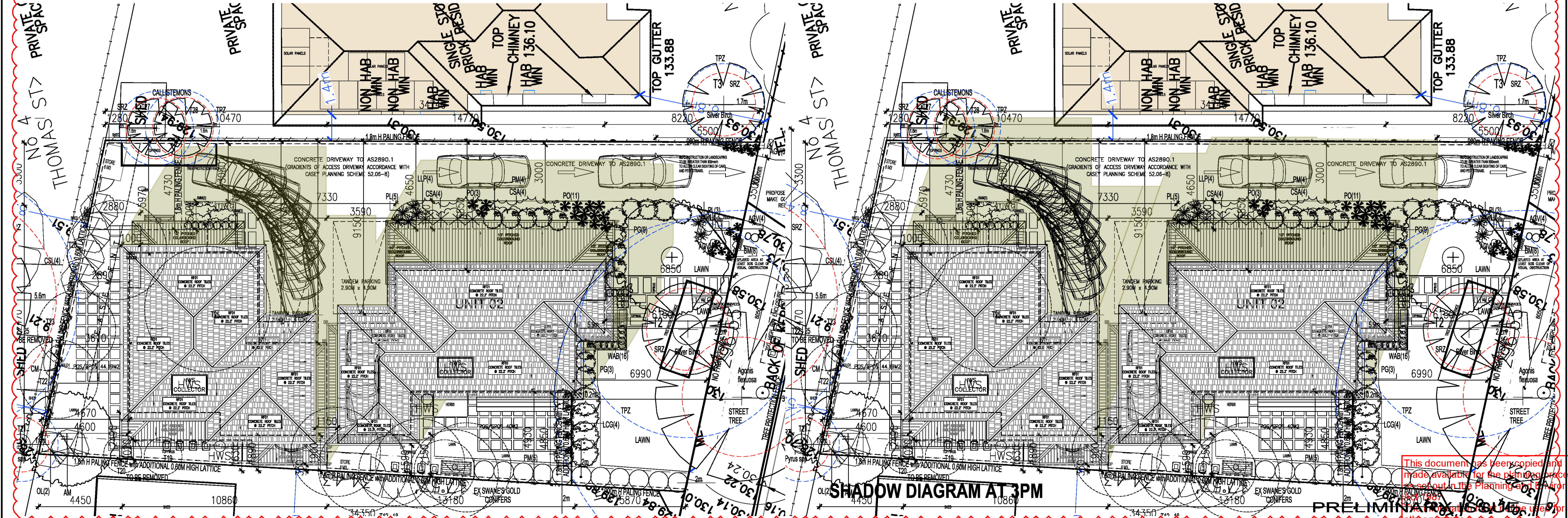
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SHADOW DIAGRAM AT 12PM

SHADOW DIAGRAM AT 1PM



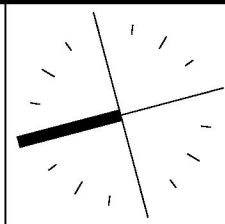
SHADOW DIAGRAM AT 2PM

SHADOW DIAGRAM AT 3PM

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PROJECT: PROPOSED 2 RESIDENTIAL DEVELOPMENT			
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J MERIN TP06  
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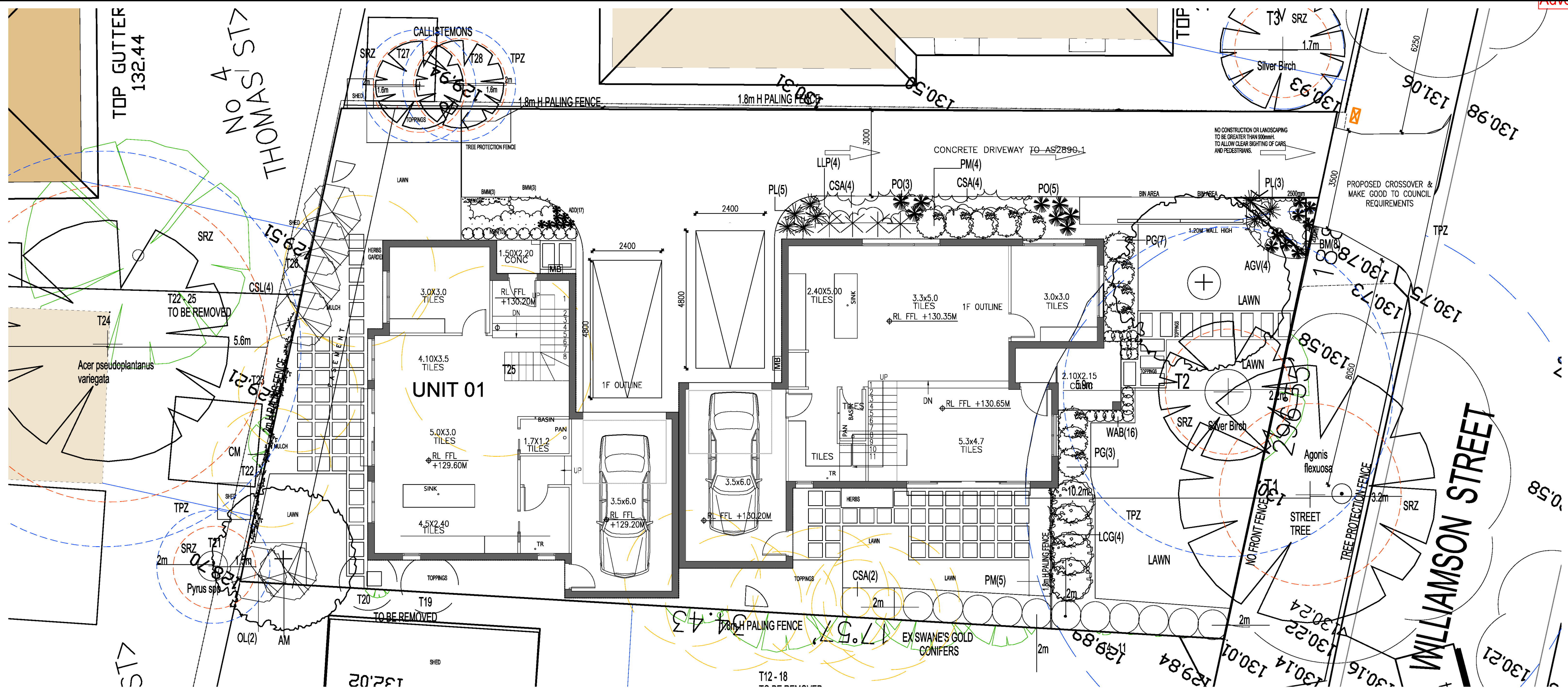


SHEET NAME: <b>TANDEM PARKING &amp; VEHICLE EXIT</b>				By taking a copy of this drawing, you acknowledge and agree that you will only use the document for the purposes specified above and that any dissemination, distribution or copying of this document is strictly prohibited.	
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JOB NO. <b>10325</b>	SCALE: <b>1:100</b>	DRAWN: <b>mc</b>	DATE: <b>24.11.2021</b>	CHECKED BY: <b>J. MERIN</b>	DATE: <b>24.11.2021</b>
				TP08	2

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## TREE PROTECTION ZONE DURING WORKS

A TREE PROTECTION ZONE IS DETERMINED BY MEASURING THE TRUNK DIAMETER (DBH) AT 1.4m ABOVE THE GROUND. CALCULATE THE DIAMETER IN METRES AND MULTIPLY BY 12.

TEMPORARY PROTECTIVE FENCE, WITH A MIN. HEIGHT 1.2 - 1.5m OF CHAIN MESH BETWEEN STAR PICKETS EVERY 3.4m SIGNS IDENTIFYING THE TPZ ARE TO BE PLACED ON THE FENCING.

IF THE AREA WITHIN THE TPZ IS TO BE ACCESSED DURING CONSTRUCTION, THEN A PERMEABLE MEMBRANE / GEOTEXTILE IS TO COVER THE TPZ AREA BENEATH A 100mm LAYER OF CRUSHED ROCK BELOW RUMBLE BOARDS

A CONSULTANT ARBORIST SHOULD BE ON SITE TO SUPERVISE ANY EXCAVATION WORKS AROUND THE EXISTING TREES WHERE THE TPZ WILL BE ENCROACHED

THESE MEASURES ARE TO BE IN ACCORDANCE WITH A S 4970-2009, INCLUDE THE FOLLOWING:

- THE EXISTING SOIL LEVEL MUST NOT BE ALTERED
- NO STORAGE OF EQUIPMENT OR MATERIALS IS TO OCCUR
- NO FUEL, OIL OR CHEMICALS ARE TO BE STORED OR DISPERSED.
- A LAYER OF ORGANIC MULCH MUST BE PROVIDED 100MM DEEP
- THE SOIL AROUND THE TREES SHOULD BE KEPT MOIST DURING BUILDING ACTIVITIES, NOT ALLOWED TO DRY OUT
- ADVISE CONTRACTORS NOT TO MIX CEMENT, STORE BAGS OR WASH WHEELBARROWS ETC WITHIN THIS ZONE
- SHOULD SERVICES PASS THROUGH THE ROOT ZONE OF TREES TO BE RETAINED, THEN THOSE SERVICES SHOULD BE LOCATED IN TRENCHES AUGURED BENEATH THE ROOT ZONE. MIN. DEPTH 800mm
- UTILITY AUTHORITIES SHOULD MAKE USE OF COMMON TRENCHES WHERE POSSIBLE WHEN INSTALLING UNDER GROUND SERVICES
- ALL ROOT EXCAVATION SHOULD BE CARRIED OUT BY HAND

## LANDSCAPE NOTES

### TOPSOIL:

IN AREAS WHERE BUILDINGS, DRIVEWAYS AND PATHS ARE TO BE BUILT, THEN THE TOPSOIL SHOULD BE REMOVED AND STOCKPILED ON SITE UNTIL NEEDED FOR GARDEN BEDS. ANY NEW TOPSOIL SHOULD BE OF A POTTING SOIL CONSISTENCY. THIS SHOULD BE THOROUGHLY DUG INTO THE LOCAL SOIL THEN WATERED WELL AND LEFT FOR A FEW DAYS BEFORE PLANTING BEGINS.

### LAWN AREAS:

ALL LAWN AREAS SHOULD BE SEEDED WITH A NON INVASIVE SEED MIX THEY SHOULD BE LAID ON (MIN) 100mm FINE GRADE TOP SOIL AND KEPT MOIST UNTIL EITHER THE SEED HAS SPROUTED AND GROWN TO A HEIGHT FOR MOWING PALMETTO BUFFALO GRASS OR TALL FESCUE (Festuca arundinacea) WOULD BE GOOD CHOICES. SYNTHETIC GRASS (SMART GRASS) SHOULD BE LAID ON 75mm CRUSHED ROCK, PEGGED DOWN THROUGH OUT THE AREA AND LIGHTLY FILLED WITH SAND OR BLACK RUBBER. AS THE GRASS HAS REGULAR DRAINAGE HOLES THROUGH OUT THE AREA, WATER CAN FREELY DRAIN THROUGH.

### EDGING:

IN AREAS WHERE LAWN AREAS ABUTT AGAINST GARDEN BEDS, THEN EDGING IS REQUIRED. EDGING CAN BE 70 X 19 mm TREATED PINE OR CAN BE BRICK EDGED. THE TOP OF THE EDGING SHOULD BE SLIGHTLY LOWER THAN THE GRASS WHEN MOWN.

### PLANTING:

ALL GARDEN BEDS SHOULD BE THOROUGHLY DUG OVER AND ALL BUILDING DEBRIS AND WEEDS REMOVED, INCLUDING SHRUBS THAT ARE WEED SPECIES.

THE FINAL LEVEL OF TOPSOIL SHOULD BE LEVEL WITH THE DRIVEWAY AND PATHS. BLOOD BONE FERTILIZER SHOULD BE DUG INTO THE SOIL AT A RATE OF 5 HANDFULS / SQ METRE. THIS SHOULD BE THOROUGHLY DUG INTO THE SOIL BEFORE ANY PLANTING BEGINS.

THE PLANTING HOLE SHOULD BE DEEPER AND WIDER THAN THE PLANT POT.

ALL TREES SHOULD HAVE WOODEN TREE STAKES AND TREE TIES

THE POT SIZE SUGGESTED IN THE PLANT SCHEDULE IS THE (MIN) POT SIZE RECOMMENDED FOR THAT PARTICULAR PLANT.

### MULCH:

ALL BEDS SHOULD BE THOROUGHLY MULCHED WITH 6mm WELL WEATHERED PINE MULCH, TO BE SPREAD 100mm DEEP THROUGHOUT THE GARDEN. MULCH SHOULD BE REPLISHED EVERY 12 MONTHS.

### IRRIGATION:

ALL BEDS SHOULD BE IRRIGATED WITH EITHER A DRIP SYSTEM OR AN AQUA HOSE SYSTEM.

### NURSERIES:

MOST PLANTS CAN BE OBTAINED FROM WHOLESALE NURSERIES OR FROM SPECIALIZED NURSERIES

### MAINTENANCE:

ALL BEDS SHOULD BE KEPT IN A NEAT AND TIDY MANNER, SHRUBS PRUNED, WEEDS REMOVED, LAWNS MOWN REGULARLY

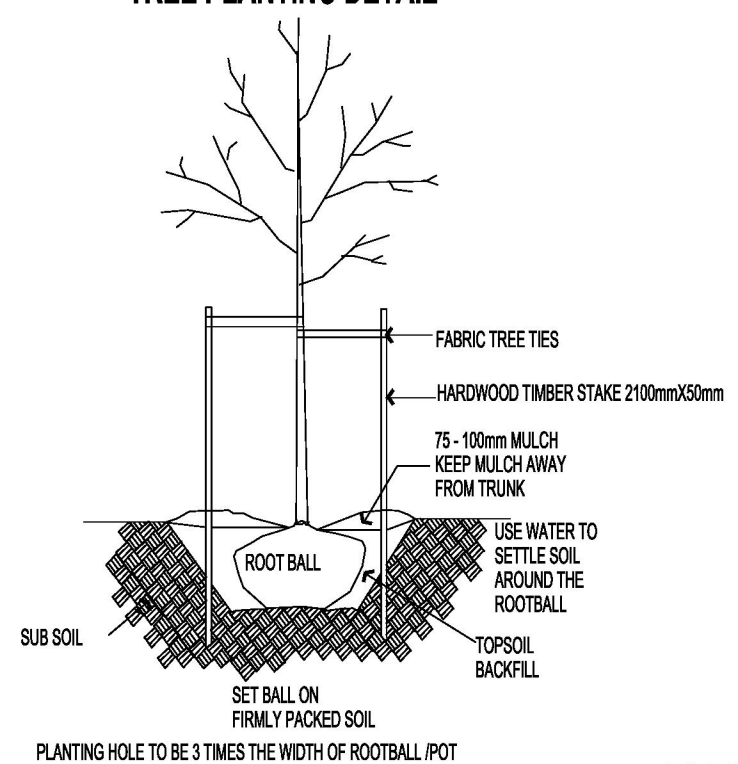
AND ANY PLANTS THAT HAVE DIED SHOULD BE REPLACED WITH THE SAME SPECIES ALL BEDS SHOULD BE MAINTAINED IN THIS MANNER FOR AT LEAST 24 MONTHS.

## PLANT SCHEDULE

	BOTANICAL NAME	QTY	H X W	P/s	COMMON NAME
TREES	AM Acacia melanoxylon	1	8 x 4	25	Blackwood
	EED Eucalyptus 'Eucy Dwarf'	1	8 x 5	40	Dwarf Yellow Gum
	CSL Cupressus sempervirens 'Aurea'	2	5 x 1	40	Golden Pencil Pine
	OL Olea laurata	2	3 x 2	25	Showy Daisy
SHRUBS	CSL Callistemon 'Slim'	4	3 x 1.2	25	Slender Bottlebrush
	LCG Leptospermum 'Copper Glow'	4	1.2 x 1.2	25	Copper Glow
	PM Philotheca myoporoides	9	1 x 1	20	White Wax Flower
	PG Pittosporum 'Gumball'	10	.6 x .9	20	Dwarf Variegated Pitt.
GROUNDCOVERS	WAB Westringia 'Aussie Box'	16	.3 x .4	14	Dwarf Westringia
	NDN Nandina D. nana	10	.3 x .4	14	Dwarf nandina
	ADD Armeria 'Dreamera Daydream'	17	2 x 2	14	Pink Sea Thrift
	AGV Anagallis 'Gold Velvet'	8	4 x 3	14	Dwarf Golden Kangaroo Paw
TREES	PL Poa labillardieri	8	6 x 6	14	Tall Tussock Grass
	PO Parthenocissus occidentalis	8	6 x 6	14	Native Ivy
	LLP Lomandra 'Little Pat'	6	6 x 6	14	Dwarf Lomandra
	BM Brachyscome 'Magenta Mist'	6	1 x 3	14	Magenta Cufflet Daisy
SHRUBS	BM Brachyscome multifida	8	1 x 4	14	Blue Daisy
	CSA Chrysanthemum apiculata	8	2 x 4	14	Yellow Everlasting
	CM Clematis microphylla	1	3 x 3	14	Small Leaf Clematis

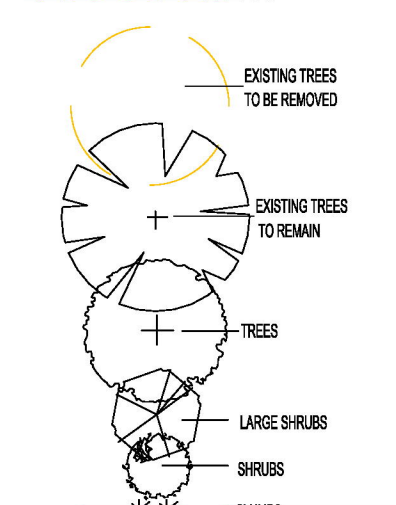
\* NOTE: TREES TO BE 2m ADVANCED OR TALLER AT THE TIME OF PLANTING

## TREE PLANTING DETAIL



## LANDSCAPE LEGEND

- TREE PROTECTION FENCE
- SRZ
- TPZ



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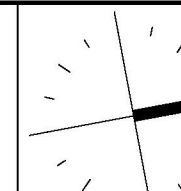
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landscaping ideas

1-17 Calais Ct. Cranebourne,  
West Victoria 3977

email:  
naturaldelineation@gmail.com



SHEET NAME:  
LANDSCAPING PLAN

PROJECT:

JOB NO.  
10430

SCALE:  
1:100

DRAWN:  
NSQ

DATE:  
11.07.24

CHECKED:  
J

SHEET:  
SC-1

Page 25 of 175





September 10, 2024

**Address: 5 Williamson Street Drouin VIC 3818**  
**Proposal: Proposed 2 Story Residential Units**

I am writing to you in reply to your Email dated May 28, 2024.

Upon your preliminary assessment of the proposal, you raised the following concerns:

### Administrative

1. Statutory Fee of \$2,369.15

This fee must be paid in order to satisfy the Request for Further Information however the fee may be subject to change pending response to Item 2.

2. The application form amended, to confirm if the application proposed is for Development and Subdivision or Development Only. If no Subdivision is proposed please disregard items 3f, 3g, 12 and 13.

*To confirm the proposed application is for Development only, no Subdivision Development includes*

### Planning Report

3. A written planning report assessing the proposal against the relevant clauses of the Baw Baw Planning Scheme. The report must also detail the following:
  - a. Applicable zone and overlay/s.
  - b. Municipal Strategic Statement.
  - c. Planning Policy Framework.
  - d. Particular Provisions.
  - e. Clause 55 Assessment.
  - f. If Subdivision is proposed a Clause 56 Assessment.
  - g. If Subdivision is Proposed a Written Garden Area Assessment.
  - h. Carparking Assessment against Clause 52.06.

*Written planning report is hereto attached together with this response.*

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## Neighbourhood and Site Description and Design Response

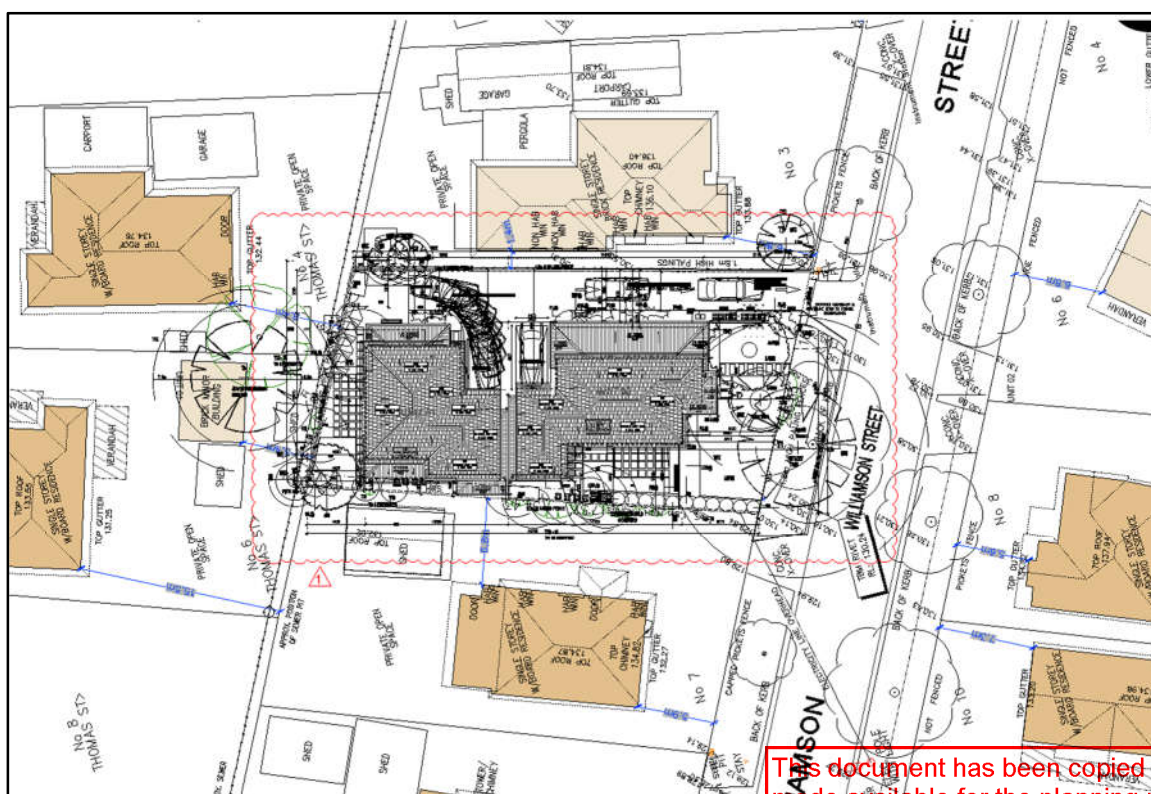
4. A Neighborhood and Site Description as required by Clause 55.01-1 of the Baw Baw Shire Planning Scheme. Further modify the plans to include the following details:

In relation to the neighborhood:

- a. Architectural and roof styles.

*Proposed Site Development plan in relation to the neighborhood has been provided. Please see image below for reference.*

### PROPOSED SITE AND ROOF PLAN (SHEET TP02)



- b. Any other notable features or characteristics of the neighborhood

*Images of the neighborhood and their characteristics has been provided. Please see image below for reference.*

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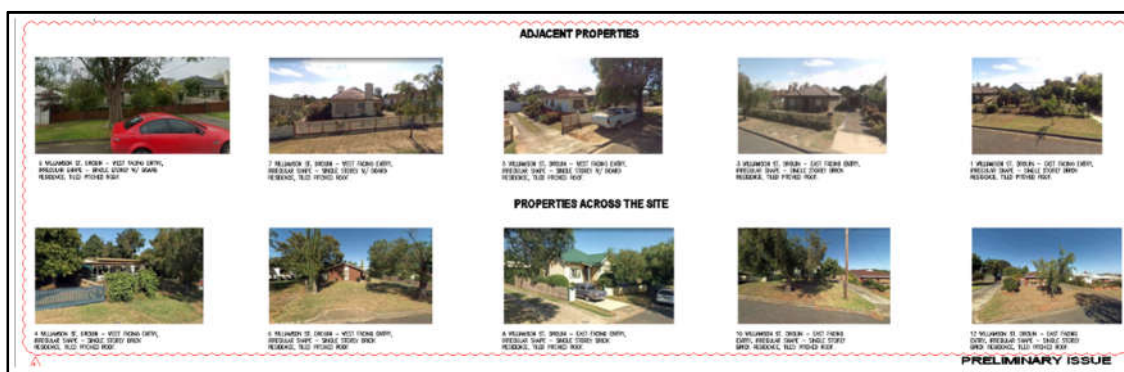
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## PROPOSED STREET ELEVATION (SHEET TP01.2)

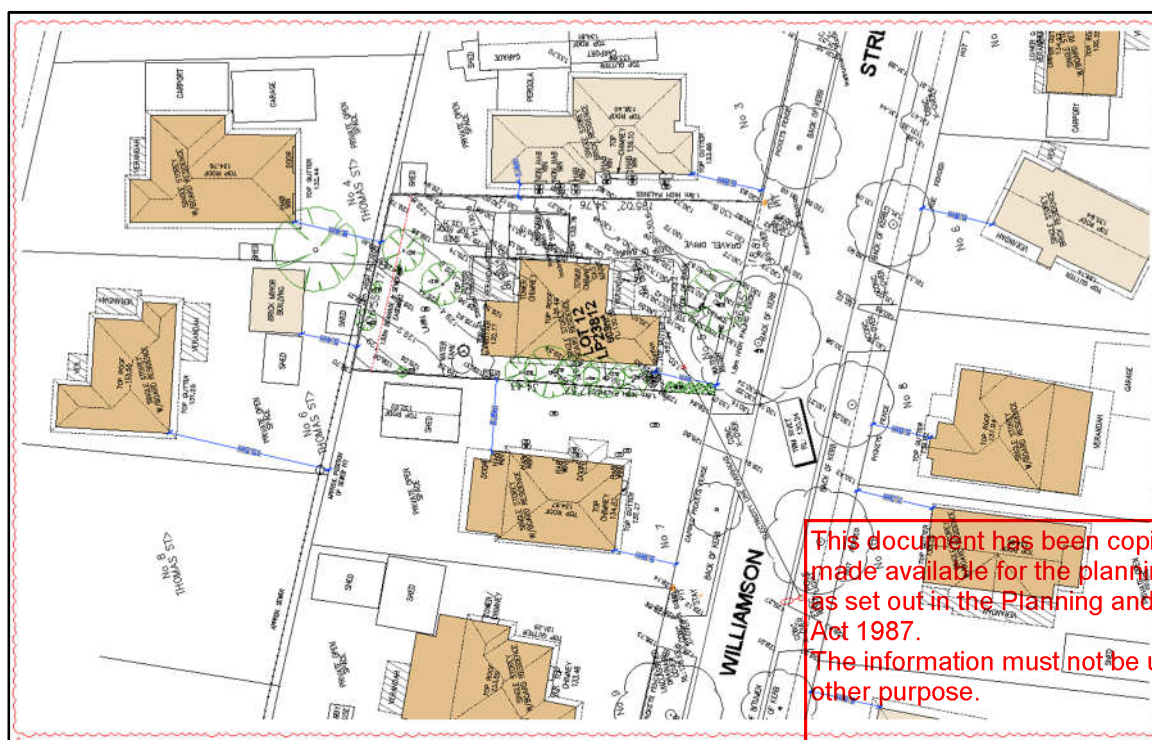


In relation to the site:

- Levels of the site and the difference in levels between the site and surrounding properties.

*Detailed survey of the site that measures and maps the elevations across the property has been provided. This survey includes contour lines, spot elevations, and benchmarks to show the relative heights. Please see image below together with the survey plan prepared by the licensed surveyor for reference.*

## EXISTING SITE CONDITION (SHEET TP01)



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- The site and surrounding properties are north-facing site it receives consistent and even sunlight throughout the day, especially in the Southern Hemisphere. However, surrounding properties don't have solar panels. Please see image below for reference.*

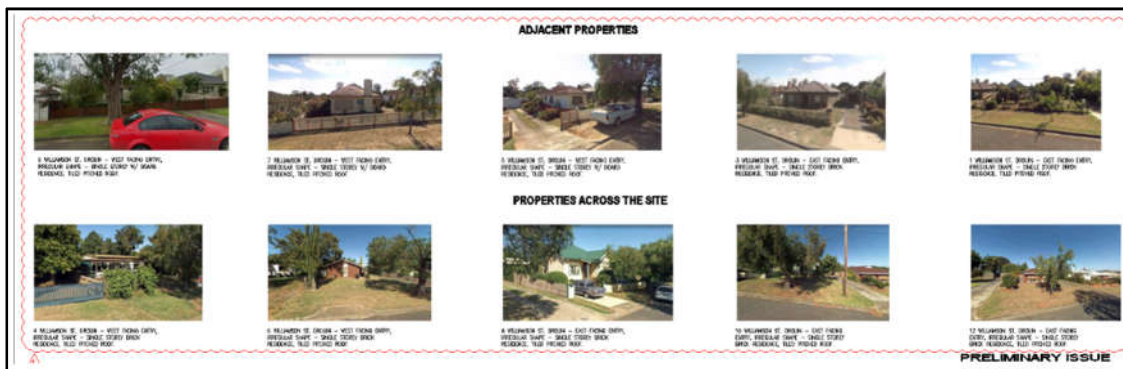
- Views to and from the site has been provided. Please see image below for reference.

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## PROPOSED STREET ELEVATION (SHEET TP01.2)



- f. Any other notable features or characteristics of the site.

*Images of the neighborhood and their characteristics has been provided. Please see image below for reference.*

## PROPOSED STREET ELEVATION (SHEET TP01.2)



5. A Design Response to the site analysis explaining how the development's design:

- Derives from the neighbourhood and site description.
- Meets the objectives of Clause 55.
- Responds to any neighbourhood character features for the area identified in a local planning policy.

*Written report or design response is hereto attached together with this response.*

6. An amended feature level survey carried out by a licensed land surveyor which shows:

- a. The difference in levels between the site and surrounding properties.

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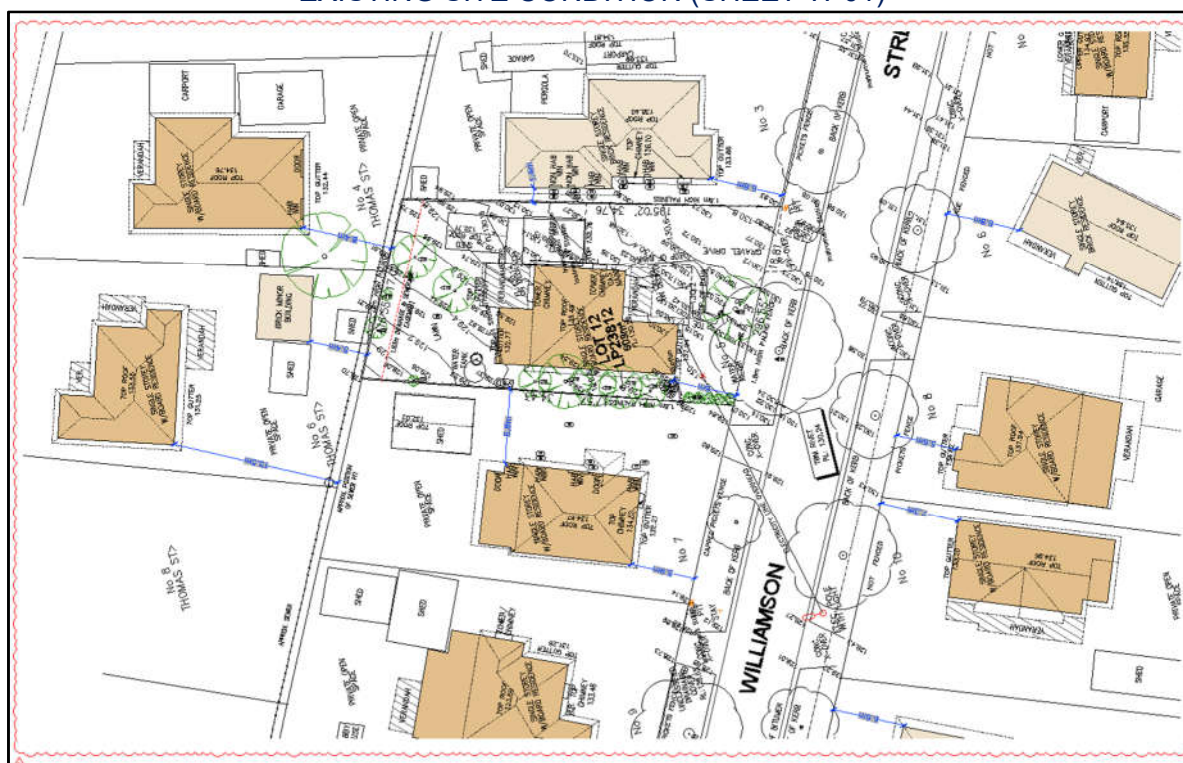
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Detailed survey of the site that measures and maps the elevations across the property has been provided. This survey includes contour lines, spot elevations, and benchmarks to show the relative heights. Please see image below together with the survey plan prepared by the licensed surveyor for reference.

EXISTING SITE CONDITION (SHEET TP01)



## Amended Plans Required

### Information required in relation to the Site Plan

7. An amended set of fully dimensioned site development plans drawn to scale, clearly showing the following:

- a. Setbacks of buildings from property boundaries, noting the boundary setback from the closest point of proposed unit has not been shown.
- Setbacks of the buildings has been provided. Please see image below for reference.*

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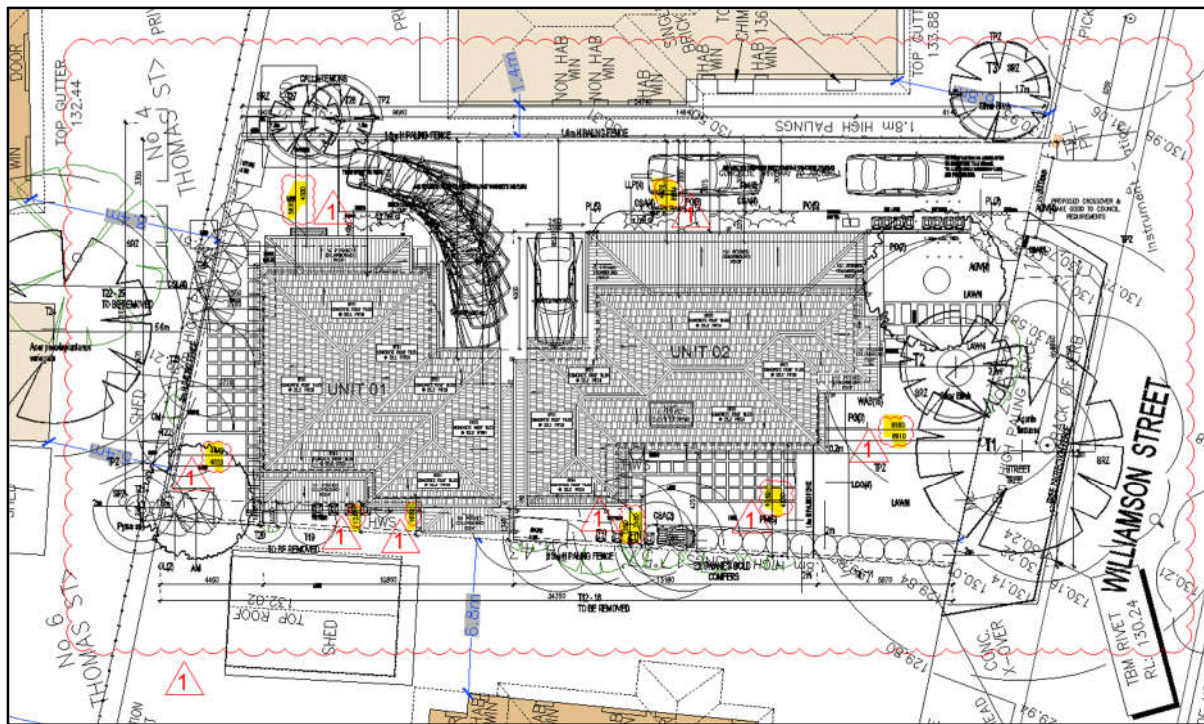
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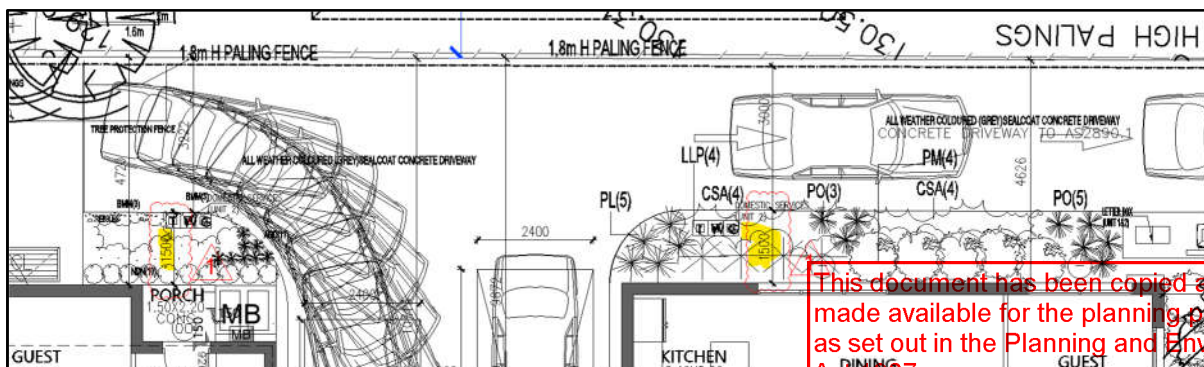
## PROPOSED SITE AND ROOF PLAN (TP02)



- b. Setbacks of buildings from driveways where this is less than 1.5 metres.

*Setbacks of buildings from driveway has been corrected and revised to comply the minimum 1.5 meters distance. Please see image below for reference.*

## PROPOSED GROUND FLOOR PLAN (TP03)



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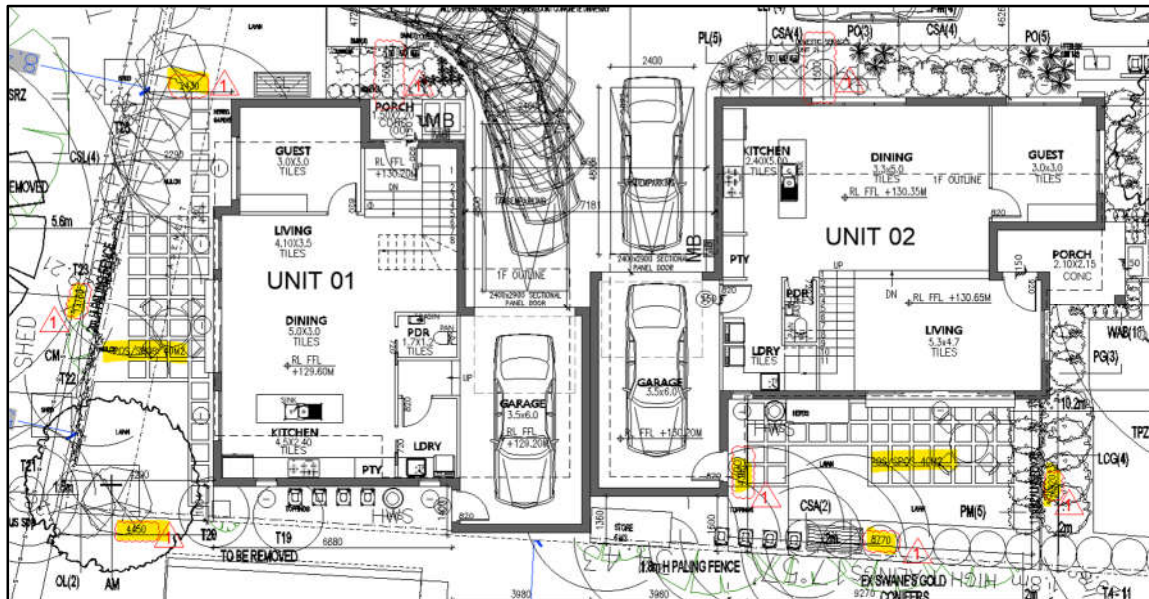




- c. Dimensions of private open space areas and secluded private open space (width, length and area).

*Detailed dimensions of POS and SPOS has been provided. Please see image below for reference.*

#### PROPOSED GROUND FLOOR PLAN (TP03)



- d. Location of crossovers and setback from any street trees.

*Location of crossover and setback from street trees has been provided. Please see image below.*

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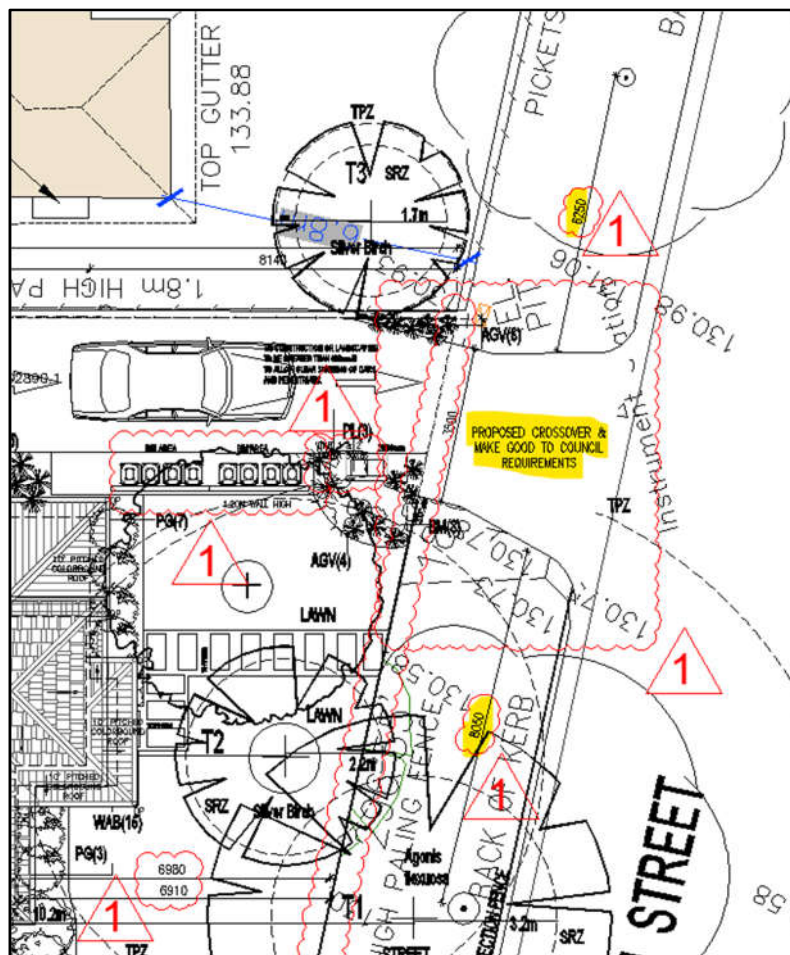
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## PROPOSED SITE AND ROOF PLAN (TP02)



- e. Location of all vegetation to be removed (ie: to be shown with a dotted outline) and retained (ie: to be shown with solid lines).

*Arborist report and Landscape plan is hereto attached together with this response.*

- f. Location of any earthworks/retaining walls. (Please indicate if none are proposed).

*No retaining walls are proposed for this project. Minor elevation changes will be managed through natural grading and landscaping technique. Note has been provided. Please see image below for reference.*

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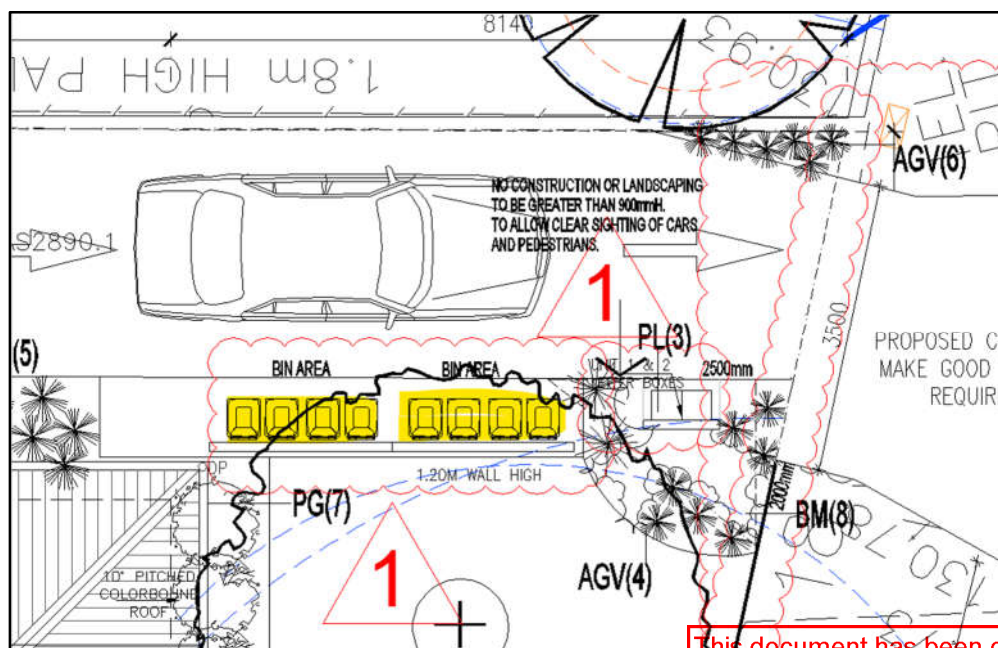
## PROPOSED SITE AND ROOF PLAN (TP02)

	& CONNECTED TO STORMWATER DRAINS • DOWNPIPES ARE TO BE NO MORE THAN 12M APART
	<b>NOTES</b>
	• NO RETAINING WALLS PROPOSED.

- g. Clearly show proposed bin collection area on the kerbside, council waste collection vehicles will not enter the property for collection from the 'Bin Area'

*Proposed bin collection area has been showed. Please see image below for reference.*

## PROPOSED SITE AND ROOF PLAN (TP02)



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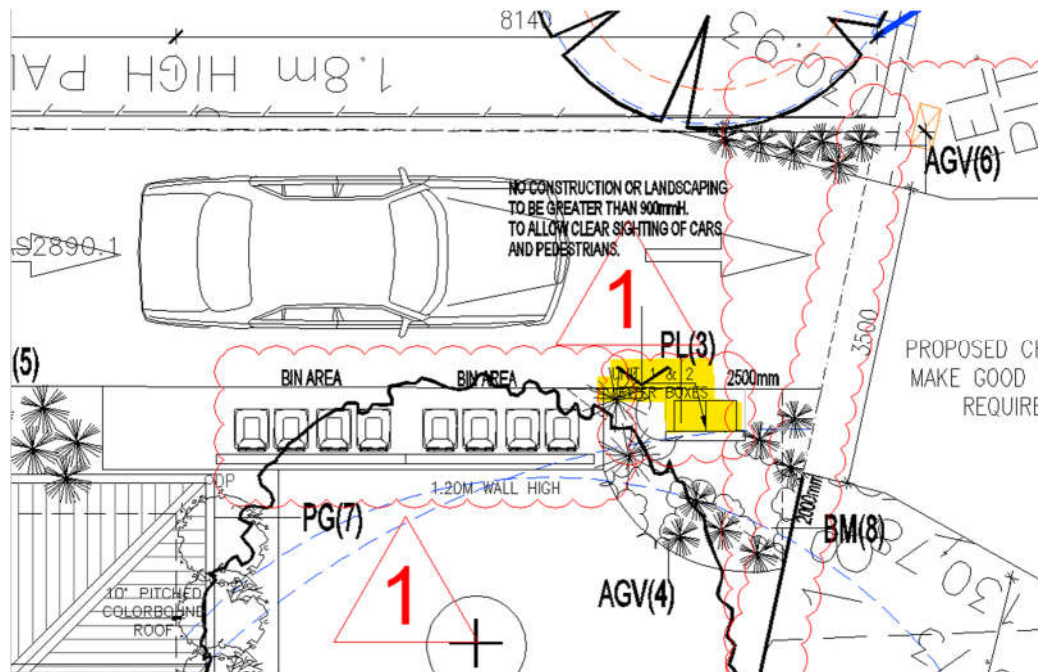




- h. Relocate Letterboxes, to the front of the site.

*Letterboxes have been relocated to the front of the site. Please see image below for reference.*

PROPOSED SITE AND ROOF PLAN (TP02)



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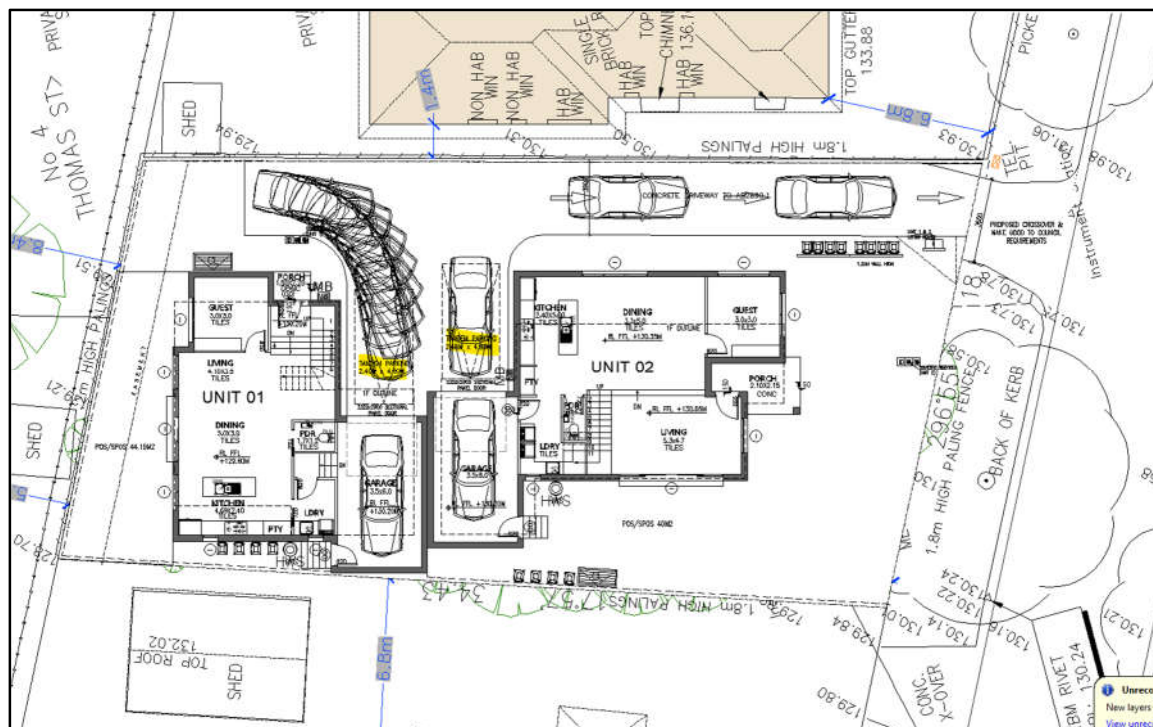
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- i. Tandem carparking spaces to be more clearly defined, and dimensioned, a separate plan may be required.

*Separate plan with dimensioned Tandem parking has been provided. Please see image below for reference.*



TANDEM PARKING AND VEHICLE EXIT (TP08)

- j. Notations or details of any tree protection zones or similar recommended by an appropriately qualified arborist.

*Arborist report is hereto attached together with this response.*

- k. The plan reference updated to correctly date the provided plans, or provide indication of revision number.

*Duly noted.*

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### Information required in relation to the Floor Plan

8. An amended set of fully dimensioned site development plans drawn to scale, showing the following:
  - a. The plan reference updated to correctly date the provided plans or provide indication of revision number.

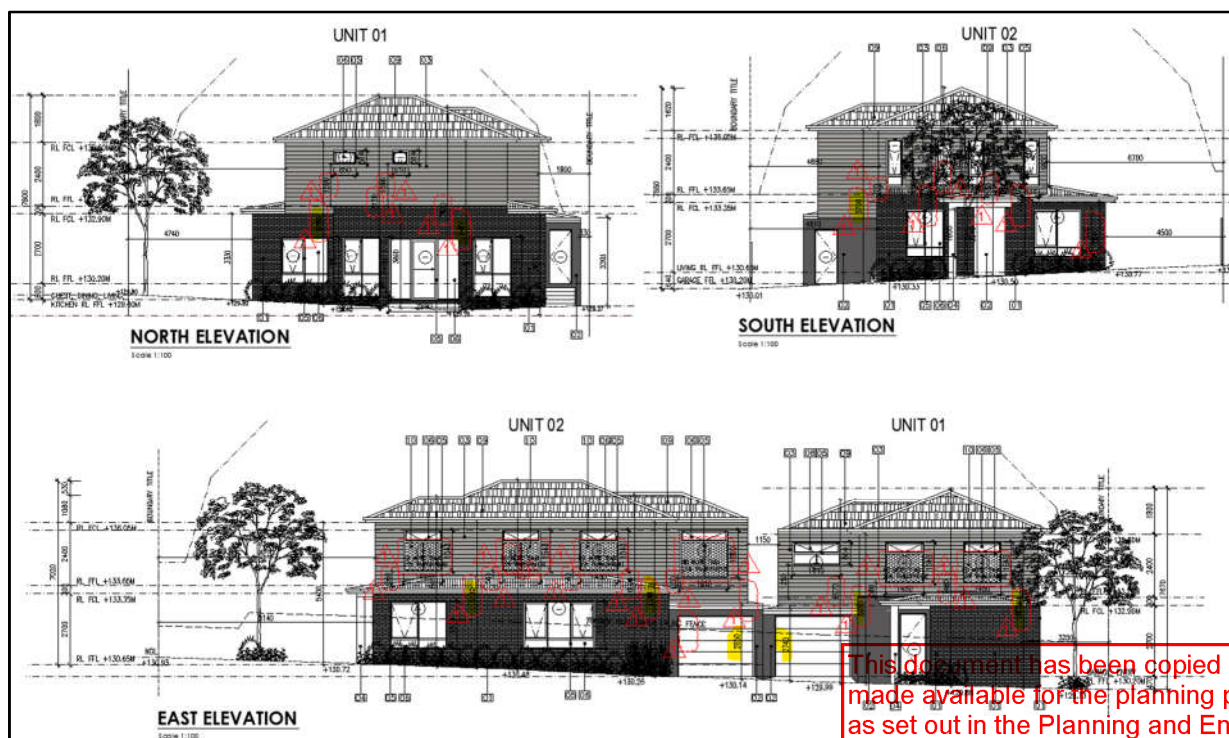
*Duly noted.*

### Information required in relation to the Elevation Plans

9. An amended set of fully dimensioned elevation plans drawn to scale, clearly showing the following:
  - a. Wall height from natural and finished ground level (for each building elevation).

*Wall height from natural and finished ground level has been provided. Please see images below for reference.*

### PROPOSED ELEVATION (TP05)



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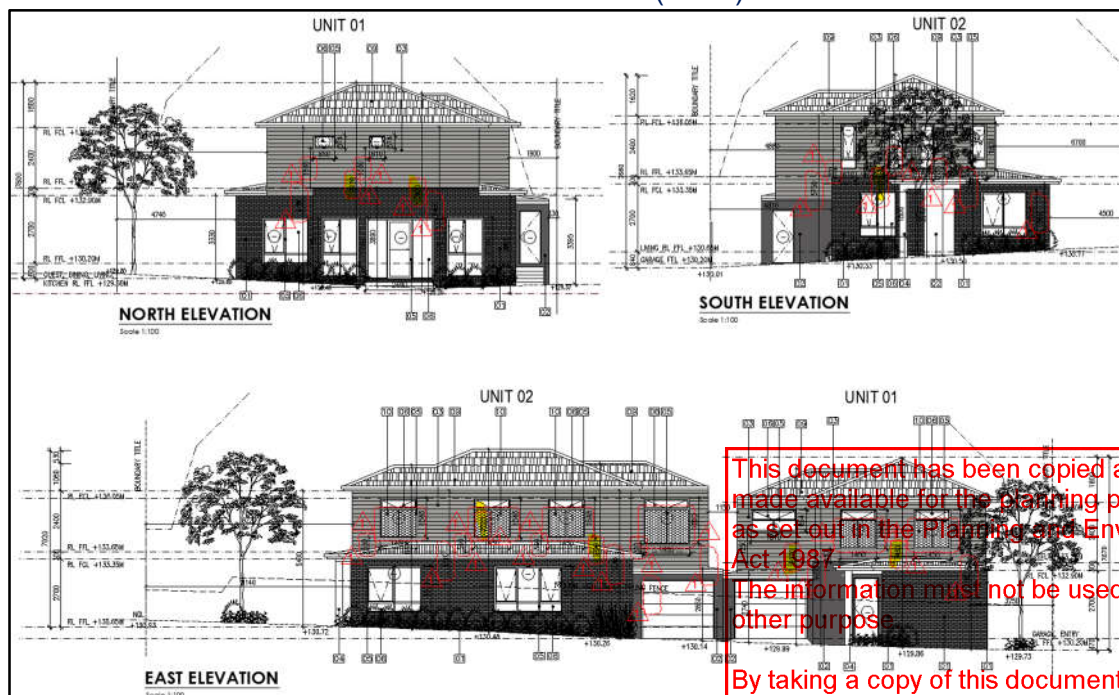
## PROPOSED ELEVATION (TP05.2)



b. Overall building height from natural and finished ground level.

*Overall building height has been provided. Please images below for reference.*

## PROPOSED ELEVATION (TP05)



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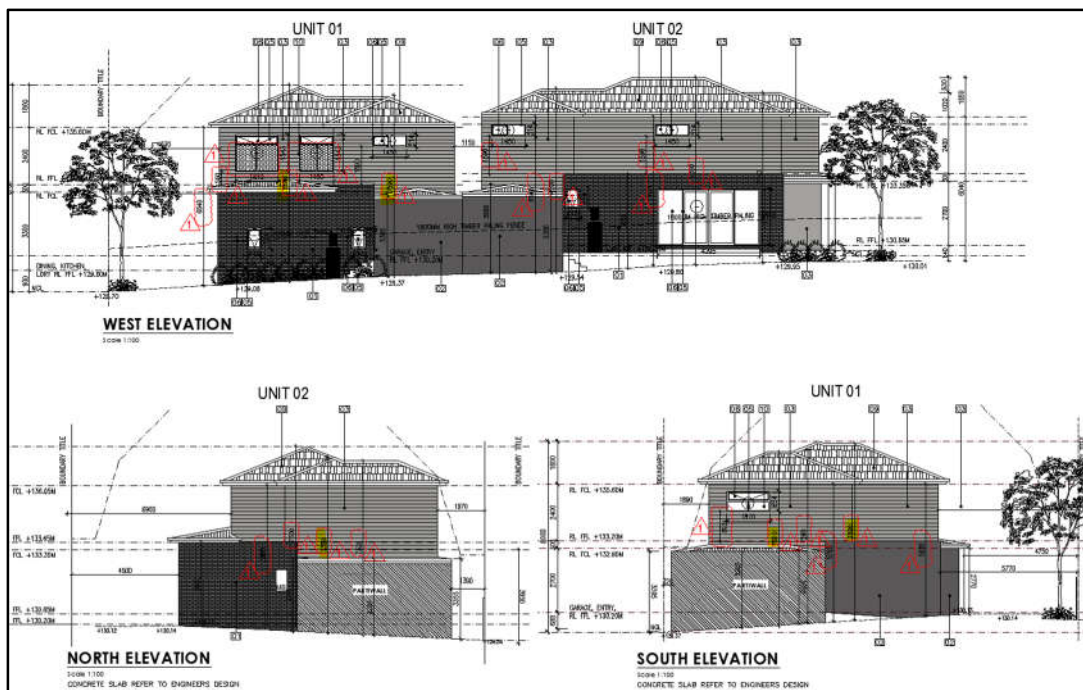
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## PROPOSED ELEVATION (TP05.2)



c. Details and elevation drawings of proposed front fencing (if any).

*There's no proposed front fencing. Please see image below for reference.*

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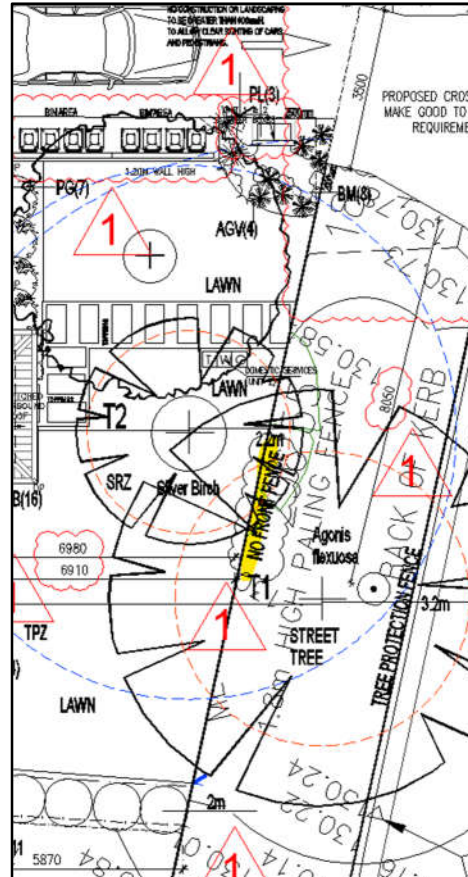
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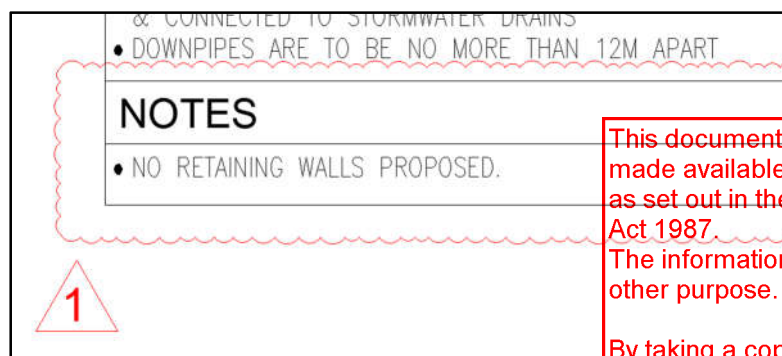
## PROPOSED SITE AND ROOF PLAN (TP02)



- c. The depth of any proposed cut and/or fill (including retaining walls).

*No retaining walls, fill and contaminated soil where supplied for this project. Minor elevation changes will be managed through natural grading and landscaping technique. Note has been provided. Please see image below for reference.*

## PROPOSED SITE AND ROOF PLAN (TP02)



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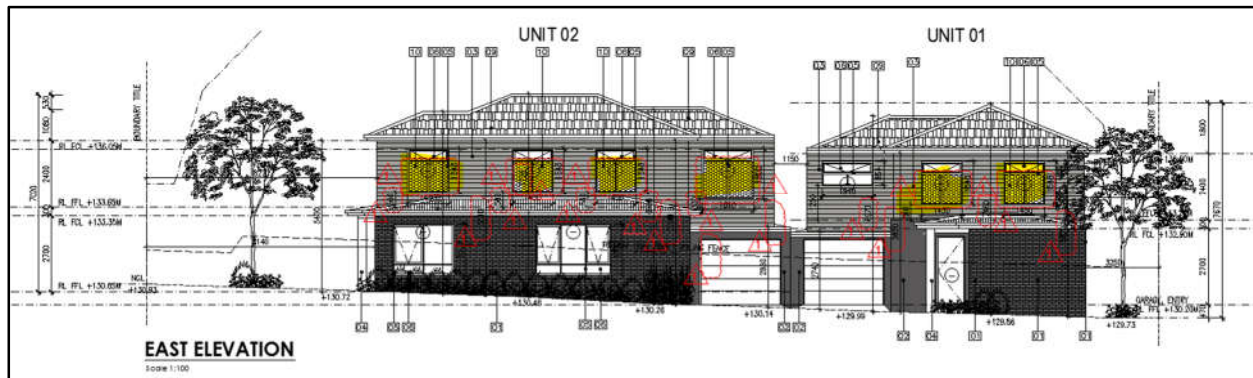
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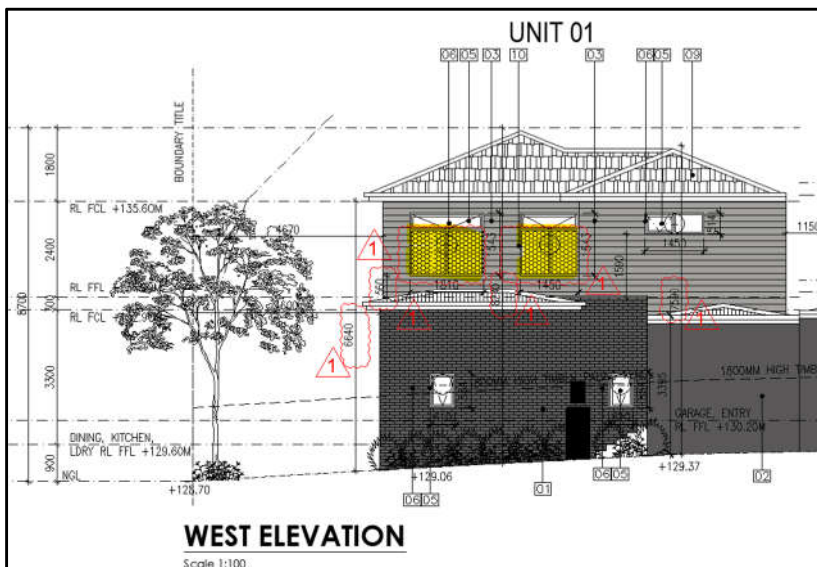
- d. All obscure glazing noted to be no more than 25% transparent.

*Note has been provided. Please see image below for reference.*

### PROPOSED ELEVATION (TP05)



### PROPOSED ELEVATION (TP05)



MATERIAL SCHEDULE:	
	1 AUSTRAL BRICK SMOOTH J22
	2 GULLY RADO RENDERED ON BRICK
	3 WEATHER BOARD (PLASTERED GULLY)
	4 BULLUX WOODY WHITE RENDERED ON BRICK
	5 WINDOW FRAME (WAYWARD UNIT)
	6 CLEAR GLAZING
	7 SELECTED GARAGE DOOR
	8 ALUMINUM (FRAMED) GLASS RAILING
	9 MONIER CONCRETE ROOF TILES
	10 OBSCURE GLAZING (NO MORE THAN 25% TRANSPARENT) (OVER-PAINTED TO A HEIGHT OF 0.7 METRES ABOVE FINISHED FLOOR LEVEL. THE WINDOWS MUST BE CLEAR AND OPENABLE ABOVE 1.7 METRES. ADHESIVE FILM NOT TO BE USED)

- e. Sill heights above finished floor annotation to be updated to refer directly to first floor, finished floor levels.

*Sill heights dimension has been provided. Please see images below for reference.*

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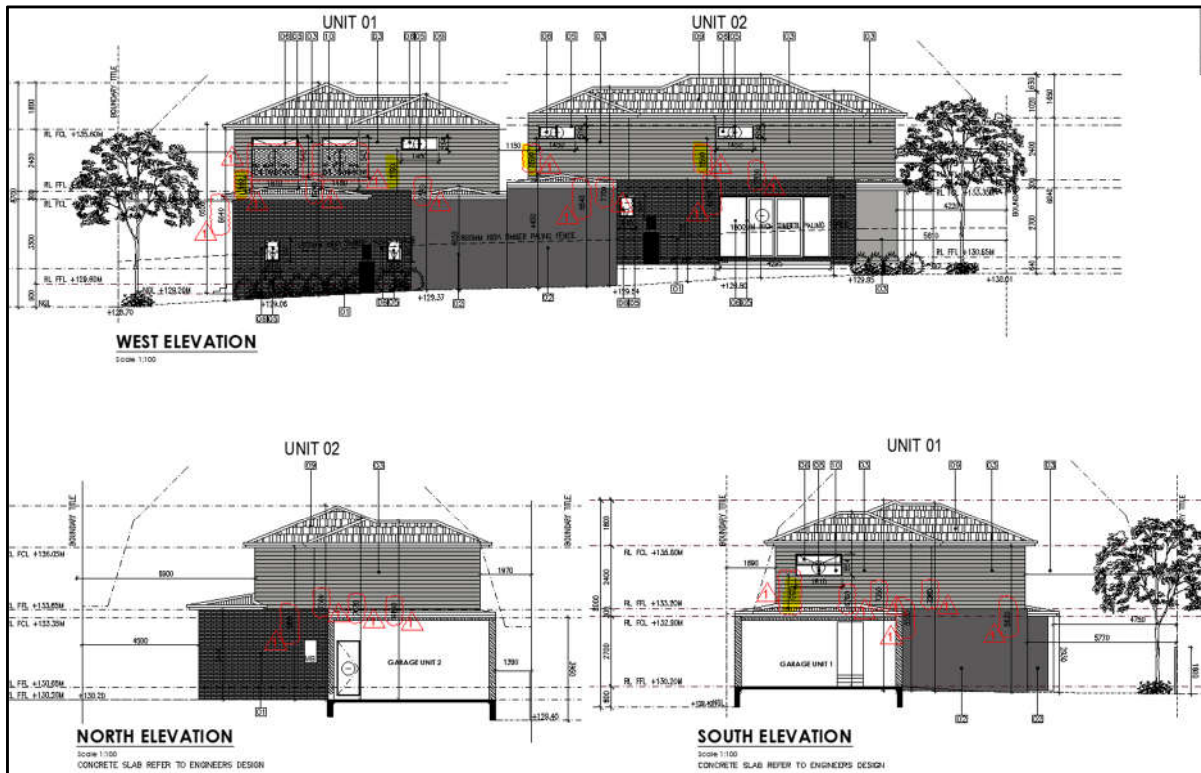
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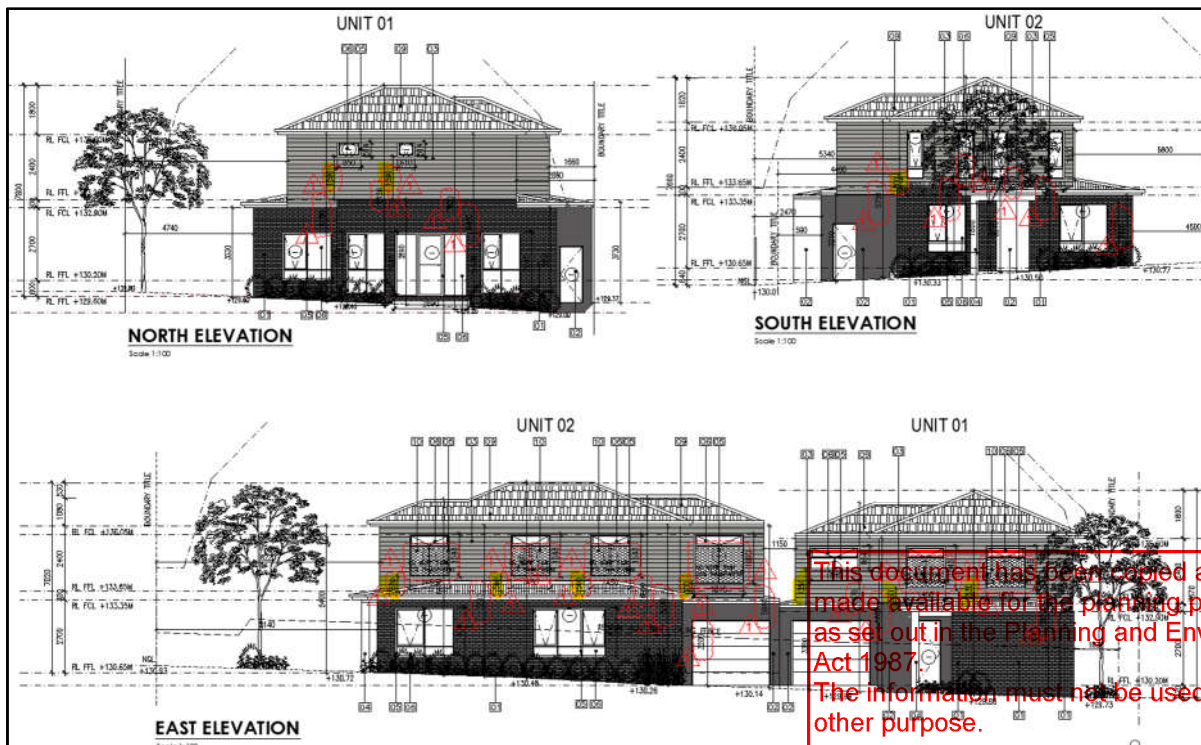
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PROPOSED ELEVATION (TP05)



PROPOSED ELEVATION (TP05.2)

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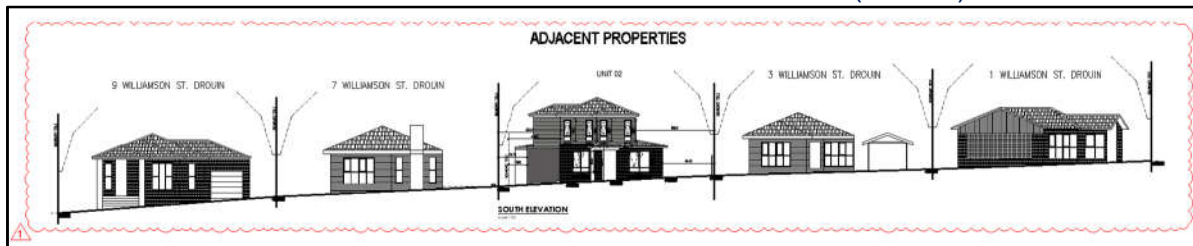
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- f. A streetscape elevation drawing showing the proposed building/s in context of the adjacent buildings (streetscape plan).

*Streetscape plan has been provided. Please images below for reference.*

#### PROPOSED STREET ELEVATION (TP01.2)



- g. The plan reference updates to correctly date the provided plans or provide indication of revision number.

*Duly noted.*

#### Overlooking Diagrams

#### 10. Overlooking Diagrams to show:

- a. Demonstrating how the development complies with the requirements of Clause 55.04-6.

*Overlooking diagram has been provided. Please see image below for reference.*

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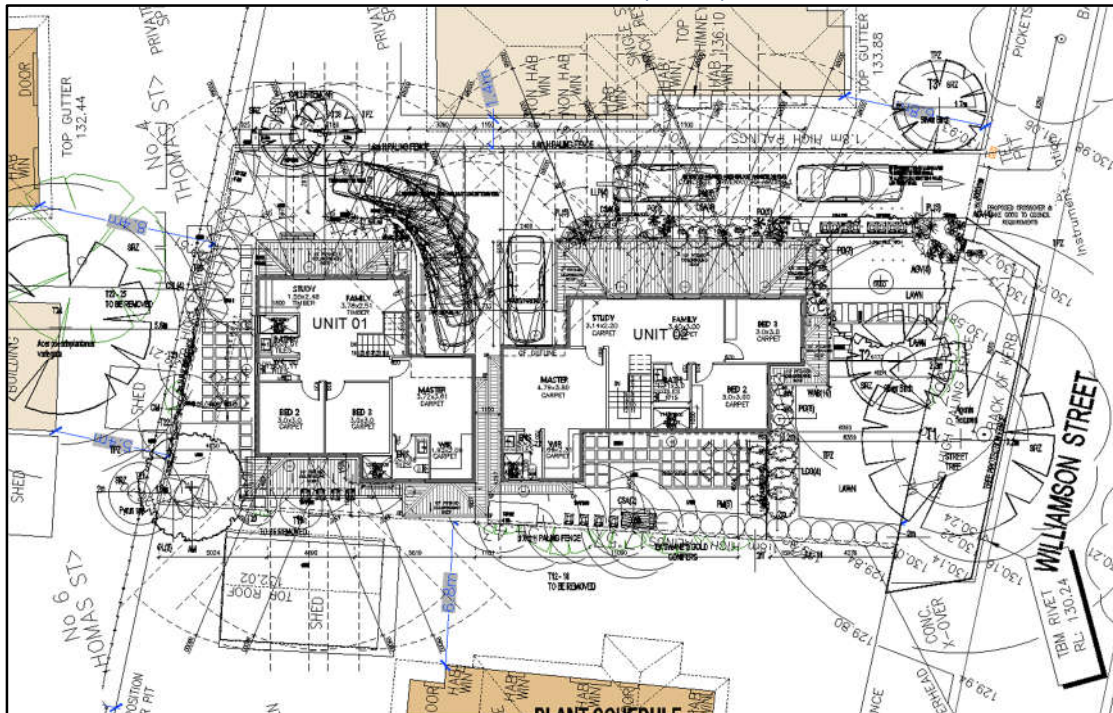
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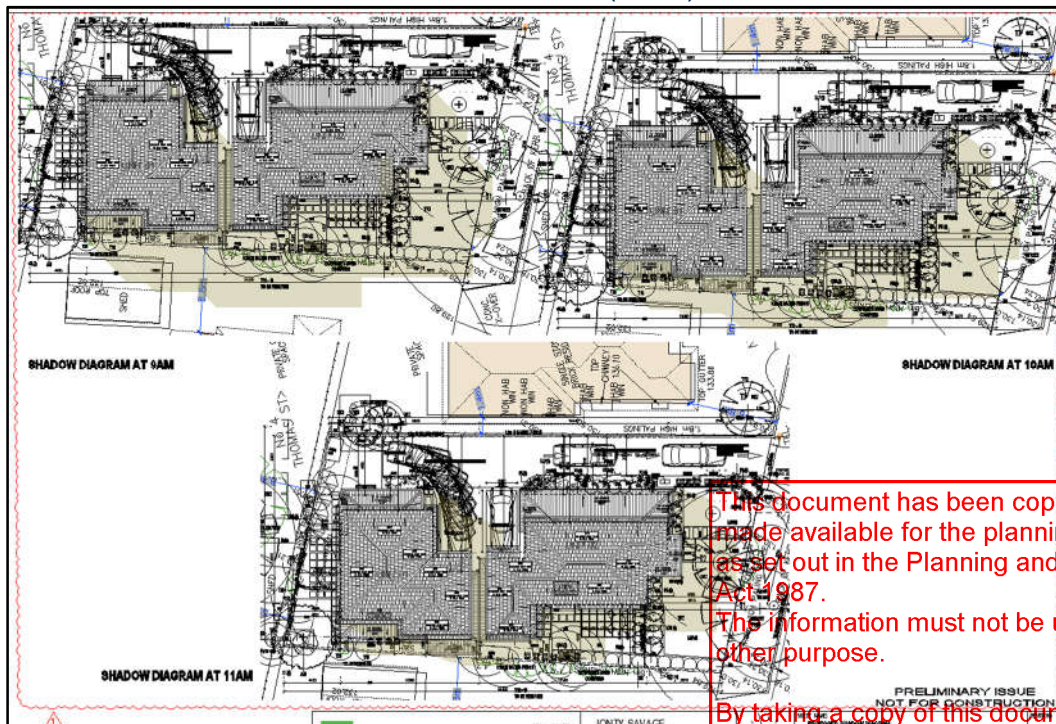
# OVERLOOKING DIAGRAM (TP07)



11. Shadow Diagrams for 9am, 10am, 11am, 12pm, 1pm, 2pm and 3pm.

Shadow Diagram has been provided. Please see images below for reference.

## SHADOW DIAGRAM (TP06)



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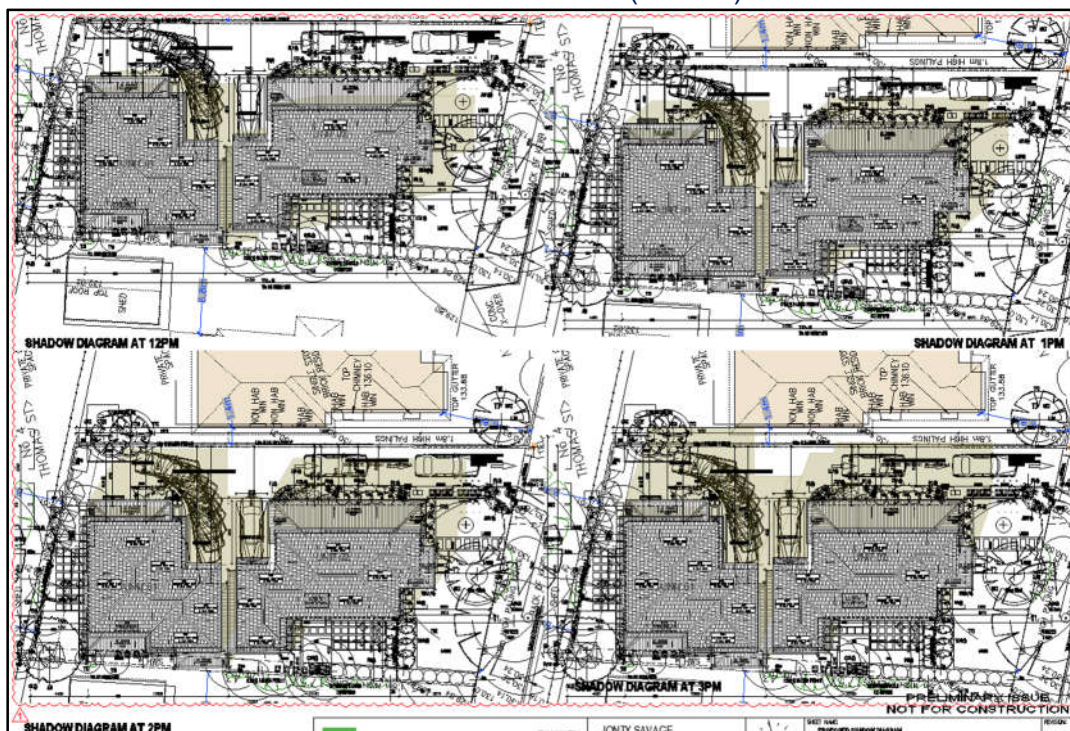
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SHADOW DIAGRAM (TP06.1)



## Subdivision

12. A Proposed Plan of Subdivision prepared by a licensed land surveyor to show:

- Dimensions of each proposed lot (including common property).
- Area of each Lot (including common property).
- Any existing or proposed Easements.
- Crossover location.

*At this stage the owner does not want to split the lot title as per the number of development units proposed.*

## Subdivision Design Response

13. A design response in the form of a dimensioned plan to scale showing the layout of the proposed subdivision in context with the surrounding area that conveys:

- How the proposal derives from and responds to the site and context description.
- How the proposal derives from and responds to surrounding zoning and overlay controls.
- How the proposal responds to any site and context features identified in a local planning policy.
- Meets the relevant objectives of Clause 56.

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*To address this item, upon discussing item number 12 at this stage the owner does not want to split the lot title.*

## Trees and landscaping

### Existing trees

14. A Site Plan depicting the setbacks between the development and the existing onsite and neighboring trees.

*Landscape plan is hereto attached together with this response.*

15. If any existing onsite vegetation to be retained, or any nature strip vegetation is within 5metres of the proposed works (included crossover) A written Arboricultural report from a qualified arborist (AQF Level 5 or above) which details the following for the subject vegetation or any vegetation within five metres of the proposed works:

- a. An analysis of the condition and significance of such vegetation including a rating into low, average or high having regard to the structure, health, age, location, size, species and habitat value.

*Arborist report and Landscape plan is hereto attached together with this response.*

- b. An assessment as to whether the vegetation represents a risk to any person or property having regard to its condition.

*Arborist report and Landscape plan is hereto attached together with this response.*

- c. Recommendations to minimise or mitigate the hazard potential of the subject vegetation to person and property.

*Arborist report and Landscape plan is hereto attached together with this response.*

- d. An assessment of the likely impact of the proposed works upon such vegetation.

*Arborist report and Landscape plan is hereto attached together with this response.*

- e. Recommended actions which may avoid or reduce the impact of the works upon such vegetation.

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*Arborist report and Landscape plan is hereto attached together with this response.*

- f. Any other relevant information.

*Arborist report and Landscape plan is hereto attached together with this response.*

### Landscape Plan

16. A Landscape Plan prepared by a landscape architect or suitably qualified person which incorporates:

- a. All existing retained vegetation to be identified.

*Landscape plan is hereto attached together with this response.*

- b. Buildings and trees (including botanical names) on neighbouring properties.

*Landscape plan is hereto attached together with this response.*

- c. A planting schedule of all proposed vegetation including botanical names; common names; pot sizes; sizes at maturity; quantities of each plant; and details of surface finishes of pathways and driveways.

*Landscape plan is hereto attached together with this response.*

- d. Landscaping and planting within all open space areas of the site.

*Landscape plan is hereto attached together with this response.*

### **Car parking, access and traffic**

17. In accordance with Clause 52.06-9, provision of a corner splay or area at least 50 per cent clear of visual obstructions adjacent to the accessway, extending at least 2 metres along the frontage from the edge of an exit lane and 2.5 metres along the accessway from the frontage, to provide a clear view of pedestrians on the footpath. The area clear of visual obstructions may include an adjacent entry or exit lane where more than one lane is provided, or adjacent landscaped areas, provided the landscaping in those areas is less than 900mm in height.

*Splayed area has been provided with extending at least 2 metres along the frontage from the edge of an exit lane and 2.5 metres along the accessway from the frontage. Please image below for reference.*

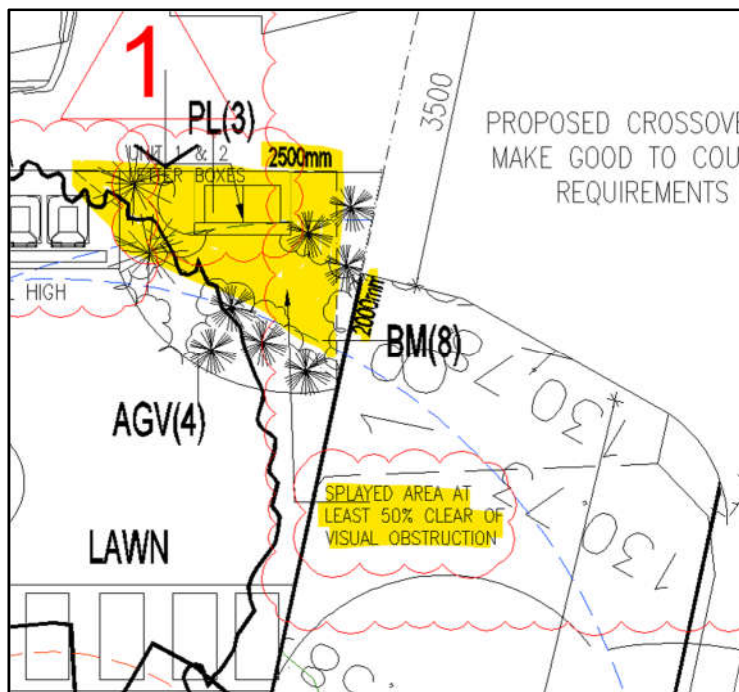
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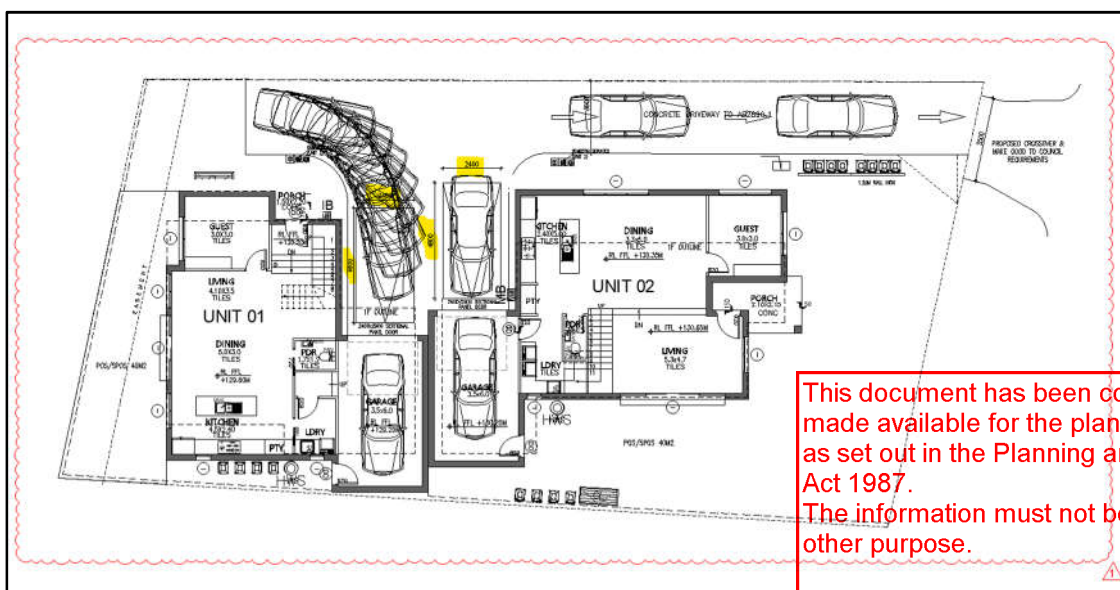
## SITE DEVELOPMENT PLAN (TP02)



18. Swept path diagrams drawn to a scale, demonstrating how cars associated with all dwellings can exit the site in a forward's direction.

Swept path diagram has been provided. Please see image below for reference.

## TANDEM PARKING AND VEHICLE EXIT (TP08)



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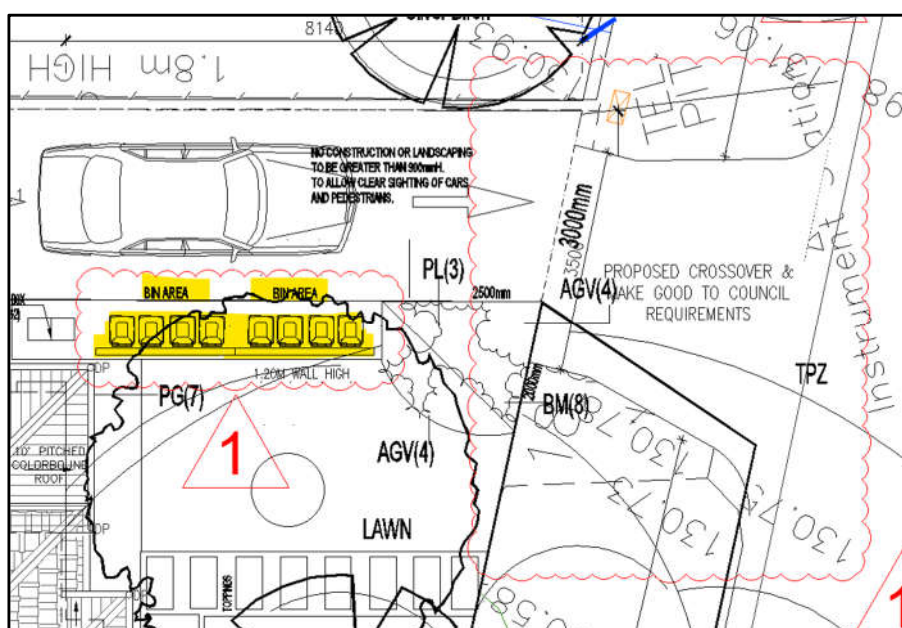


## Waste Management

19. Bin Collection locations to be relocated to the property kerb side, council waste management vehicles will not enter the site for collection. This should be shown on the site plan.

*Proposed bin collection area has been relocated to the kerb side. Please see image below for reference.*

PROPOSED SITE AND ROOF PLAN (TP02)



## Preliminary Assessment

Please note a preliminary assessment has been undertaken of your application and has raised the following concerns. Left unresolved the application in its current form is unlikely to gain support of Council Officers.

- Much of the information generally required by Neighbourhood and Site Description and Design Response (Item 4) has been shown on the provided Plan and Feature Level Survey, should a separate plan be provided to satisfy this requirement please ensure that it also includes the information supplied on the Plan of Feature and Level Survey.

*Survey Plan, street elevations and neighbourhood character has been provided. Please see images below for reference.*

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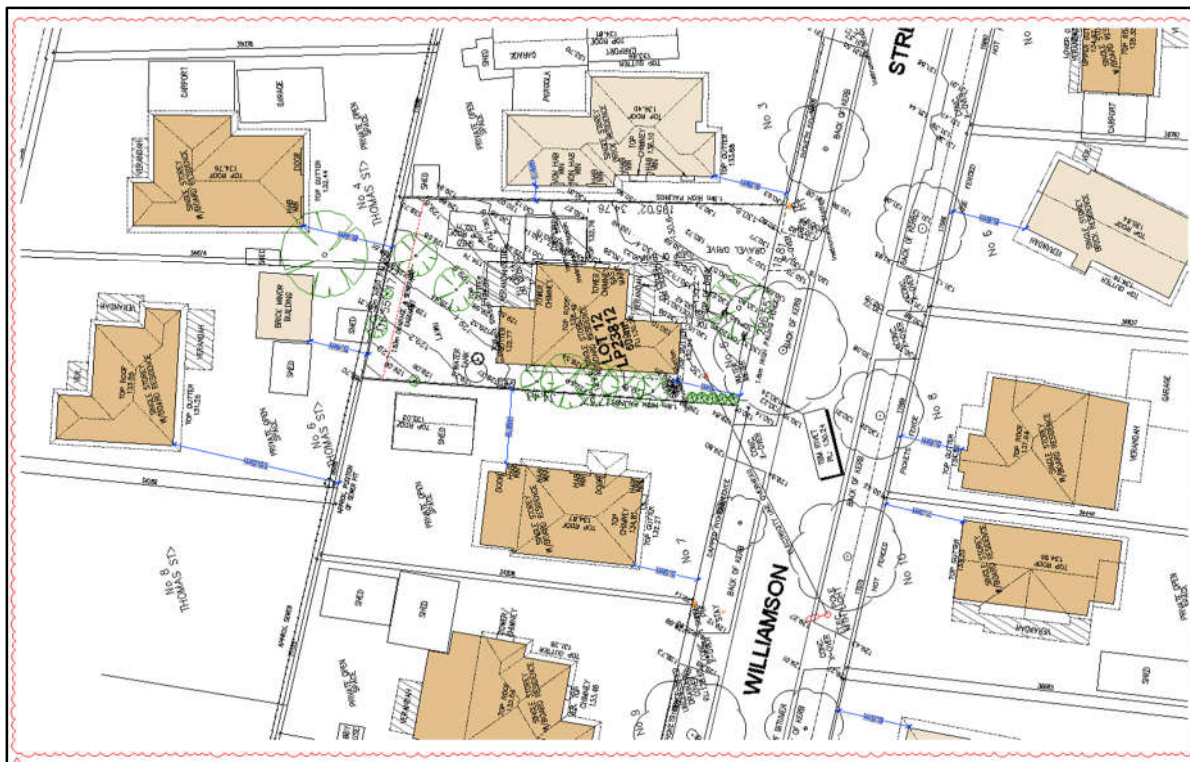
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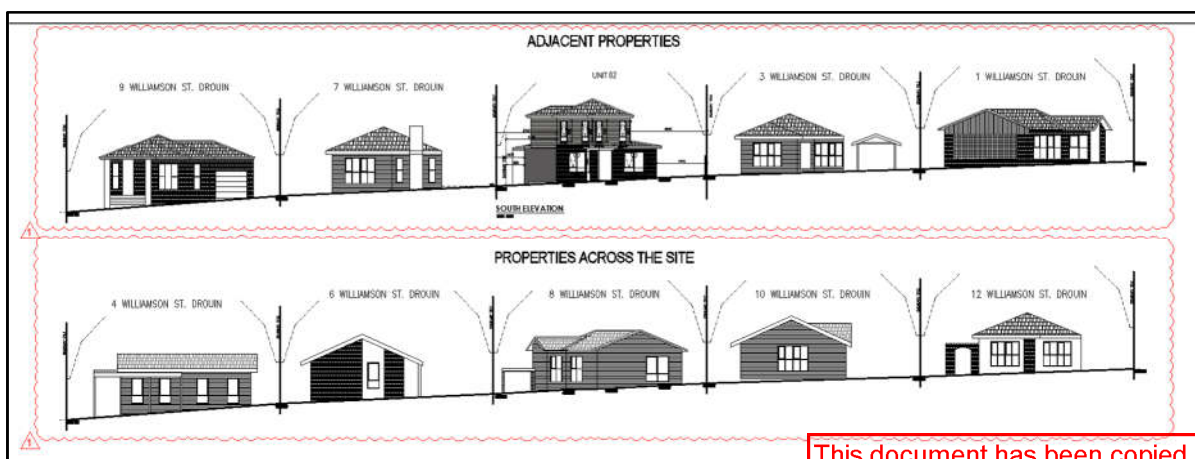
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## EXISTING SITE CONDITION (TP01)



## STREET ELEVATION (TP01.2)



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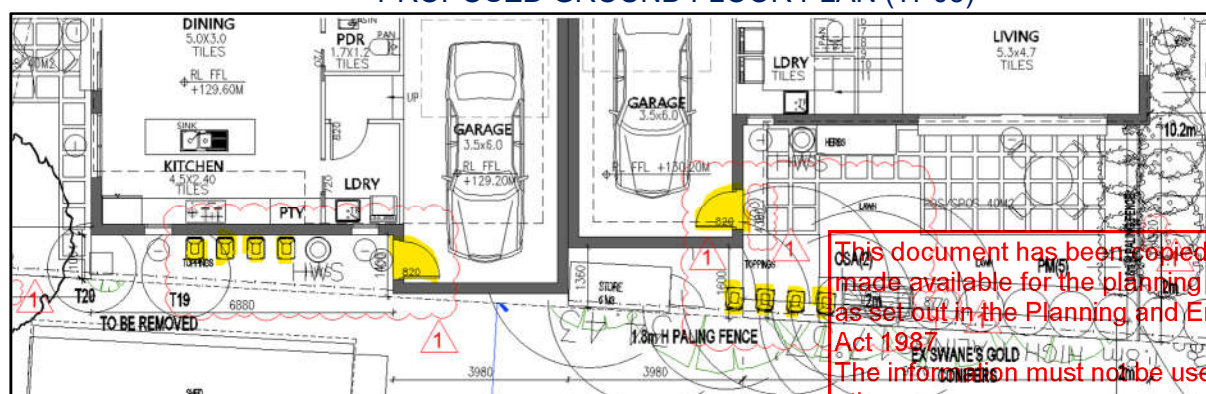
- The 'Plan of Feature and Level Survey' provided is the same plan that was previously provided with PLA0012/22. Concerns regarding the accuracy of site boundaries and levels were raised during VCAT Appeal P39/2023. The accuracy of this plan should be confirmed and a new version supplied with accurate details prepared by a licensed surveyor.

*Updated Survey Plan is hereto attached together with this plan.*

- The proposed Bin Storage locations in the rear yards of each proposed dwelling are not practical, as there does not appear to be any access to allow for the waste bins to be taken to the kerb for collection, should the only practical storage location be in the rear yards it may be necessary to include access through the proposed garages. It is also noted that provision has only been made for 2 bins per dwelling, Council is currently preparing to roll out the "Purple" bins which will result in 4 bins per dwelling serviced by council waste collection.

*4 bins and Access on garage has been provided. Please see image below for reference.*

### PROPOSED GROUND FLOOR PLAN (TP03)



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### Internal and External Referrals:

Please note Council has referred the application to the applicable internal and external referral agencies for comment. At the time of sending this correspondence, comments have not been received by Planning Officers. This may result in the need of further clarification on matters or documentation which has not been requested in this letter. If any such matters arise, I will advise accordingly.

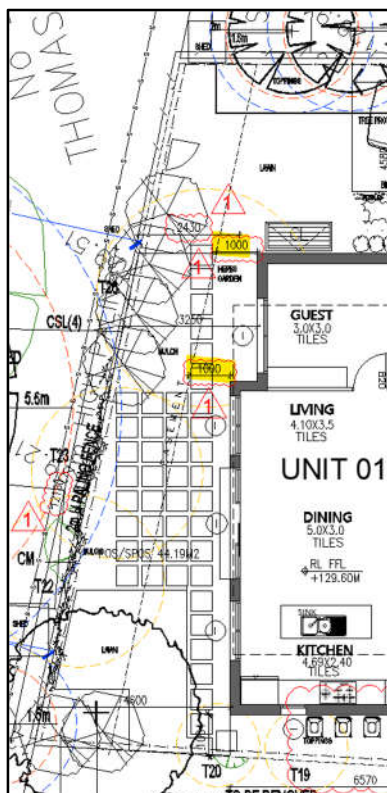
*This is duly noted.*

### Works within 1m of an Easement:

The proposed development is proposed close to the existing easement along the rear of the site. Consent from the relevant authorities should be sought in regards to your proposal.

Should the application be amended, either voluntarily or in response to the further information requested above, the requirements of Section 50 of the Act apply. This includes a requirement that Council is advised that the landowner/s has been made aware of the amended application. This can be provided in the form of the owner's signature or a declaration from the applicant that the owner has been notified.

If amendments are made prior to public notice, then there is no additional fee to pay for those amendments. Where amendments are made after public notice, an additional fee is required at the time of request. This fee will depend on the scope of the amendments.



*Proposed development has been revised to provide the minimum 1m distance to the existing easement. Please see image below for reference.*

PROPOSED GROUND FLOOR PLAN (TP03)

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*I am respectfully submitting this Response to RFI together with the attached documents for your perusal. Please do email me if there are still items that need to be addressed further.*

*Thank you very much.*

**Prepared by;**

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# DEVELOPMENT ASSESSMENT PLANNING REPORT

5 Williamson Street Drouin 3818

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## TABLE OF CONTENTS

I.	Introduction.....	4
II.	The Proposal.....	4
	II.1 Subject Site .....	4
	II.2 Neighbourhood Character .....	6
	Design Form Approach.....	7
	II.3 Amenities.....	8
III.	Planning Scheme.....	10
	III.1 Municipal Strategic Statement.....	10
	Clause 02.03- Strategic Directions.....	10
	III.2 Planning Policy Framework.....	11
	Clause 11.01-1L-01- Growth in Baw Baw.....	11
	Clause 11.01-1L-02- Main towns - High growth.....	11
	Clause 15- Built Environment .....	12
	Clause 16.01-1S - Housing Supply.....	12
IV.	ZONES.....	13
	CLAUSE 32.08-GENERAL RESIDENTIAL ZONE.....	13
V.	CLAUSE 55 TWO OR MORE DWELLINGS ON A LOT AND RESIDENTIAL BUILDINGS.....	15
	55.01 NEIGHBOURHOOD AND SITE DESCRIPTION AND DESIGN RESPONSE.....	16
	55.01-1 Neighbourhood And Site Description.....	16
	55.01-2 Design Response .....	25
	55.02 NEIGHBOURHOOD CHARACTER AND INFRASTRUCTURE.....	25
	55.02-1 Neighbourhood Character Objectives.....	25
	55.02-2 Residential Policy Objectives .....	27
	55.02-4 Infrastructure Objectives.....	28

55.02-5 Integration With The Street Objective To integrate the layout of development with the street.....	29
55.03 SITE LAYOUT AND BUILDING MASSING .....	30
55.03-1 Street Setback Objective .....	30
55.03-2 Building Height Objective.....	32
55.03-3 Site Coverage Objective .....	35
55.03-4 Permeability And Stormwater Management Objectives.....	36
55.03-5 Energy Efficiency Objectives.....	38
55.03-6 Open Space Objective.....	43
55.03-7 Safety Objective.....	44
55.03-8 Landscaping Objectives.....	45
55.03-9 Access Objective.....	47
55.03-10 Parking Location Objectives.....	48
55.04 AMENITY IMPACTS .....	49
55.04-1 Side And Rear Setbacks Objective .....	49
55.04-2 Walls On Boundaries Objective.....	52
55.04-3 Daylight To Existing Windows Objective.....	57
55.04-4 North-Facing Windows Objective.....	61
55.04-5 Overshadowing Open Space Objective.....	65
55.04-6 Overlooking Objective .....	69
55.04-7 Internal Views Objective .....	74
55.04-8 Noise Impacts Objectives .....	76
55.05 ON-SITE AMENITY AND FACILITIES.....	77
55.05-1 Accessibility Objective.....	77
55.05-2 Dwelling Entry Objective.....	78
55.05-3 Daylight to New Windows Objective.....	80



55.05-4 Private Open Space Objective.....	83
55.05-5 Solar Access To Open Space Objective.....	84
55.05-6 Storage Objective .....	89
55.06 DETAILED DESIGN.....	89
55.06-1 Design Detail Objective.....	89
55.06-2 Front Fences Objective .....	92
55.06-3 Common Property Objectives.....	93
55.06-4 Site Services Objectives.....	95

## I. Introduction

This report accompanies a planning permit application for the use and development of land located 5 Williamson Street Drouin 3818. The proposal is to demolish the existing dwelling and all other structures on site including the single storey brick house, a verandah, detached garage and a shed on the site and construction of two (2) double-storey dwelling units development. MBDesignstudio has been engaged to facilitate the design and development of the site.

This proposal seeks for the planning approval for the demolition of the existing dwelling and for the construction of two residential units. The proposed design aims to improve the quality of living, enhances and encourages architectural character in the area which supports the council's purpose to encourage a diversity of housing types and housing growth. The proposal will result in an architectural design that will fit into and comply with the gradual upgrade and change to the general appeal and aesthetics of the surrounding neighbourhood. The proposal has been designed to meet the requirements and complies with the Residential Development planning guidelines.

## II. The Proposal

### II.1 Subject Site

The subject site is located on 5 Williamson Street Drouin 3818 and is currently occupied by single storey brick house, a verandah, concrete driveway, brick garage and a shed on the site and construct two double-storey dwelling units development.

#### 5 Williamson Street Drouin 3818– Top View

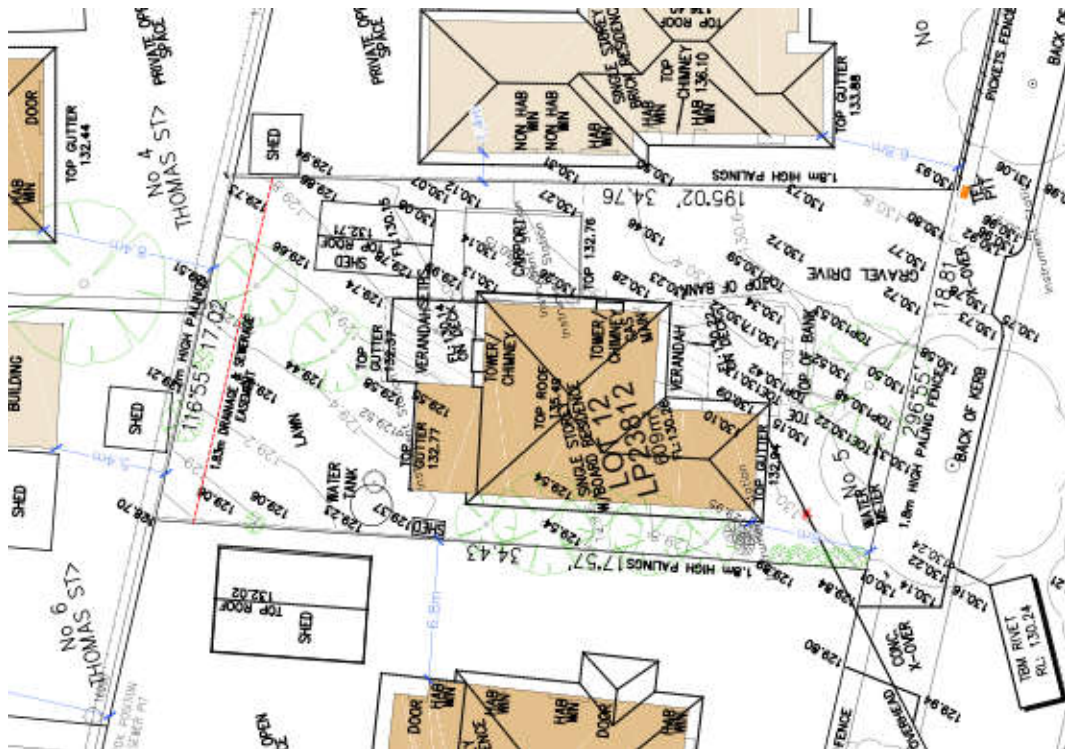


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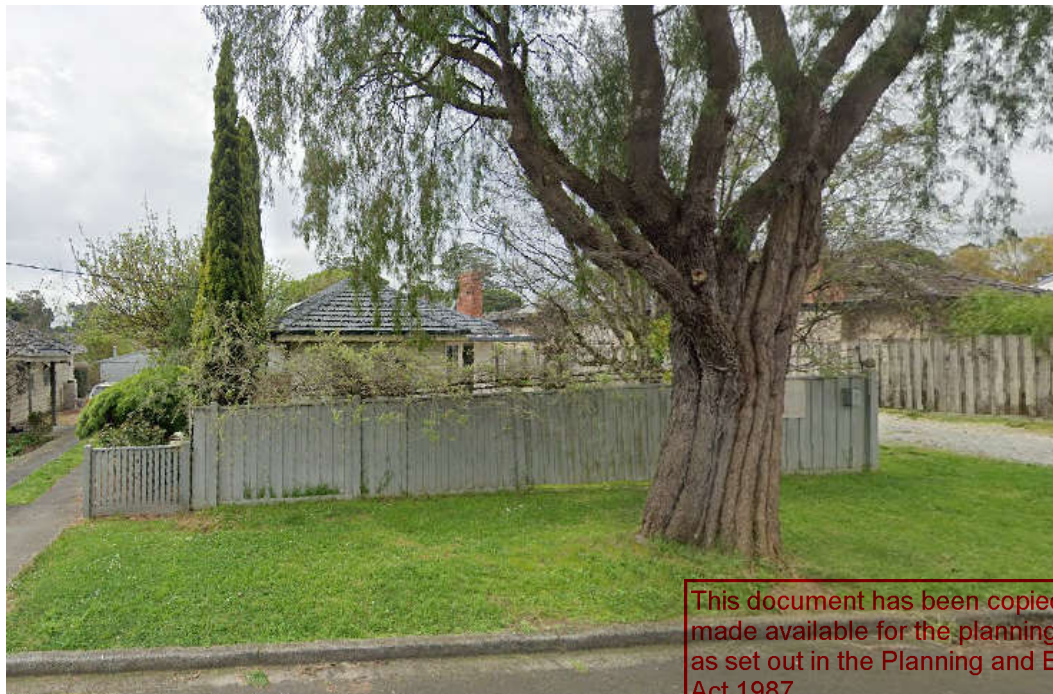
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## Existing Site



## Existing Site - Front View



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## II.2 Neighbourhood Character

The local character is typical of this area in Williamson Street, most of which are combined of single storey brick on large lots with large front gardens, porches and sheds. The new developments are in a variety of styles which complement the existing neighbourhood character at the same time gradually transcends into a more modern approach in the architectural design aspect. The dominant streetscape is standard for residential homes of the area with most homes don't have any front fence at all and landscaped gardens in the front setback. More recent homes and developments are of a larger size and feature render and modern building practices. Most materials used in the local vicinity are brick and clay tile roofing. Roofs are mainly hip and gable with pitches varying from ten (10) to thirty (30) degrees.

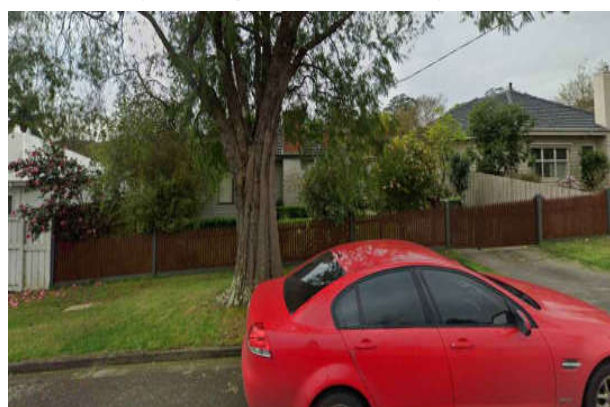
### Existing Properties Across the Site



### Proposed Development



### Surrounding Development and fencing.



**9 Williamson St. Drouin** – West facing entry, irregular shape – single storey with board residence, tiled pitched roof.

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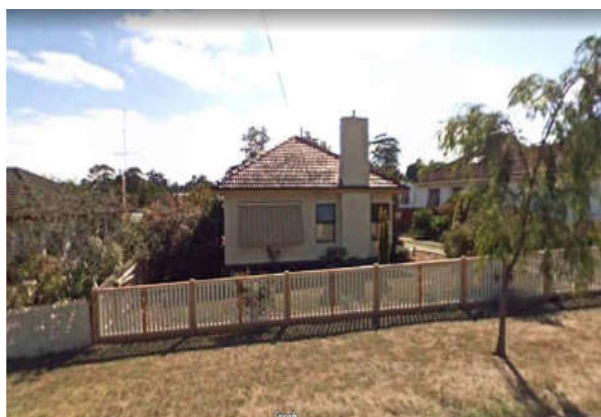
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5 Williamson Street Drouin 3818

**7 Williamson Street** – West facing entry, Irregular shaped, single storey with board residence, tiled pitched roof.



**3 Williamson Street** – East facing entry, Irregular shaped, Single storey with brick residence, tiled pitched roof.



## Design Form Approach

Drouin is referred as High Growth settlement of Baw Baw. Neighbourhood area describe to be second largest service centre in residential, commercial and industrial development primarily for its residents and a localized catchment.

The proposed project located at the General Residential Zone, Williamson Street, most of the residential units are single storey detached dwelling. The proposed development is two (2) double storey dwelling with well designed internal. Proposed development aim to meet Housing strategy (*Clause 16.01-1S – Housing Supply*), for growth areas to provide for a mix of housing through a variety if lot sizes, including higher densities in and around the activity centres.

Proposed double-storey will be initial development around the area, the proposal aim to consolidate medium density residential within the General Residential Zone in Drouin (*Clause 11.01-1L-02 Main towns – High growth*). With this height of the proposed development, the design layout of the two dwelling units also considering the overshadowing of any open space, solar facilities and habitable windows of the neighbor along the title boundary with substantial front, sides and rear setback to address this.

Dominant used of brickworks as construction materials with light weight wall like weatherboards. In respect to neighbourhood existing characteristic, the proposed development use also same materials and even the color scheme intergrating the modern context to the existing characteristic of the neighbourhood.

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Roofing profile is important key in this approach, the pitched roofing with the use of concrete tile roofing is prevailing not only in the street scape, but also the neighbourhood characteristic. The proposed development used two roof types of roofing materials but same pitched profile to be identical to the other existing dwellings.

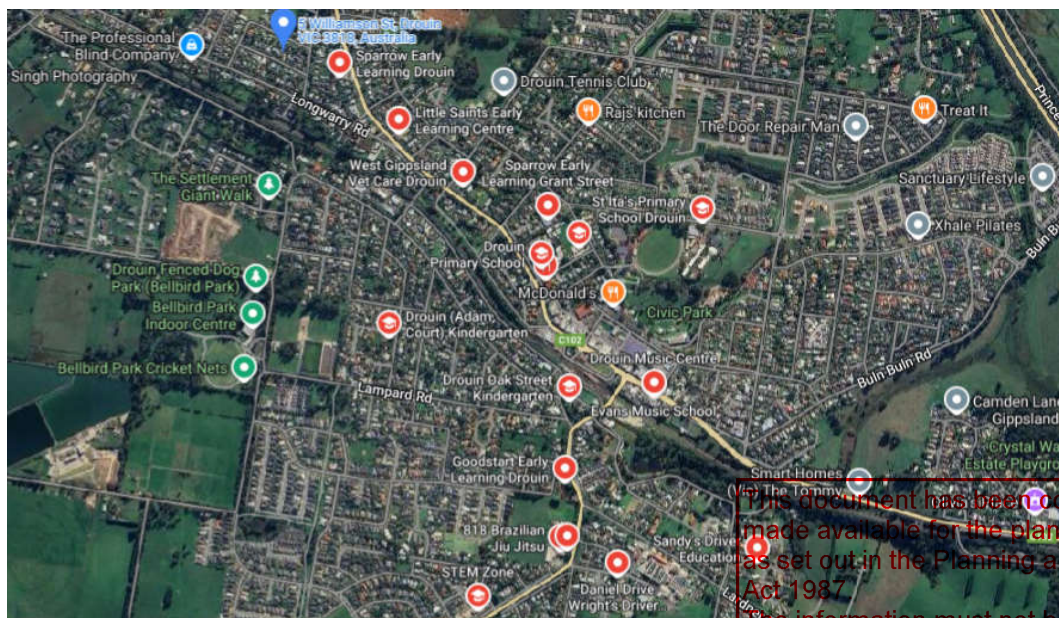
Existing street trees are preserved in this proposed development, a proposed front garden to support the council regulations.

Front fence, along Williamson Street, low to 1-meter high fence are the prevailing street scape. With different materials used from low brick, paling fence and steel fence but some use landscape shrubs as fence screen or no fence present. The proposed development choose to use no-front fence so that front entry of the front dwelling unit will be visible and accessible to the street.

## 11.3 Amenities

The subject site is proximately located near an array of local amenities. There are various pre-school, primary and secondary education facilities within a few kilometers of the subject site. Secondary schools and colleges are likewise available within one (1) kilometer as well, including Drouin Primary School, Drouin (Adam Court) Kindergarten, St. Ita's Primary School, and Drouin Secondary College.

### Schools



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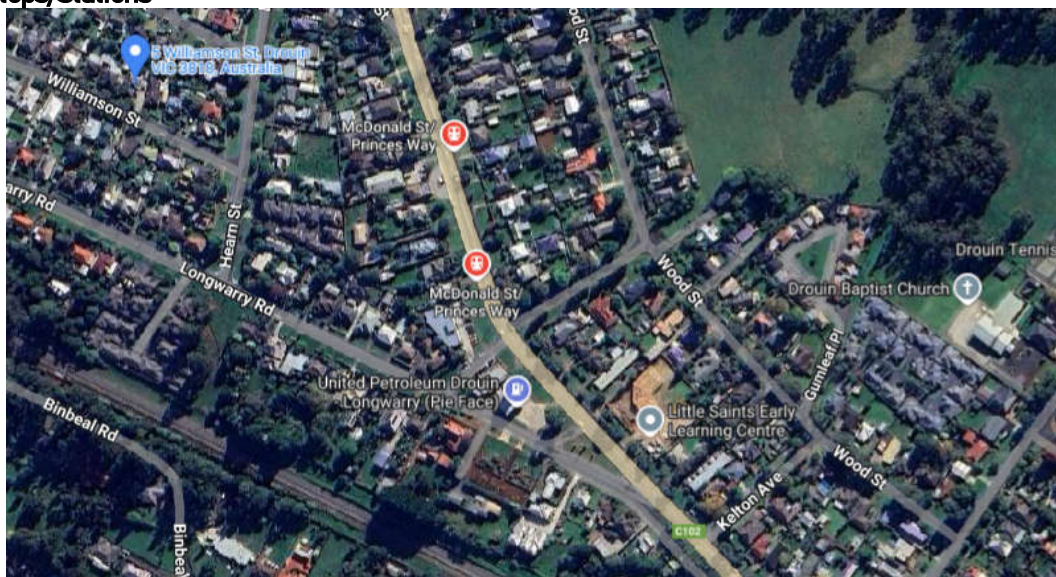
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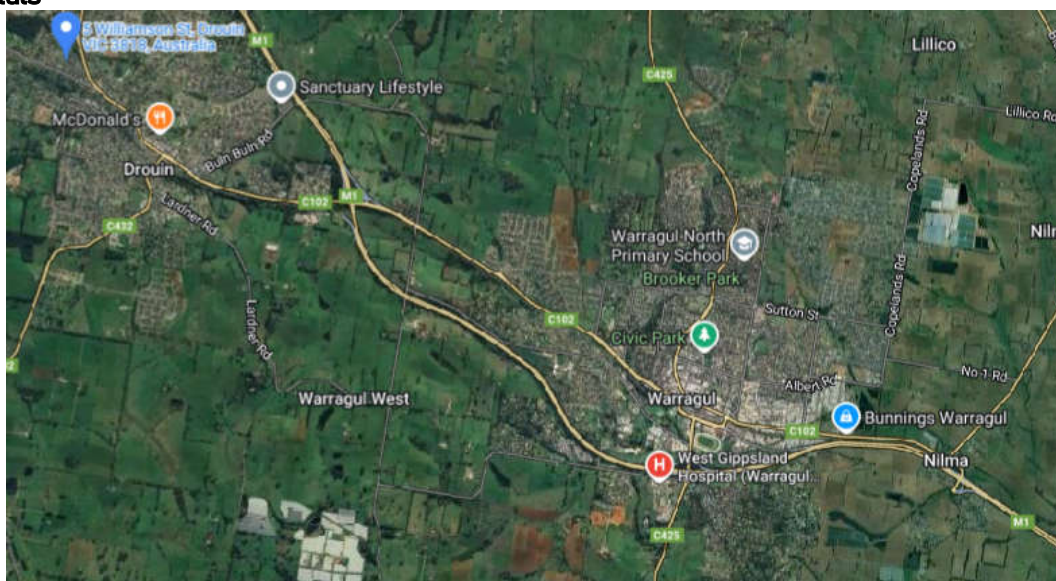
5 Williamson Street Drouin 3818

There are regular bus routes with stops (McDonalds/Princes Way) within a five hundred fifty (550) meters from the subject site with direct links to a shopping center.

### Bus Stops/Stations



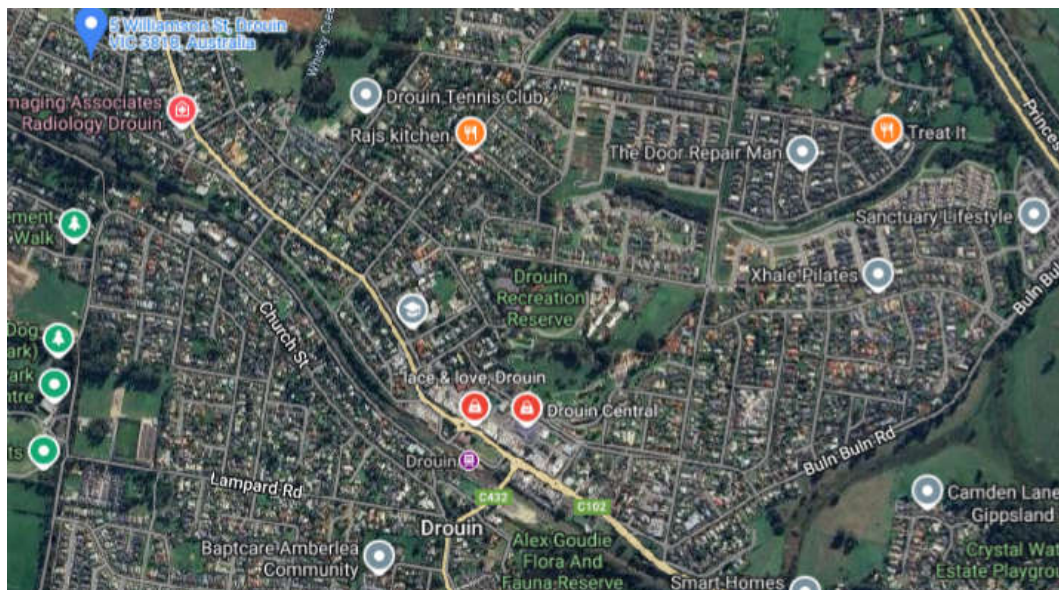
Hospital is situated two (2) hour drive from site. This hospital is West Gippsland Hospital (Warragul) WGHC. Hospitals



The subject site is located within 1.7 kilometres Drouin Central. Numerous shopping, dining and service options were also within a few meters to kilometers from the site.

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## Clause 02.03- Strategic Directions

Settlement in Baw Baw is influenced by its proximity to Melbourne and its access to pristine natural areas, agriculture and lifestyle opportunities. As a peri-urban municipality, within 100 kilometres of Melbourne's CBD, it offers attractive lifestyle choices in urban and rural settings. Due to its location Baw Baw has been experiencing some of the highest growth rates in Victoria and faces growth pressures.

Population growth has centred on the two largest towns, Warragul and Drouin which are within five kilometres of one other. They are developing complementary roles with Warragul as a Regional Centre supported by Drouin with a secondary role. Both Warragul and Drouin benefit from train stations, open space areas, community facilities and a strong mix of uses within their boundaries or on their periphery. Precinct Structure Plans have been prepared for the growth areas of Warragul and Drouin linking integrated neighbourhoods with infrastructure provision.

Drouin belong to Main towns-High Growth in the settlement hierarchy in Bow Bow. As a second largest service centre providing residential, commercial and industrial development primarily for its residents and a localized catchment.

Baw Baw strategic directions for the “Settlement” planning for Drouin, to be develop as sustainable high-growth settlements.

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Page 65 of 175



Strategic direction for "Built form and heritage" planning are:

- Protect heritage places as the municipality experiences growth and development.
- Protect and enhance the individual character of each township.

Economic Development for strategic directions are:

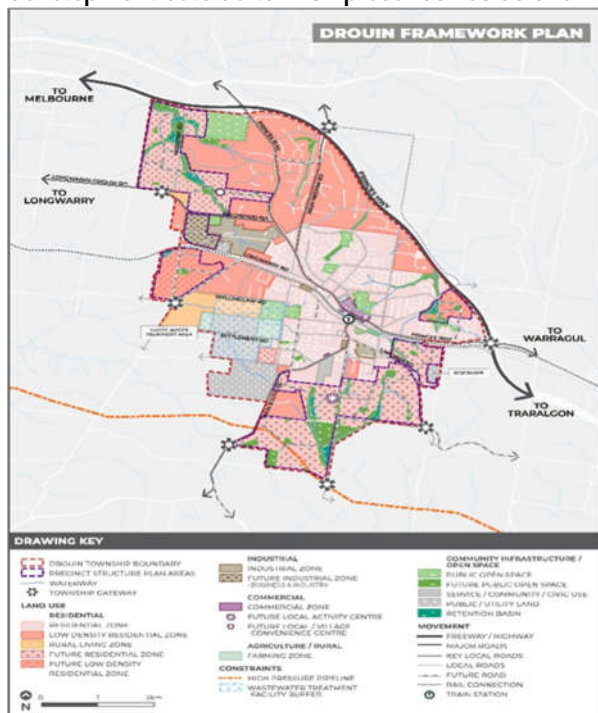
- Facilitate a strong economy and employment base by building on Baw Baw's natural strengths.

*Drouin is strategically belong as a High-Growth settlement. As a second largest centre providing residential, commercial and industrial development. With this, the proposed development support the settlement planning by proposing considerable units for the growth of the area. Proposed characteristic design, like using the material construction used and roof profile, aims to maintain the individual characteristic of the neighbourhood.*

## III.2 Planning Policy Framework

### Clause 11.01-1L-01- Growth in Baw Baw

Clause 11.01-1L-01 General objective is to direct population growth into towns having regard to their servicing, environmental and heritage constraints and with General Strategies to discourage development outside township boundaries as shown on the Framework Plans to this Clause where



reticulated services are available or capable of being delivered. Encourage a greater variety of housing densities within new growth areas. Facilitate increased densities around train stations without compromising the heritage significance of areas.

### Clause 11.01-1L-02- Main towns - High growth

#### Drouin

- Prioritise higher population and growth within the defined township boundary of Drouin.
- Promote the role of Drouin as the second largest town centre of the Shire.
- Consolidate where appropriate retail, entertainment, community, mixed use and medium density residential uses within the Commercial Zone and the General Residential Zone in Drouin

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## Clause 15- Built Environment

The aims of Clause 15 are as follows:

- Planning should ensure all new land use and development appropriately responds to its landscape, valued built form and cultural context, and protect places and sites with significant heritage, architectural, aesthetic, scientific and cultural value.
- Creating quality-built environments supports the social, cultural, economic and environmental wellbeing of our communities, cities and towns.
- Land use and development planning must support the development and maintenance of communities with adequate and safe physical and social environments for their residents, through the appropriate location of uses and development and quality of urban design.

Planning should achieve high quality urban design and architecture that:

- Contributes positively to local urban character and sense of place.
- Reflects the particular characteristics, aspirations and cultural identity of the community.
- Enhances liveability, diversity, amenity and safety of the public realm.
- Promotes attractiveness of towns and cities within broader strategic contexts.
- Minimizes detrimental impact on neighbouring properties.

*The development proposed is a two-unit two storey family homes with internal living areas in an area of increasing architectural quality. The homes are reflective of the needs and wants of the residents of the area or those moving to the area. Given the access to the local shopping areas and transport links, this development is strategically situated for ease of accessibility and mobility as well. The dwellings have been designed to be modern in construction methods and amenities with natural light, ventilation and views with a classic facade style favoured by many in the area. The dwellings are a high standard of design and reasonably priced to capture the interest of people with average income. The proposal is compliant with Clause 15.*

## Clause 16.01-1S - Housing Supply

This clause aims to:

- To facilitate well-located, integrated and diverse housing that meets community needs.
- Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.
- Identify opportunities for increased residential densities to help consolidate urban areas.
- Facilitate diverse housing that offers choice and meets changing household needs by widening housing diversity through a mix of housing types.
- Encourage the development of well-designed housing that provides a high level of internal and external amenity and incorporates universal design and adaptable internal dwelling design.
- Support opportunities for a range of income groups to choose housing in well-served locations.

*Drouin is referred as High Growth settlement of Baw Baw. Neighbourhood area describe to be second largest service centre in residential, commercial and industrial development primarily for its residents and a localized catchment.*



*The proposed project located at the General Residential Zone, Williamson Street, most of the residential units are single storey detached dwelling. The proposed development is two (2) double storey dwelling with well designed internal. Proposed development aim to meet Housing strategy (Clause 16.01-1S – Housing Supply), for growth areas to provide for a mix of housing through a variety if lot sizes, including higher densities in and around the activity centres.*

*Proposed double-storey will be initial development around the area, the proposal aim to consolidate medium density residential within the General Residential Zone in Drouin (Clause 11.01-1L-02 Main towns – High growth). With this height of the proposed development, the design layout of the two dwelling units also considering the overshadowing of any open space, solar facilities and habitable windows of the neighbor along the title boundary with substantial front, sides and rear setback to address this.*



**Existing Site – Front View**

**5 Williamson Street – West facing entry,**  
Irregular shaped, Single storey with board residence, tiled pitched roof.

## IV. ZONES

### CLAUSE 32.08-GENERAL RESIDENTIAL ZONE

#### Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To encourage development that respects the neighbourhood character of the area.

To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.

#### Application requirements

An application must be accompanied by the following information, as appropriate:

For a residential development, the neighbourhood and site description and design response as required in Clause 54 and Clause 55.

Plans drawn to scale and dimensioned which show:

Site shape, size, dimensions and orientation.

The siting and use of existing and proposed buildings.

Adjacent buildings and uses, including siting and dimensioned setbacks.

The building form and scale.

Setbacks to property boundaries.

The likely effects, if any, on adjoining land, including noise levels, traffic, the hours of delivery and despatch of good and materials, hours of operation and light spill, solar access and glare.

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## Decision guidelines

The Municipal Planning Strategy and the Planning Policy Framework.

The purpose of this zone:

The objectives set out in the schedule to this zone.

Any other decision guidelines specified in a schedule to this zone. (Not Specified)

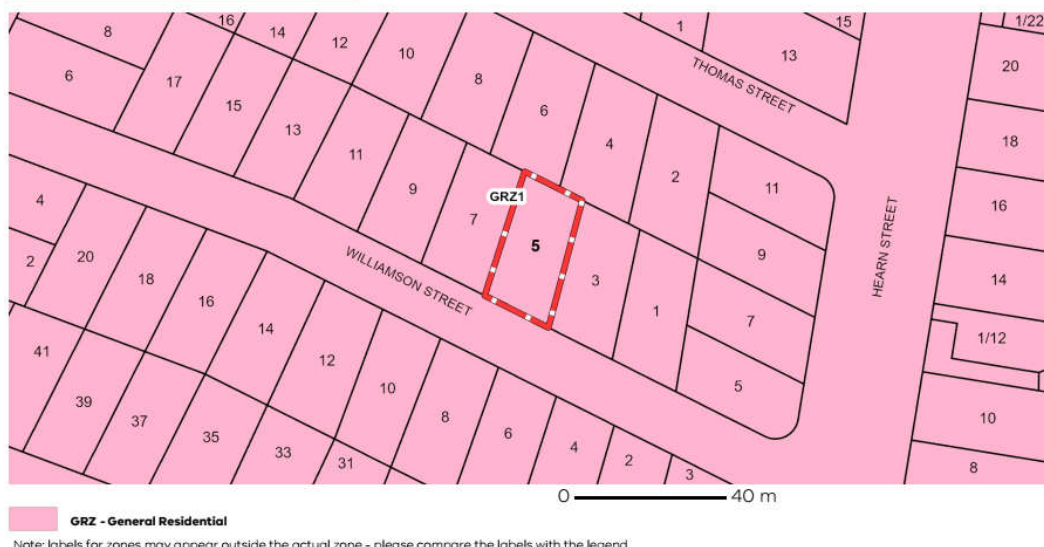
The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Mixed Use Zone, Neighbourhood Residential Zone, Residential Growth Zone or Township Zone.

Dwellings, small second dwellings and residential building, For the construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings, the objectives, standards and decision guidelines of Clause 55.

## Zoning Map

[GENERAL RESIDENTIAL ZONE \(GRZ\)](#)

[GENERAL RESIDENTIAL ZONE - SCHEDULE 1 \(GRZ1\)](#)



## Design Response

*The proposed development is under the General Residential Zone – Sechedule 1 (GRZ1). As compliance to the zoning overlay, Clause 55 will be discussed below together with design response.*

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## V. CLAUSE 55 TWO OR MORE DWELLINGS ON A LOT AND RESIDENTIAL BUILDINGS

### Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.

To encourage residential development that provides reasonable standards of amenity for existing and new residents.

To encourage residential development that is responsive to the site and the neighbourhood.

### Application

Provisions in this clause apply to an application to:

Construct a dwelling if there is at least one dwelling existing on the lot,

Construct two or more dwellings on a lot,

Extend a dwelling if there are two or more dwellings on the lot,

Construct or extend a dwelling on common property, or

Construct or extend a residential building, in the Neighbourhood Residential Zone, General Residential Zone, Residential Growth Zone, Mixed Use Zone or Township Zone.

The provisions of this clause apply to an application specified above, in the manner set out in the following table.

Application type	Applicable clauses
To construct or extend a dwelling (other than a dwelling in or forming part of an apartment development), or To construct or extend a residential building.	All of Clause 55 except Clause 55.07-1 to 55.07-15 (inclusive).
To construct or extend an apartment development, or To construct or extend a dwelling in or forming part of an apartment development.	All of Clause 55 except Clause 55.03-5, Clause 55.03-6, Clause 55.04-8, Clause 55.05-1, Clause 55.05-2 and Clause 55.05-6.

These provisions do not apply to an application to construct or extend a development of five or more storeys, excluding a basement or to construct or extend a dwelling in a development of five or more storeys, excluding a basement.

### Operation

The provisions of this clause contain:

**Objectives.** An objective describes the desired outcome to be achieved in the completed development.

**Standards.** A standard contains the requirements to meet the objective.

A standard should normally be met. However, if the responsible authority is satisfied that an application for an alternative design solution meets the objective, the alternative design solution may be considered.

**Decision Guidelines.** The decision guidelines set out the matters that the responsible authority must consider before deciding if an application meets the objectives.

### Requirements

A development:

- Must meet all of the objectives of this clause that apply to the application.
- Should meet all of the standards of this clause that apply to the application.

For all of the provisions of Clause 55 other than Clause 55.07 (Apartment developments):

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- If a zone or a schedule to a zone specifies a requirement of a standard different from a requirement set out in this clause, the requirement in the zone or a schedule to the zone applies.
- If the land is included in a Neighbourhood Character Overlay and a schedule to the overlay specifies a requirement of a standard different from a requirement set out in this clause or a requirement in the zone or a schedule to the zone, the requirement in the schedule to the overlay applies.
- If the land is included in an overlay, other than a Neighbourhood Character Overlay, and a schedule to the overlay specifies a requirement different from a requirement of a standard set out in this clause or a requirement of a standard set out in the zone or a schedule to the zone, the requirement in the overlay applies.

## 55.01 NEIGHBOURHOOD AND SITE DESCRIPTION AND DESIGN RESPONSE

An application must be accompanied by:

- A neighbourhood and site description.
- A design response.

### *Design Response*

*This report aims to show that this development is appropriate in terms of achieving compliance with the State and Municipal planning policy, Local planning policy and places specific focus on Clause 55 – Two or more dwellings on a lot.*

*The local character is typical of this area of Drouin, with homes on large lots and new developments in a variety of styles. Most materials used in the local vicinity are bricks and tile roofing.*

*Roofs are mainly hip and gable with pitches varying from ten (10) to thirty (30) degrees. The dominant streetscape is standard for residential homes of the area with most homes having no front fence and landscaped gardens in the front setback. More recent homes and developments are of a smaller size and feature render and modern building practices.*

### 55.01-1 Neighbourhood And Site Description

The neighbourhood and site description may use a site plan, photographs or other techniques and must accurately describe:

In relation to the neighbourhood:

- The pattern of development of the neighbourhood.

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Page 71 of 175



## Existing Properties Across the Site

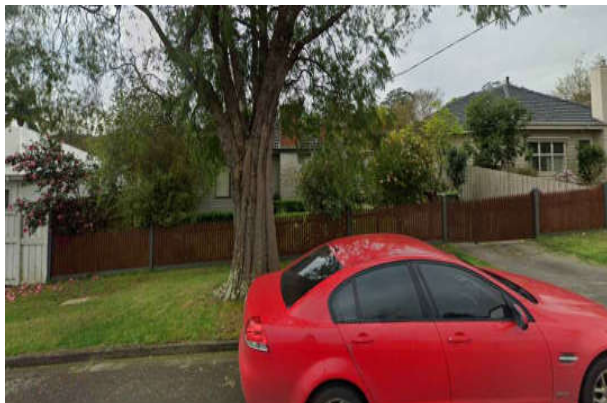
### PROPERTIES ACROSS THE SITE



## Proposed Development



- The built form, scale and character of surrounding development including front fencing.



**7 Williamson Street** – West facing entry, Irregular shaped, single storey with board residence, tiled pitched roof.

**9 Williamson St. Drouin** – West facing entry, irregular shape – single storey with board residence, tiled pitched roof.



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**3 Williamson Street** – East facing entry, Irregular shaped, Single storey with brick residence, tiled pitched roof.

– Architectural and roof styles.



– Any other notable features or characteristics of the neighbourhood.

In relation to the site:

- Site shape, size, orientation and easements.
- Levels of the site and the difference in levels between the site and surrounding properties.



– The location of existing buildings on the site and on surrounding properties, including the location and height of walls built to the boundary of the site.



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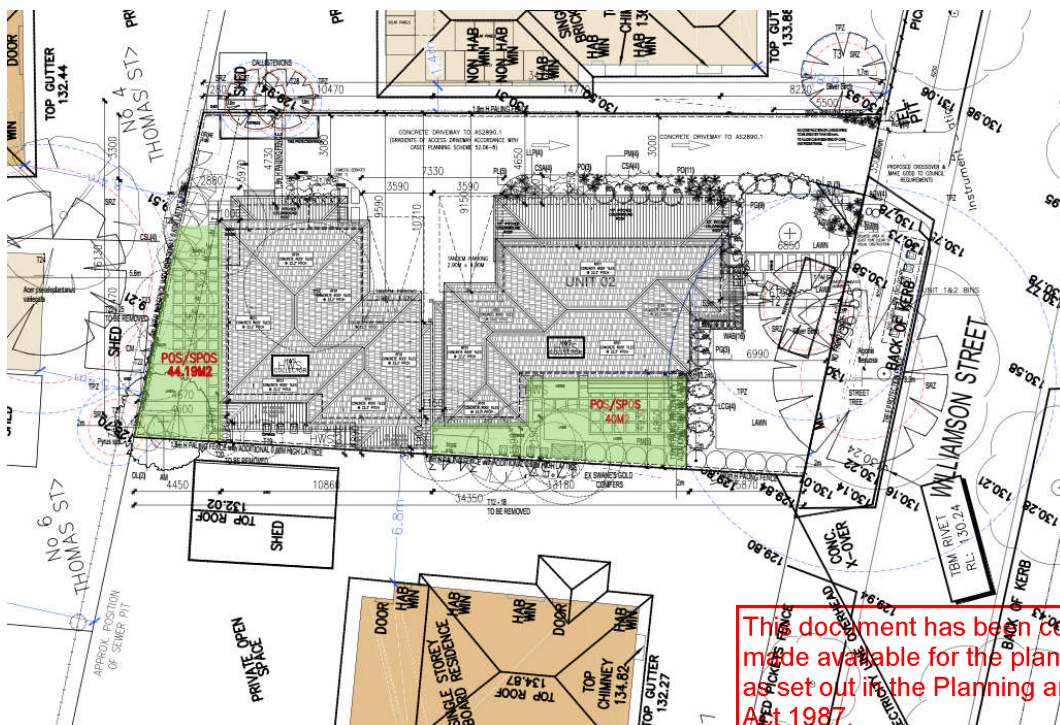
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- The use of surrounding buildings.



- The location of secluded private open space and habitable room windows of surrounding properties which have an outlook to the site within 9 metres.



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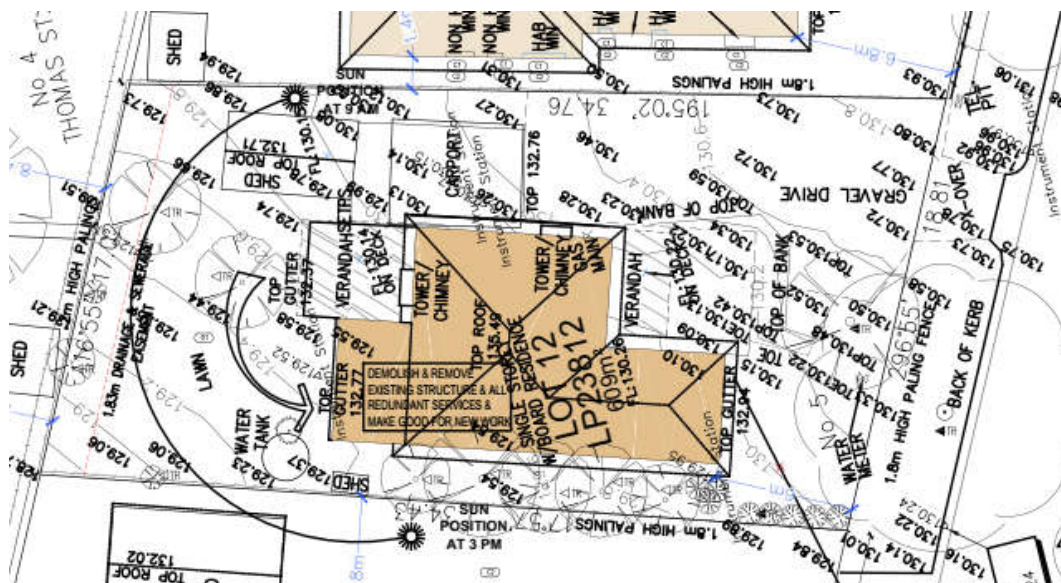
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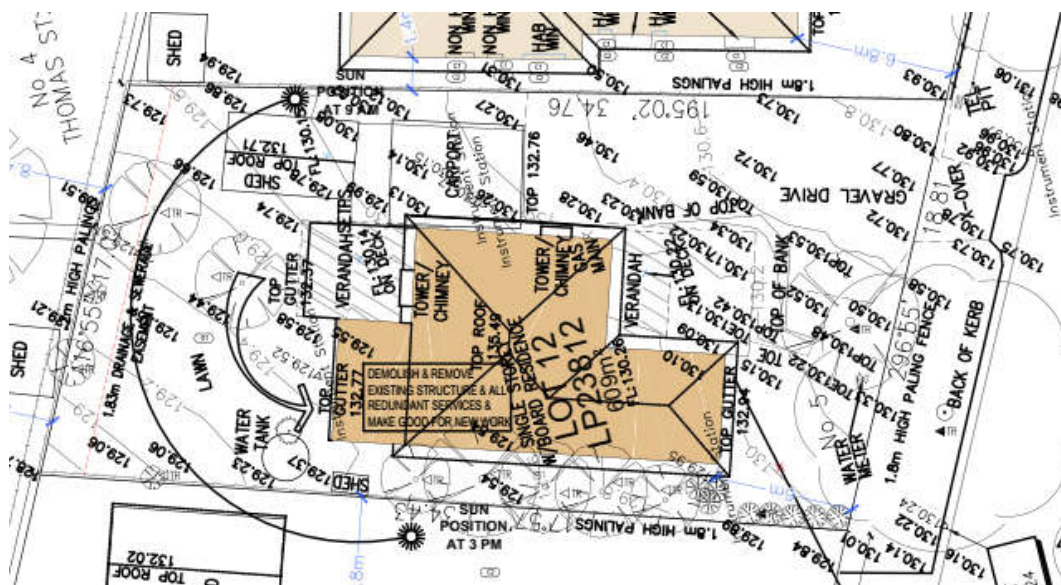
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- Location of significant trees existing on the site and any significant trees removed from the site 12 months prior to the application being made, where known.



- Any contaminated soils and filled areas, where known.
- Views to and from the site.

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5 Williamson Street Drouin 3818



5 WILLIAMSON ST. DROUIN – WEST FACING ENTRY, IRREGULAR SHAPE – SINGLE STOREY W/ BOARD RESIDENCE, TILED PITCHED ROOF.

Street frontage features such as poles, street trees and kerb crossovers.



– The location of local shops, public transport services and public open spaces within walking distance.

The subject site is proximately located near an array of local amenities. There are various pre-school, primary and secondary education facilities within a few kilometers of the subject site. Secondary schools and colleges are likewise available within one (1) kilometer as well, including Drouin Primary School, Drouin (Adam Court) Kindergarten, St. Ita's Primary School, and Drouin Secondary College.

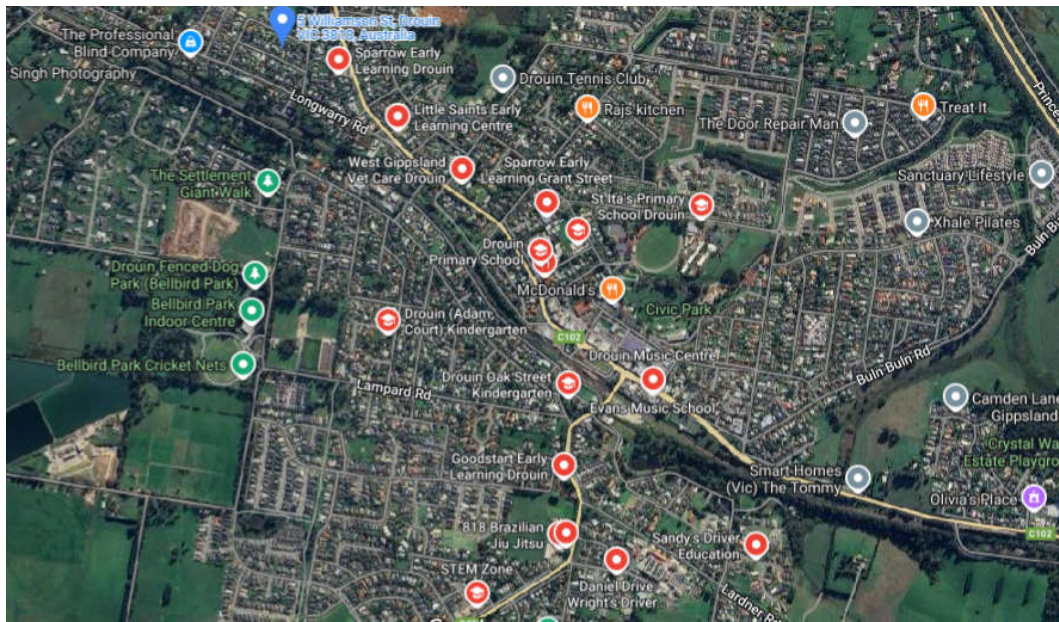
#### Schools

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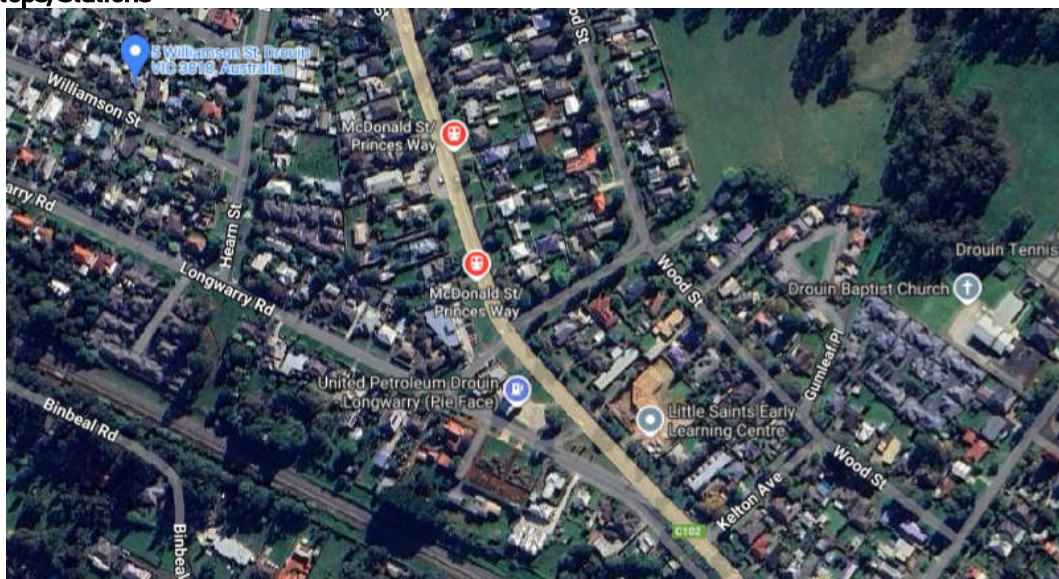
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There are regular bus routes with stops (McDonalds/Princes Way) within a five hundred fifty (550) meters from the subject site with direct links to a shopping center.

#### Bus Stops/Stations



Hospital is situated two (2) hour drive from site. This hospital is West Gippsland Hospital (Warragul) WGHG.

#### Hospitals

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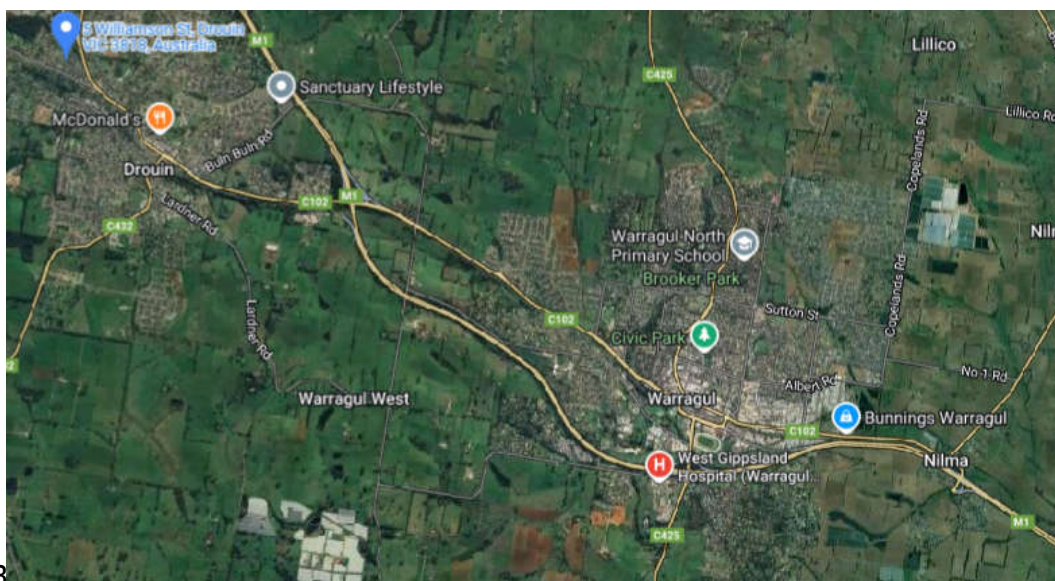
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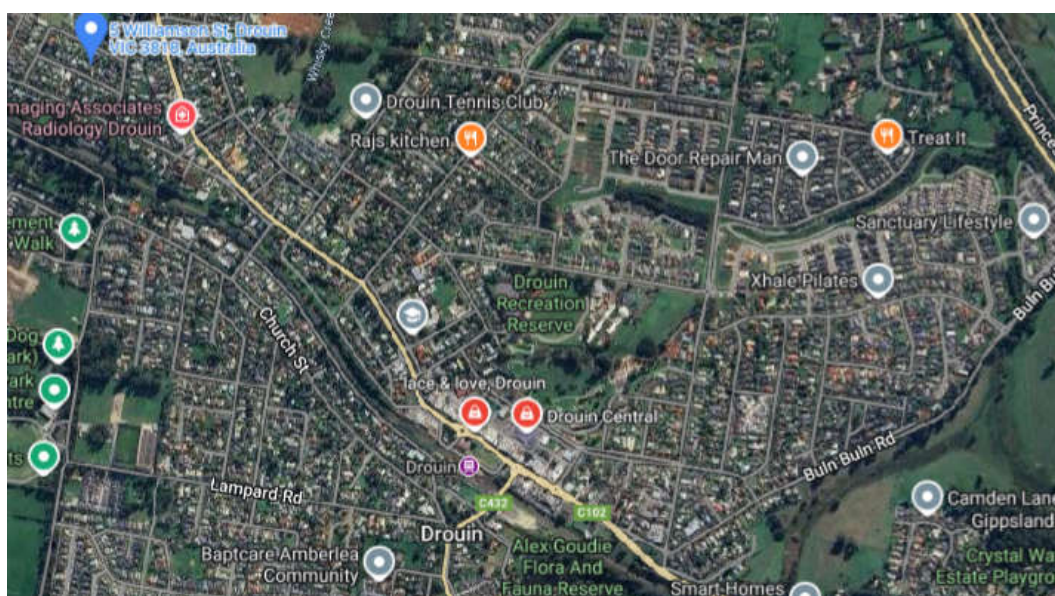


5 Williamson Street Drouin 3818



The subject site is located within 1.7 kilometres Drouin Central. Numerous shopping, dining and service options were also within a few meters to kilometers from the site.

### Shopping Centres



### Satisfactory Neighbourhood And Site Description

If the responsible authority decides that the neighbourhood and site description is not satisfactory, it may require more information from the applicant under Section 54 of the Act as set out in the Planning and Environment Act 1987.

The responsible authority must not require notice of an application to be given or decide an application until it is satisfied that the neighbourhood and site description meets the requirements of Clause 55.01-1 and is satisfactory.

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This does not apply if the responsible authority refuses an application under Section 52(1A) of the Act.

### Design Response

The following information below best describes this site:

1. Drouin is referred as High Growth settlement of Baw Baw. Neighbourhood area describe to be second largest service centre in residential, commercial and industrial development primarily for its residents and a localized catchment.

The proposed project located at the General Residential Zone, Williamson Street, most of the residential units are single storey detached dwelling. The proposed development is two (2) double storey dwelling with well designed internal. Proposed development aim to meet Housing strategy (Clause 16.01-1S – Housing Supply), for growth areas to provide for a mix of housing through a variety if lot sizes, including higher densities in and around the activity centres.

Dominant used of brickworks as construction materials with light weight wall like weatherboards. In respect to neighbourhood existing characteristic, the proposed development use also same materials and even the color scheme integrating the modern context to the existing characteristic of the neighbourhood.

Roofing profile is important key in this approach, the pitched roofing with the use of concrete tile



roofing is prevailing not only in the street scape, but also the neighbourhood characteristic. The proposed development used two roof types of roofing materials but same pitched profile to be identical to the other existing dwellings.

Existing street trees are preserved in this proposed development, a proposed front garden to support the council regulations.

Front fence, along Williamson Street, low to 1-meter high fence are the prevailing street scape. With different materials used from low brick, paling fence and steel fence but some use landscape shrubs as fence screen or no fence present. The proposed development choose to use no-front fence so that front entry of the front dwelling unit will be visible and accessible to the street.

2. According to the Zoning Map, it is within the area classified as GRZ1.

(<https://mapshare.vic.gov.au/vicplan/>)

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## 55.01-2 Design Response

The design response must explain how the proposed design:

- Derives from and responds to the neighbourhood and site description.
- Meets the objectives of Clause 55.
- Responds to any neighbourhood character features for the area identified in a local planning policy or a Neighbourhood Character Overlay.

The design response must include correctly proportioned street elevations or photographs showing the development in the context of adjacent buildings. If in the opinion of the responsible authority this requirement is not relevant to the evaluation of an application, it may waive or reduce the requirement.

## 55.02 NEIGHBOURHOOD CHARACTER AND INFRASTRUCTURE

### 55.02-1 Neighbourhood Character Objectives

- To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.
- To ensure that development responds to the features of the site and the surrounding area.

#### Standard B1

- The design response must be appropriate to the neighbourhood and the site.
- The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.

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### Decision Guidelines

Before deciding on an application, the responsible authority must consider:

- Any relevant neighbourhood character objective, policy or statement set out in this scheme.
- The neighbourhood and site description.
- The design response.

### Design Response

*Drouin is referred as High Growth settlement of Baw Baw. Neighbourhood area describe to be second largest service centre in residential, commercial and industrial development primarily for its residents and a localized catchment.*

*The proposed project located at the General Residential Zone, Williamson Street, most of the residential units are single storey detached dwelling. The proposed development is two (2) double storey dwelling with well-designed internal. Proposed development aim to meet Housing strategy (Clause 16.01-1S – Housing Supply), for growth areas to provide for a mix of housing through a variety if lot sizes, including higher densities in and around the activity centres.*

*Proposed double-storey will be initial development around the area, the proposal aim to consolidate medium density residential within the General Residential Zone in Drouin (Clause 11.01-1L-02 Main towns – High growth). With this height of the proposed development, the design layout of the two dwelling units also considering the overshadowing of any open space, solar facilities and habitable windows of the neighbor along the title boundary with substantial front, sides and rear setback to address this.*

### 5 Williamson Street Drouin 3818– Top View



*Dominant used of brickworks as construction materials with light weight wall like weatherboards. In respect to neighbourhood existing characteristic, the proposed development use also same materials and even the color scheme integrating the modern context to the existing characteristic of the neighbourhood.*

*Roofing profile is important key in this approach, the pitched roofing with the use of the Concrete and Roofing Act 1987. The information must not be used for any other purpose.*

*The proposed development used two roof types of roofing materials but same pitched profile to be identical to the other existing dwellings.*



5 Williamson Street Drouin 3818

*Existing street trees are preserved in this proposed development, a proposed front garden to support the council regulations.*

*Front fence, along Williamson Street, low to 1-meter high fence are the prevailing street scape. With different materials used from low brick, paling fence and steel fence but some use landscape shrubs as fence screen or no fence present. The proposed development choose to use no-front fence so that front entry of the front dwelling unit will be visible and accessible to the street.*

## 55.02-2 Residential Policy Objectives

- To ensure that residential development is provided in accordance with any policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.
- To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.

### Standard B2

An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.

### Decision Guidelines

Before deciding on an application, the responsible authority must consider:

- The Municipal Planning Strategy and the Planning Policy Framework.
- The design response.

### Design Response

*The proposed development of the land for two (2) double-storey dwelling units on a lot is consistent with the State Planning Policy Framework, the Local Planning Policy Framework of Casey's Planning Scheme and Council's Municipal Strategic Statement.*

*The development is strategically located near public transport and community infrastructure and services. The proposed development which includes the two (2) detached double-storey new dwelling units on a lot, meets the objectives such as affordable housing and providing the needs of residents regardless of their social status in the society. Each with minimum of 40sq.m open space. Front back yard observed as one (1) dwelling unit is in front of the street. Rear and side setbacks are observe. Consistent to the design objective, pitched roof incorporated in the design. Additional access was proposed and process the planning permit as compliance. The quality of the design, site layout, side and rear setbacks, provision for car parking and open spaces will ensure that the development provides a quality standard of amenity for future residents as well as a good standard for future development in the area.*

*The development site is within close proximity to several regional facilities and services, including but not limited to open space facilities, schools and shopping facilities which are within close range of the proposed development site. The development site complies with the initiatives of urban consolidation of the State Government and will therefore not cause any detriment to the amenity of adjoining properties, nor will it be out of character with the area.*

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## Zoning Map

GENERAL RESIDENTIAL ZONE (GRZ)

GENERAL RESIDENTIAL ZONE - SCHEDULE 1 (GRZ1)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

## 55.02-4 Infrastructure Objectives

- To ensure development is provided with appropriate utility services and infrastructure.
- To ensure development does not unreasonably overload the capacity of utility services and infrastructure.

### Standard B4

- Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available.
- Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.
- In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure.

### Decision Guidelines

Before deciding on an application, the responsible authority must consider:

- The capacity of the existing infrastructure.
- In the absence of reticulated sewerage, the capacity of the development to treat and retain all wastewater in accordance with the State Environment Protection Policy (Waters of Victoria) under the Environment Protection Act 1970.
- If the drainage system has little or no spare capacity, the capacity of the development to provide for stormwater drainage mitigation or upgrading of the local drainage system.

### Design Response

*There is no reticulated services. Stormwater layout are indicative only. All stormwater drains to connect to the legal point of discharge to the relevant authorities' approval. No part of any footing or structure encroaches the title boundary. AGI drains are provided to the base of all buildings.*

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to stormwater system. Temporary downpipes are to be fitted during construction, until final downpipes are installed & connected to storm water drains. These services will be upgraded and designed by civil engineer to cater for the requirement of the development and to satisfaction of the responsible authority.

## 55.02-5 Integration With The Street Objective To integrate the layout of development with the street.

### Standard B5

- Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility.
- Development should be oriented to front existing and proposed streets.
- High fencing in front of dwellings should be avoided if practicable.
- Development next to existing public open space should be laid out to complement the open space.

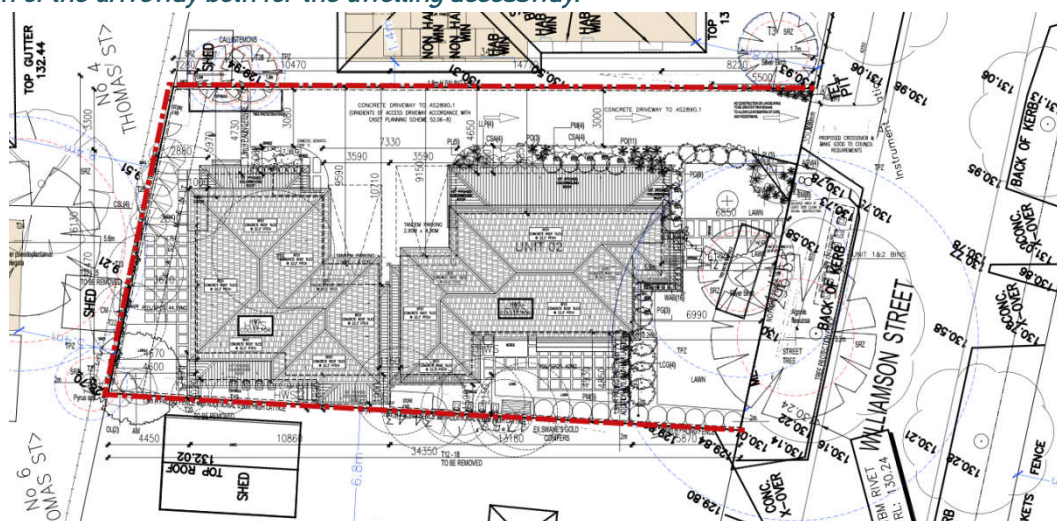
### Decision Guidelines

Before deciding on an application, the responsible authority must consider:

- Any relevant neighbourhood character objective, policy or statement set out in this scheme.
- The design response.

### Design Response

This particular standard has been considered and reflected in this application. Fence from 1.80m to 2.0 meters high are placed at the three (rear, left and right) sides of the property boundary (red dashed lines). A reinstated crossover is placed at the concrete driveway fronting the street with splayed area for clear vision of the driveway both for the dwelling accessway.



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## 55.03 SITE LAYOUT AND BUILDING MASSING

### 55.03-1 Street Setback Objective

To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.

#### Standard B6

Walls of buildings should be set back from streets:

- At least the distance specified in a schedule to the zone, or
- If no distance is specified in a schedule to the zone, the distance specified in Table B1.
- Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.

Table B1 Street Setback

Development context	Minimum setback from front street (metres)	Minimum setback from a side street (metres)
There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.	The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.	Not applicable
There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.	The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.	Not applicable
There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.	6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.	Not applicable
The site is on a corner.	If there is a building on the abutting allotment facing the front street, the same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser. If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.	Front walls of new development fronting the side street of a corner site should be setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 3 metres, whichever is the lesser. Side walls of new development on a corner site should be setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.

#### Decision Guidelines

Before deciding on an application, the responsible authority must consider:

- Any relevant neighbourhood character objective, policy or statement set out in this scheme.
- The design response.
- Whether a different setback would be more appropriate taking into account the prevailing setbacks of existing buildings on nearby lots.
- The visual impact of the building when viewed from the street and from adjoining properties.
- The value of retaining vegetation within the front setback.

#### Design Response

*This standard has been considered in this application. As compliant to setbacks requirements, front setback was comply the average with the existing setbacks of the neighboring lots. Side and Rear setbacks, are considered and complied in this application.*

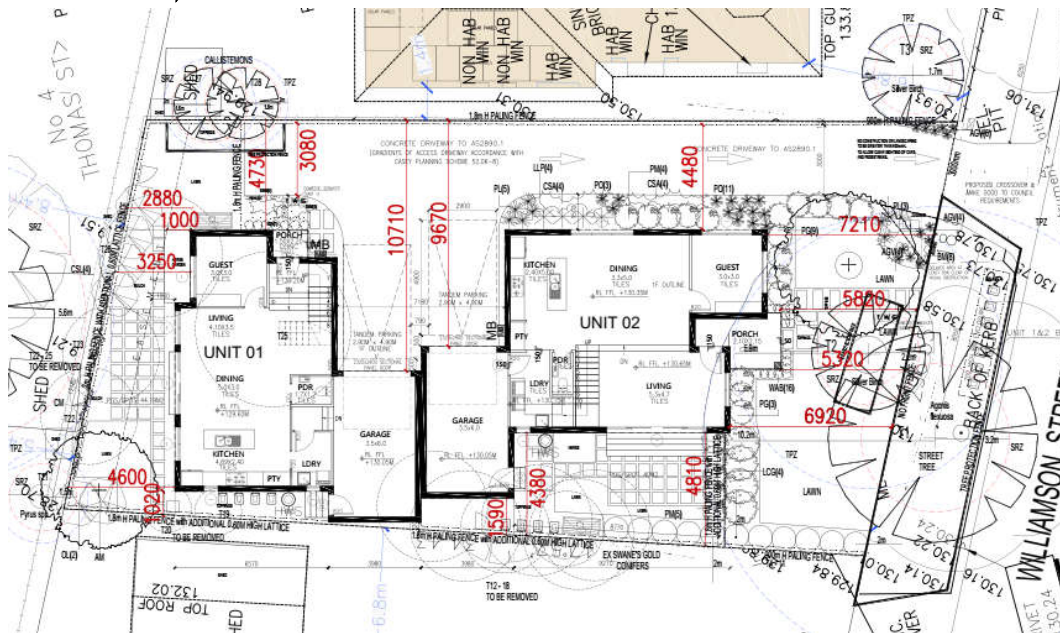
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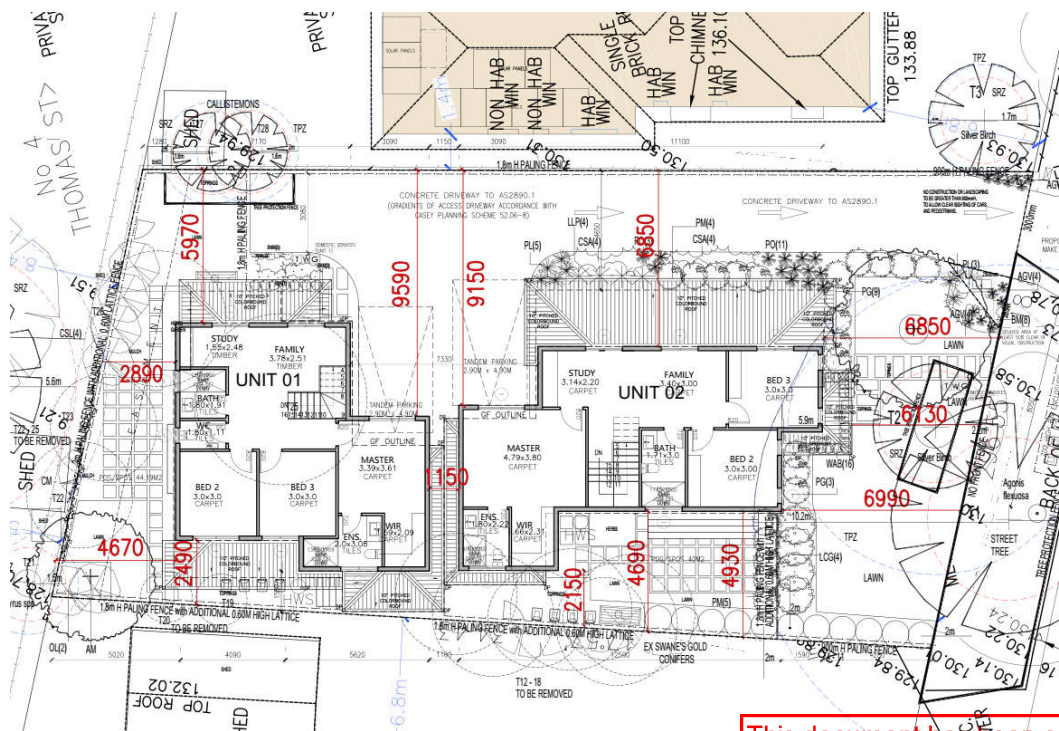
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# Groundfloor - Front, Side & Rear Setbacks



# Firstfloor - Front, Side & Rear Setbacks



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Page 86 of 175

## 55.03-2 Building Height Objective

To ensure that the height of buildings respects the existing or preferred neighbourhood character.

### Standard B7

The maximum building height should not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land.

If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres.

Changes of building height between existing buildings and new buildings should be graduated.

### Decision Guidelines

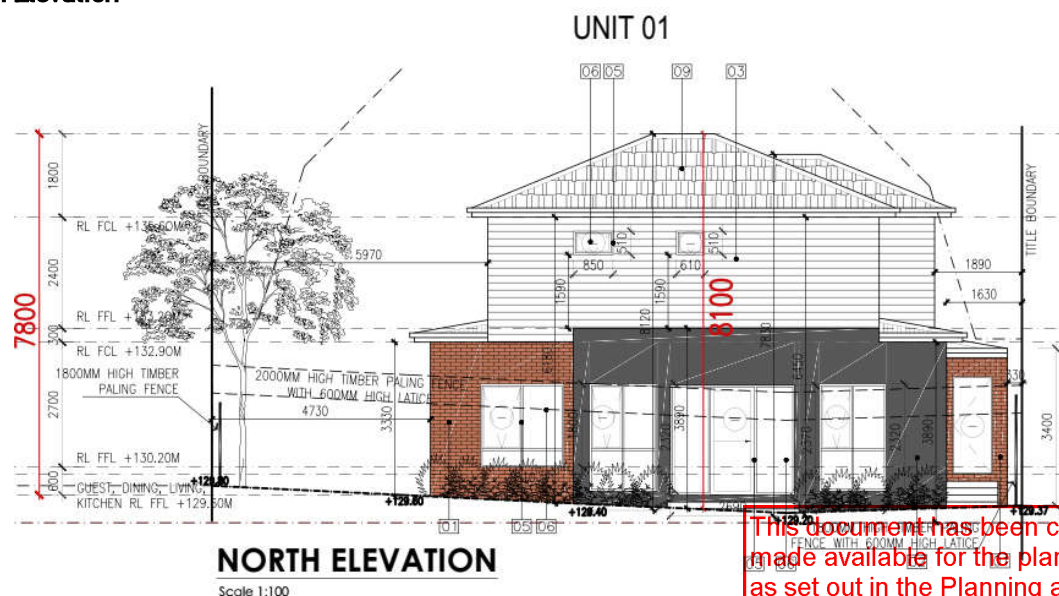
Before deciding on an application, the responsible authority must consider:

- Any relevant neighbourhood character objective, policy or statement set out in this scheme.
- Any maximum building height specified in the zone, a schedule to the zone or an overlay applying to the land.
- The design response.
- The effect of the slope of the site on the height of the building.
- The relationship between the proposed building height and the height of existing adjacent buildings.
- The visual impact of the building when viewed from the street and from adjoining properties.

### Design Response

*This standard has been considered in this application. The total height of the buildings does not exceed 11 meters. The visual impact of this development will be reserved to be the same as the neighbourhood character.*

### North Elevation

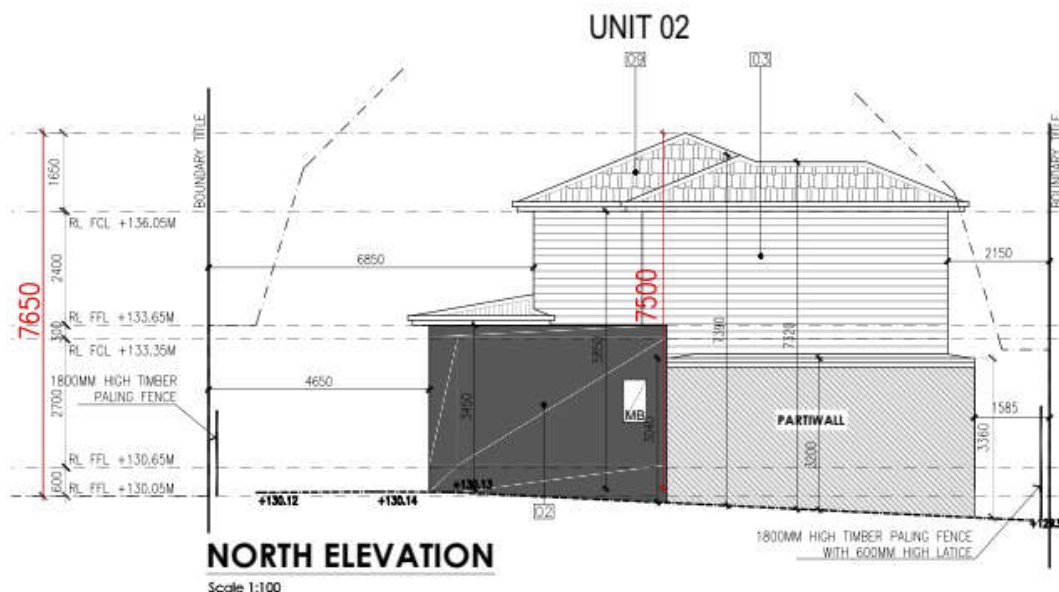


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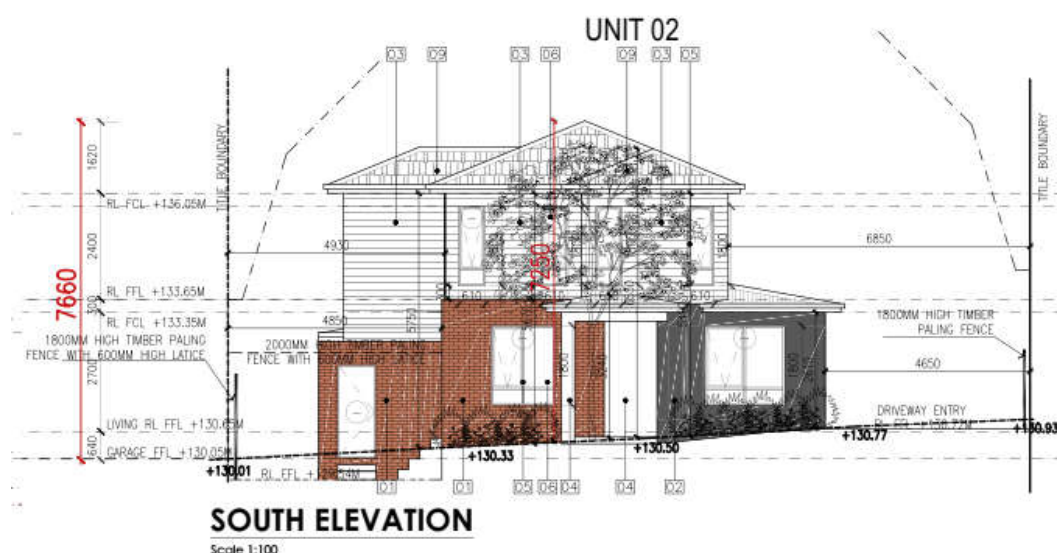
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South Elevation

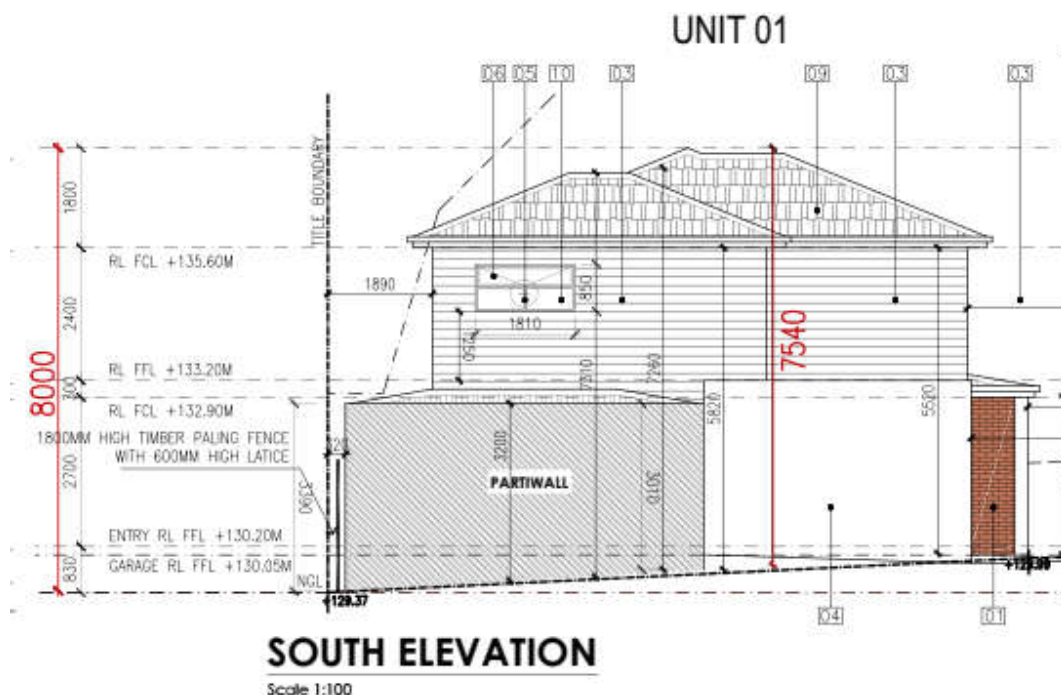


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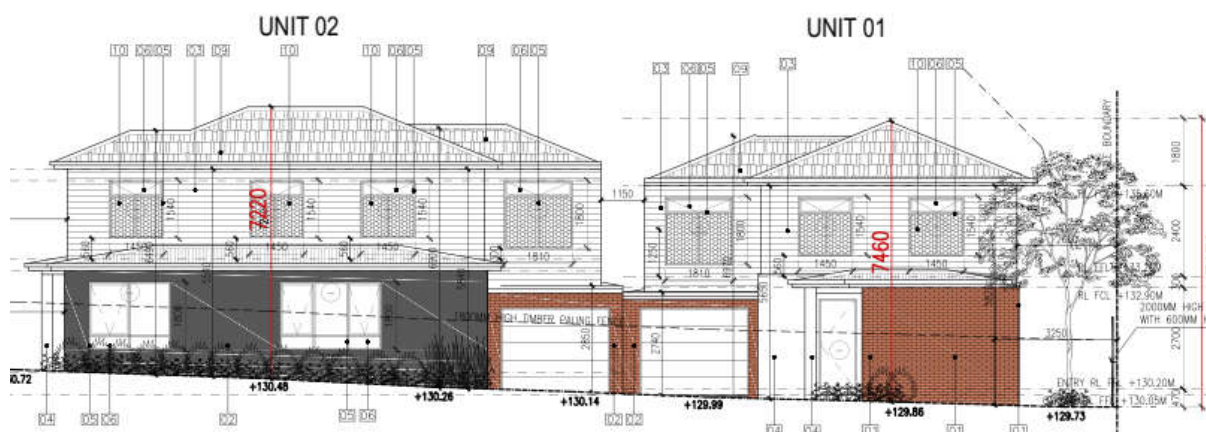
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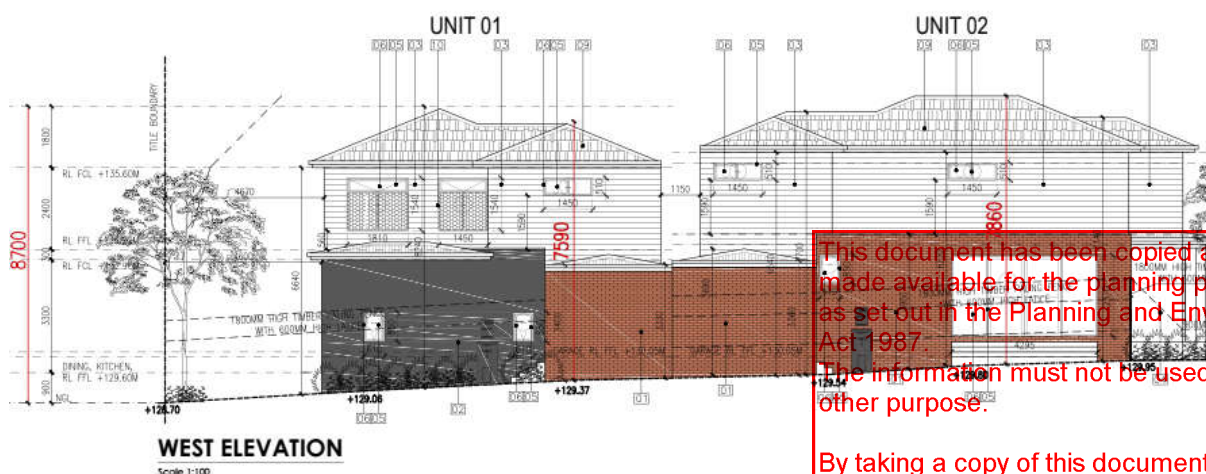
5 Williamson Street Drouin 3818



East Elevation



West Elevation



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## 55.03-3 Site Coverage Objective

To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.

### Standard B8

The site area covered by buildings should not exceed:

- The maximum site coverage specified in a schedule to the zone, or
- If no maximum site coverage is specified in a schedule to the zone, 60 per cent.

### Decision Guidelines

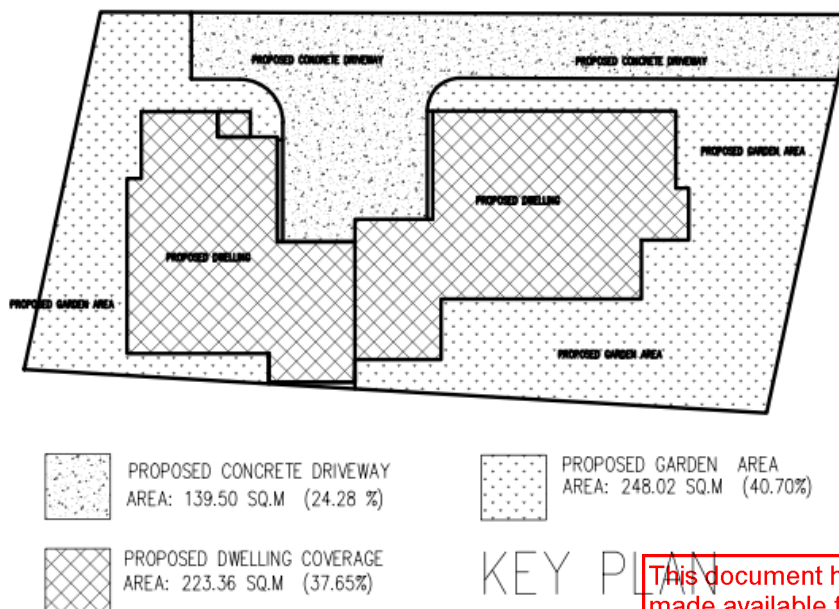
Before deciding on an application, the responsible authority must consider:

- Any relevant neighbourhood character objective, policy or statement set out in this scheme.
- The design response.
- The existing site coverage and any constraints imposed by existing development or the features of the site.
- The site coverage of adjacent properties.
- The effect of the visual bulk of the building and whether this is acceptable in the neighbourhood.

### Design Response

*This standard has been considered in this application. The Total Site Area 609.31 square meters; the Total Site Coverage is 218.80 square meters (which is 35.91% of The Total Site Area). The Green Area is 248.02 square meters (which is 40.70% of the Total Site Area). The Driveways/Walkways is 139.50 square meters (which 24.28% of the Total Site Area).*

### Site Key Plan with Legends



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SITE	
TOTAL SITE	609.31 SQM
TOTAL BUILT UP	385.57 sqm
TOTAL SITE COVERAGE	218.80 SQM = 35.91%
TOTAL PERMEABLE AREA (GARDEN AREA)	248.02 SQM =40.70%

### Site Area Computation

## 55.03-4 Permeability And Stormwater Management Objectives

- To reduce the impact of increased stormwater run-off on the drainage system.
- To facilitate on-site stormwater infiltration.
- To encourage stormwater management that maximises the retention and reuse of stormwater.

### Standard B9

The site area covered by the pervious surfaces should be at least:

- The minimum area specified in a schedule to the zone, or
- If no minimum is specified in a schedule to the zone, 20 percent of the site.

The stormwater management system should be designed to:

- Meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999).
- Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces.

### Decision Guidelines

Before deciding on an application, the responsible authority must consider:

- The design response.
- The capacity of the site to incorporate stormwater retention and reuse.
- The existing site coverage and any constraints imposed by existing development.
- The capacity of the drainage network to accommodate additional stormwater.
- The capacity of the site to absorb run-off.
- The practicality of achieving the minimum site coverage of pervious surfaces, particularly on lots of less than 300 square metres.
- Whether the owner has entered into an agreement to contribute to off-site stormwater management in lieu of providing an on-site stormwater management system.

### Design Response

*This standard has been considered in this application. The Total Permeable Area 248.02 square meters (which is 40.70% of the Total Site Area).*

*Stormwater layout is indicative only. All stormwater drains are to connect to the legal point of discharge to the relevant authority's approval. No part of any footing or structure should encroach on Title Boundary.*



Page 10 of 10



SITE	
TOTAL SITE	609.31 SQM
TOTAL BUILT UP	385.57 sqm
TOTAL SITE COVERAGE	218.80 SQM = 35.91%
TOTAL PERMEABLE AREA (GARDEN AREA)	248.02 SQM =40.70%

## Site Area Computation

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## 55.03-5 Energy Efficiency Objectives

- To achieve and protect energy efficient dwellings and residential buildings.
- To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.

### Standard B10

Buildings should be:

- Oriented to make appropriate use of solar energy.
- Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.
- Sited and designed to ensure that the performance of existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Neighbourhood Residential Zone or Township Zone are not unreasonably reduced. The existing rooftop solar energy system must exist at the date the application is lodged.
- Living areas and private open space should be located on the north side of the development, if practicable.
- Developments should be designed so that solar access to north-facing windows is maximised.

### Decision Guidelines

Before deciding on an application, the responsible authority must consider:

- The design response.
- The size, orientation and slope of the lot.
- The existing amount of solar access to abutting properties.
- The availability of solar access to north-facing windows on the site.
- The extent to which an existing rooftop solar energy system on an adjoining lot is overshadowed by existing buildings or other permanent structures.
- Whether the existing rooftop solar energy system on an adjoining lot is appropriately located.
- The effect of overshadowing on an existing rooftop solar energy system on an adjoining lot.

### Design Response

*This standard has been considered in this application. At 9am-10am Southern part of the dwelling is being overshadowed, this includes some area Secluded Private Open Space of Unit 2 and the Eastern part of No. 9 Williamson Street, Driveway access. In 11am-12nn, only portion of Private Open Space of Unit 2 affected. However, at 1-3pm, there is overshadowing on the Unit 1 of the Private Open Space and overshadow the proposed access driveway, a partly overshadowed at the Private Open Space of No. 3 Williamson Street Overall there is minimal overshadowing upon the adjoining lots, which does not in any way affect or reduce the energy efficiency of the existing dwellings.*

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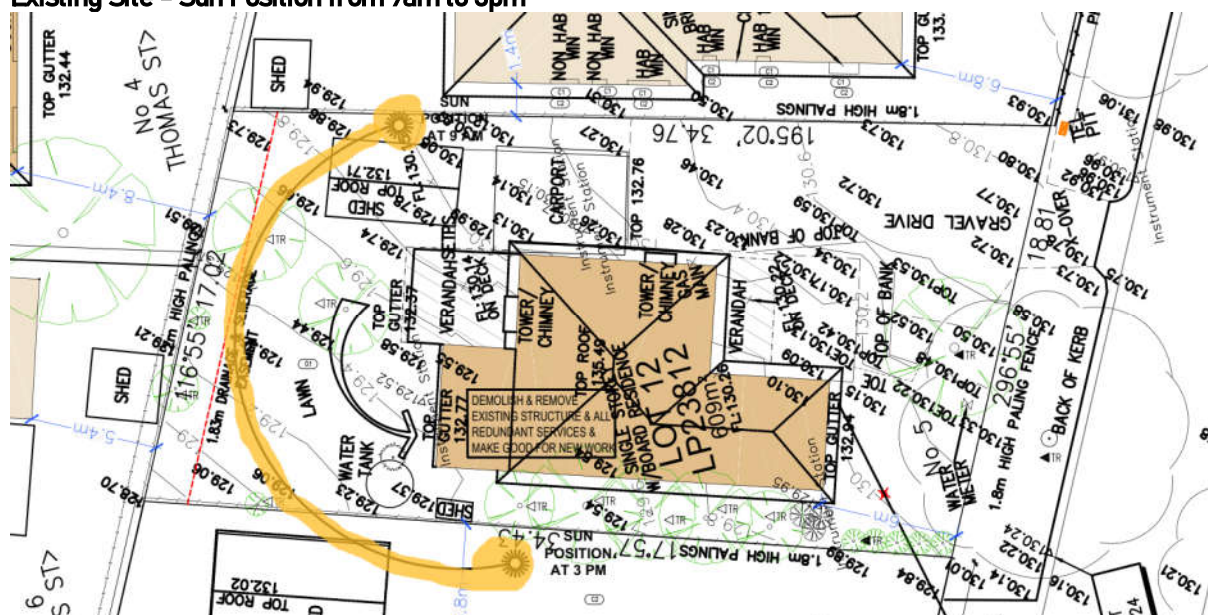
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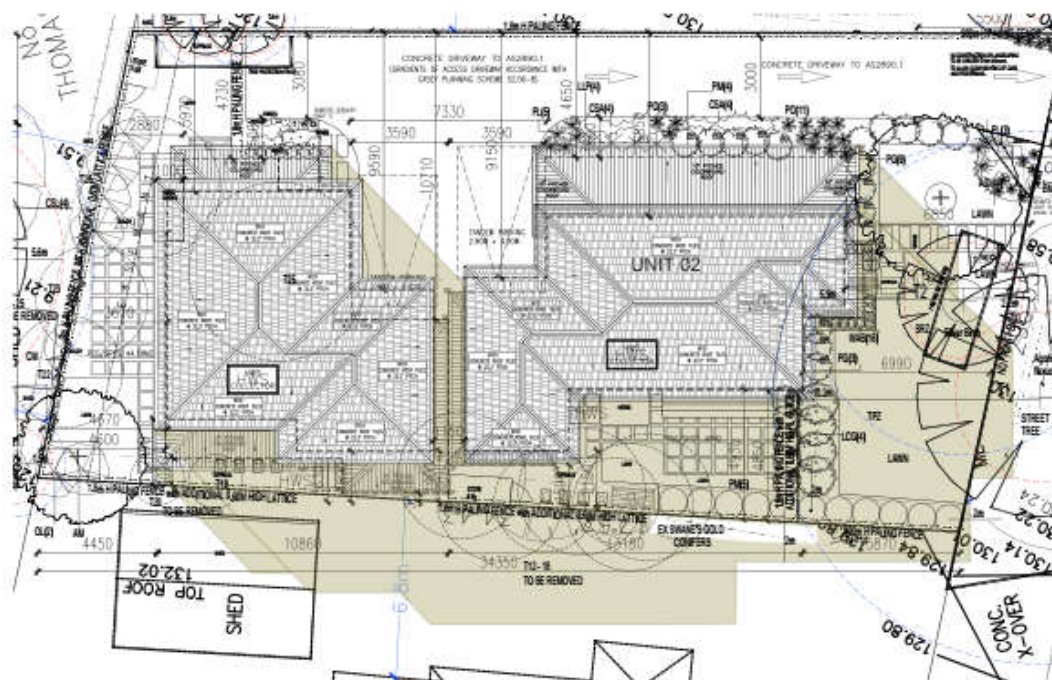
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# Existing Site - Sun Position from 9am to 3pm



# Shadowing Site - September 22, 9am



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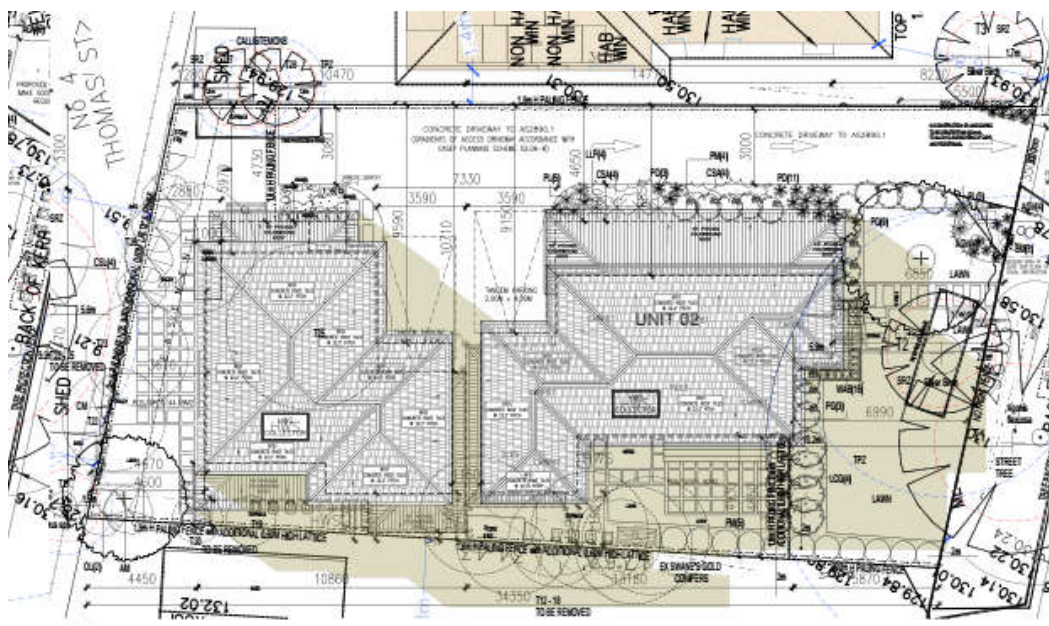
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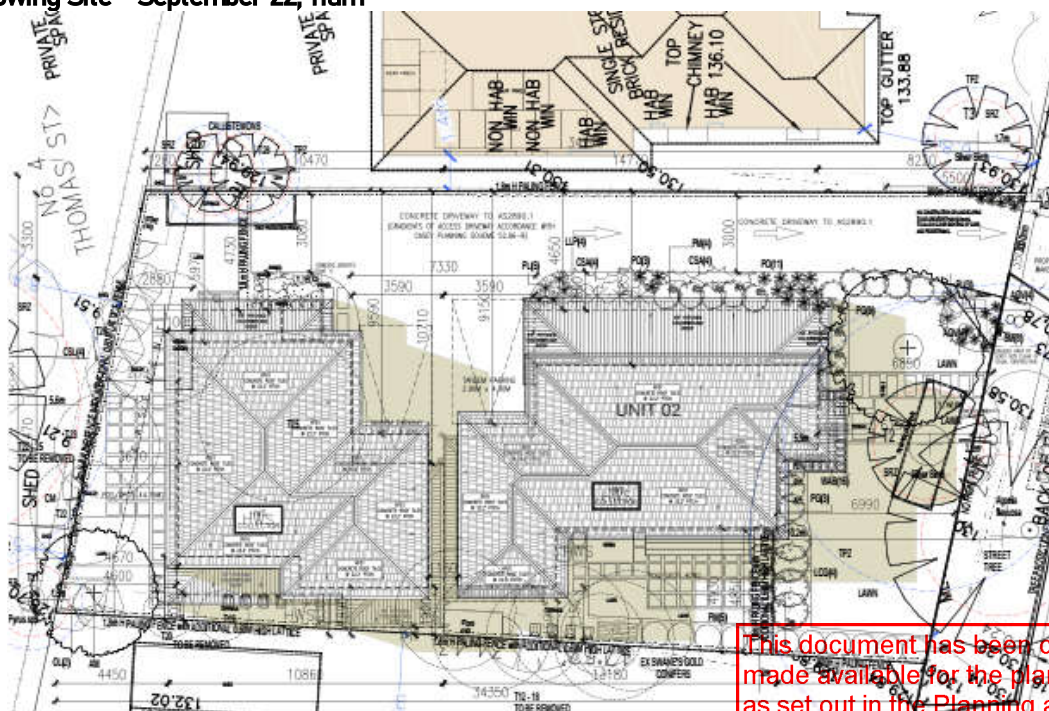
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Shadowing Site - September 22, 10am



Shadowing Site - September 22, 11am



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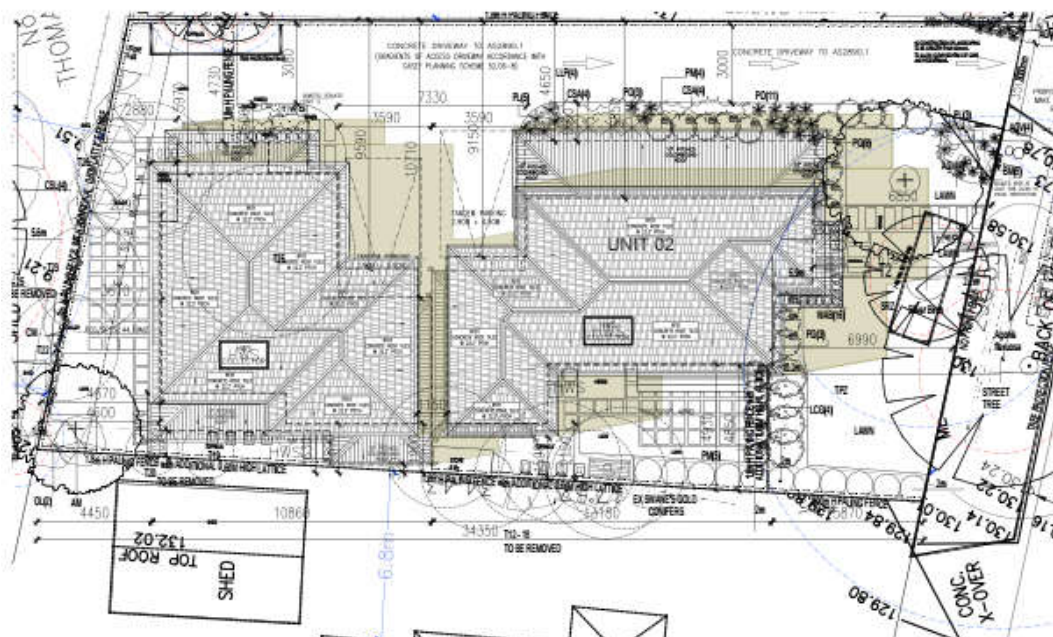
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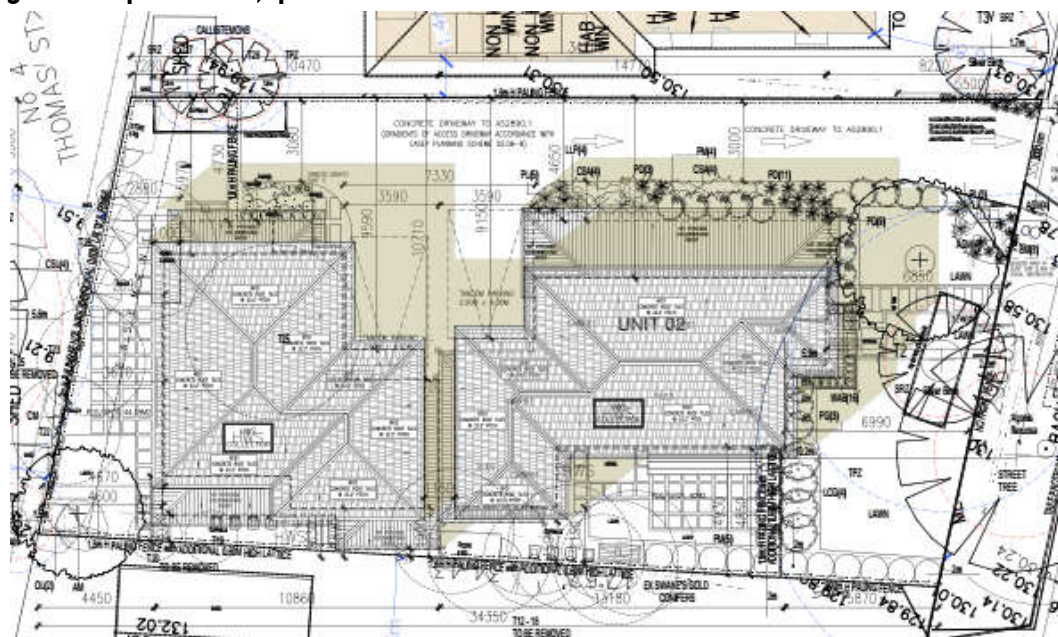
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Shadowing Site - September 22, 12nn



Shadowing Site - September 22, 1pm



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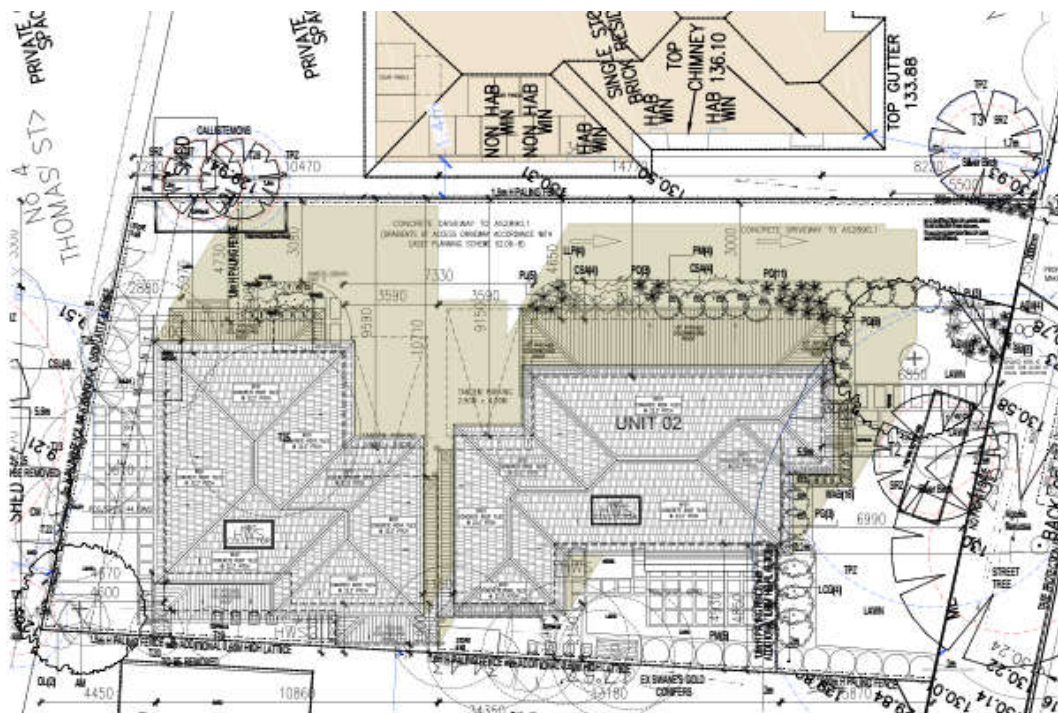
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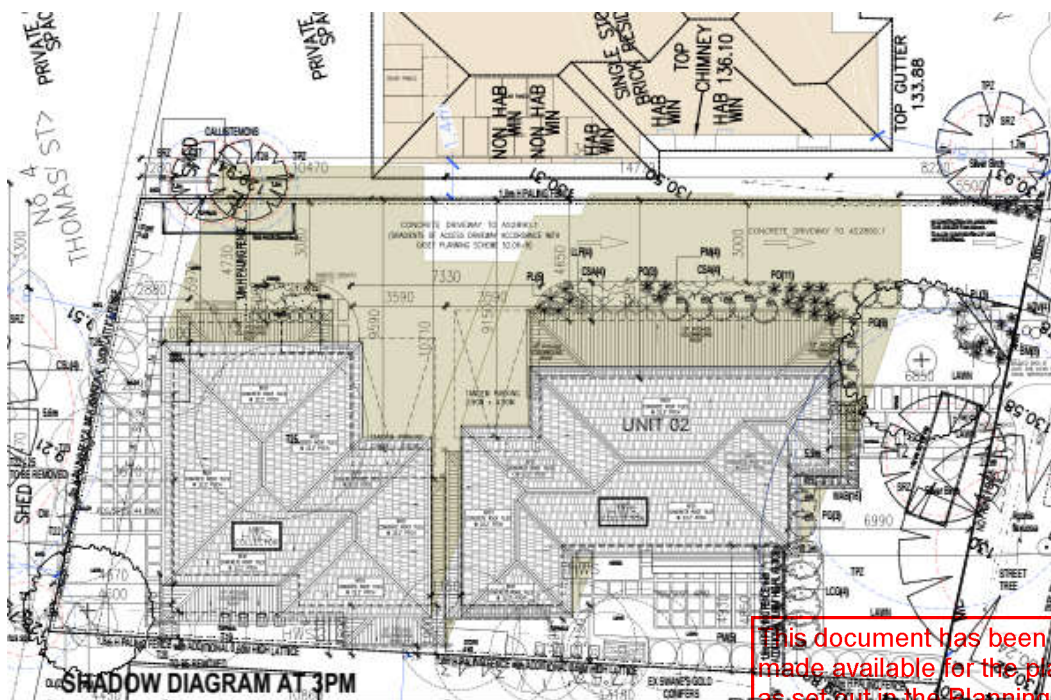
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Shadowing Site - September 22, 2pm



Shadowing Site - September 22, 3pm



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## 55.03-6 Open Space Objective

To integrate the layout of development with any public and communal open space provided in or adjacent to the development.

### Standard B11

If any public or communal open space is provided on site, it should:

- Be substantially fronted by dwellings, where appropriate.
- Provide outlook for as many dwellings as practicable.
- Be designed to protect any natural features on the site.
- Be accessible and useable.

### Decision Guidelines

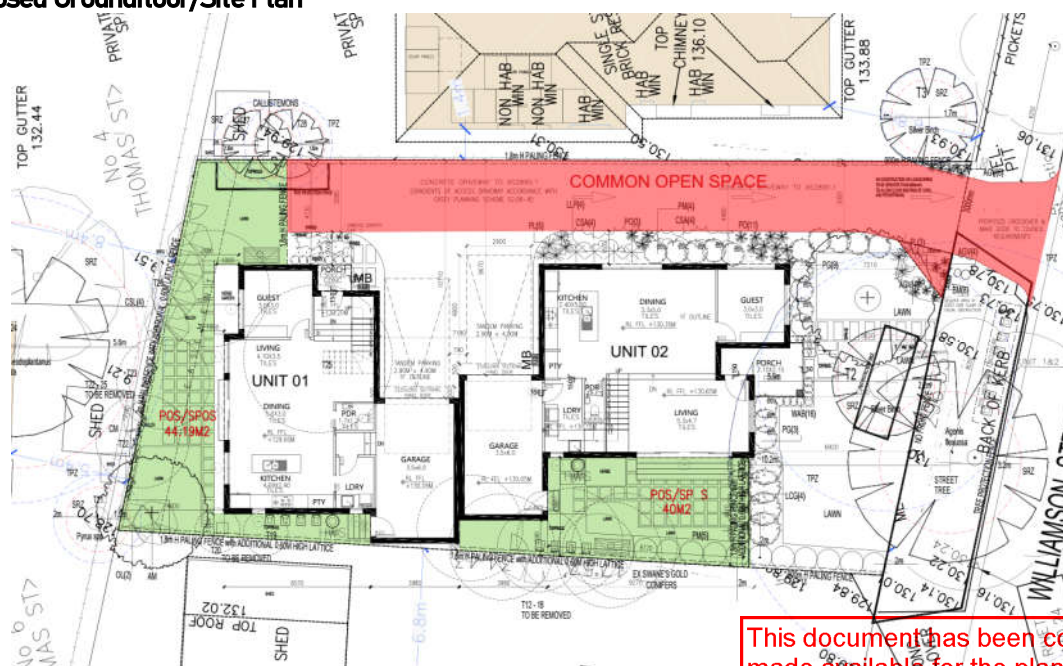
Before deciding on an application, the responsible authority must consider:

- Any relevant plan or policy for open space in the Municipal Planning Strategy and the Planning Policy Framework.
- The design response.

### Design Response

*This standard is considered, driveway access is the communal open space for this subject site. As the garages of both dwelling units is located at center of the proposed development. Each dwelling also has its own POS and SPOS.*

### Proposed Groundfloor/Site Plan



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## 55.03-7 Safety Objective

To ensure the layout of development provides for the safety and security of residents and property.

### Standard B12

- Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways.
- Planting which creates unsafe spaces along streets and accessways should be avoided.
- Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways.
- Private spaces within developments should be protected from inappropriate use as public thoroughfares.

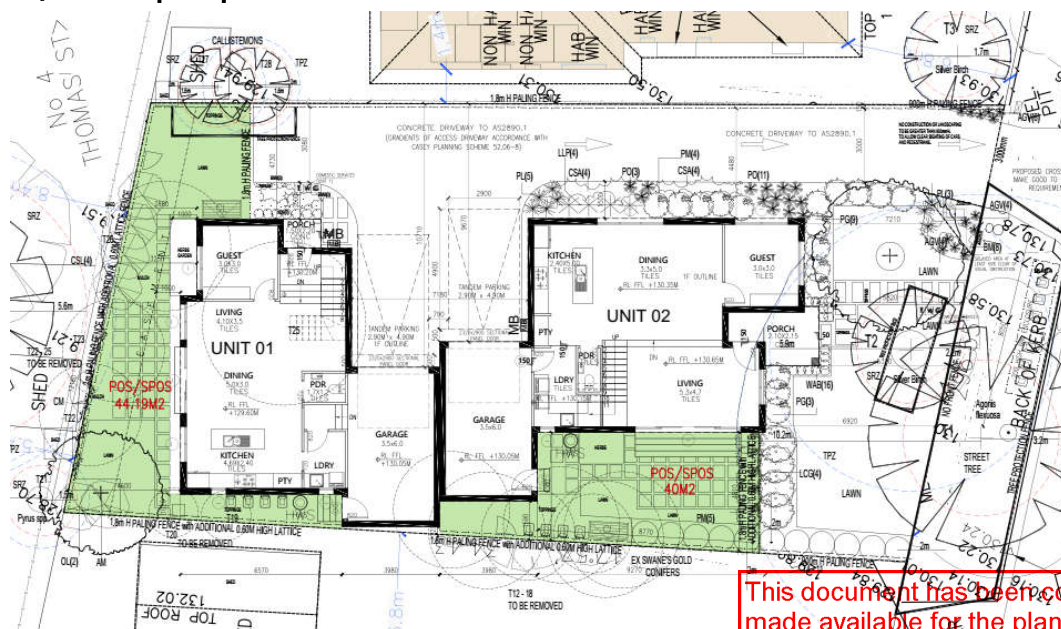
### Decision Guideline

Before deciding on an application, the responsible authority must consider the design response.

### Design Response

*This standard has been considered in this application. SPOS/POS are provided in the two dwelling units (green highlights). Entrances to dwellings are not obscured or isolated from the street and internal accessways. Each dwelling unit has its own Car Parking spaces with one accessway, the existing crossover was reconstructed for standard requirement (Orange highlights for dwelling carparking spaces and red highlights for accessway). The car parking spaces and internal accessways are provided with good lighting, visibility and surveillance.*

### Secluded/Private Open Spaces



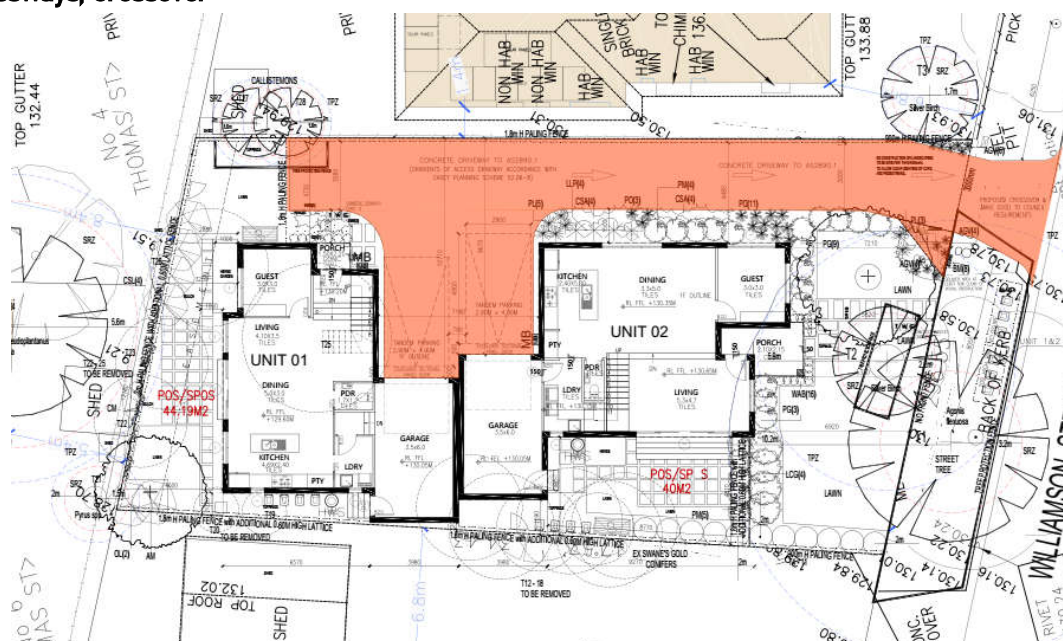
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## Accessways, Crossover



## 55.03-8 Landscaping Objectives

To encourage development that respects the landscape character of the neighbourhood.

To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.

To provide appropriate landscaping.

To encourage the retention of mature vegetation on the site.

### Standard B13

The landscape layout and design should:

- Protect any predominant landscape features of the neighbourhood.
- Take into account the soil type and drainage patterns of the site.
- Allow for intended vegetation growth and structural protection of buildings.
- In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals.
- Provide a safe, attractive and functional environment for residents.
- Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood.
- Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.
- The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.
- Development should meet any additional landscape requirements specified in a schedule to the zone.

### Decision Guidelines

Before deciding on an application, the responsible authority must consider:

- Any relevant neighbourhood character objective, policy or statement set out in this scheme.

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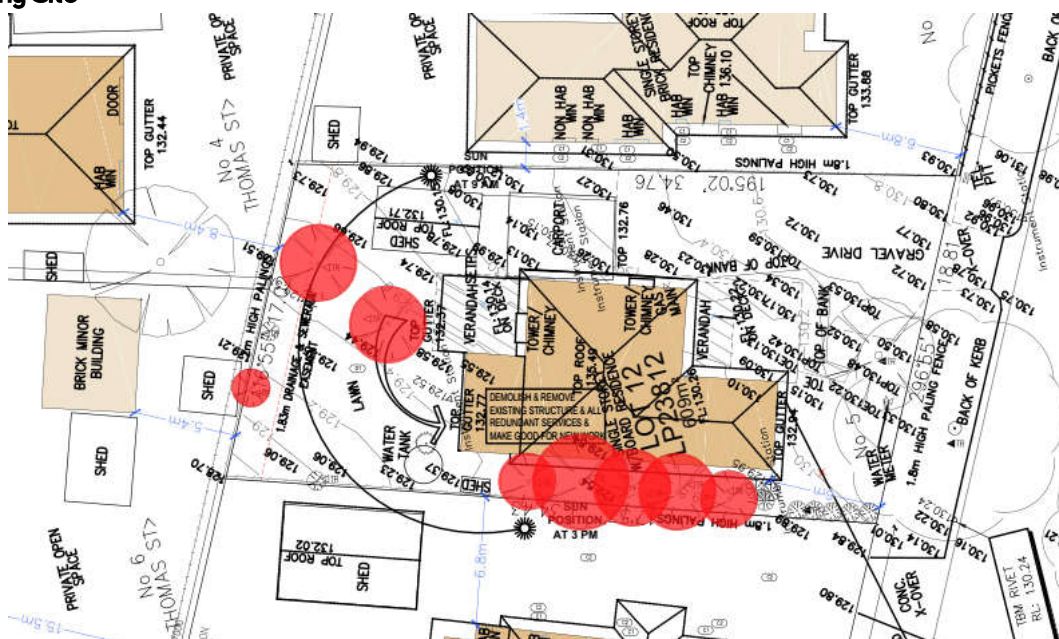
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- Any relevant plan or policy for landscape design in the Municipal Planning Strategy and the Planning Policy Framework.
- The design response.
- The location and size of gardens and the predominant plant types in the neighbourhood.
- The health of any trees to be removed.
- Whether a tree was removed to gain a development advantage.

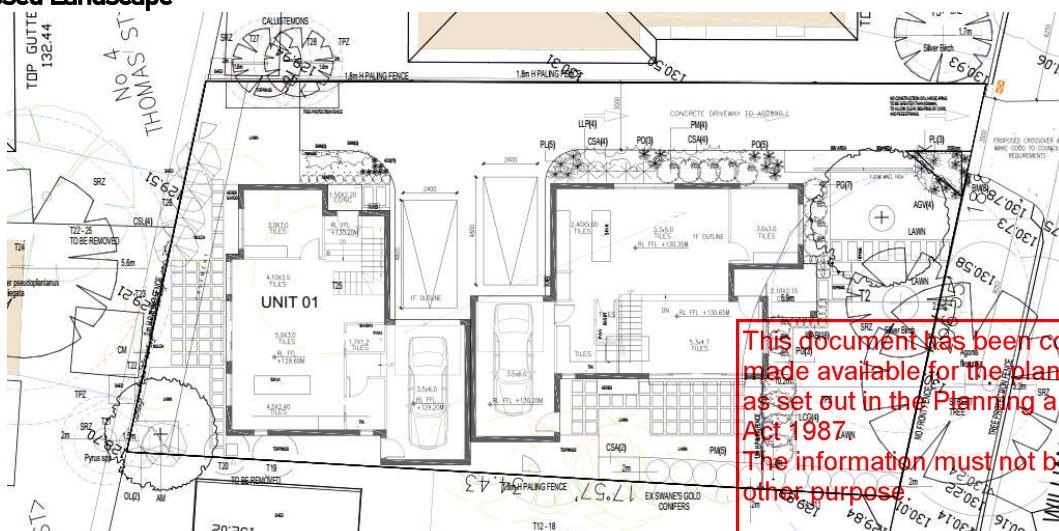
### Design Response

*This standard has been considered in this application. Several trees will be removed. The proposed development considered within and outside the subject site not disrupt any existing trees. Proposed landscape plan, considered additional vegetation and landscape requirements specified.*

### Existing Site



### Proposed Landscape



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## 55.03-9 Access Objective

To ensure the number and design of vehicle crossovers respects the neighbourhood character.

### Standard B14

The width of accessways or car spaces should not exceed:

- 33 per cent of the street frontage, or
- if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage.
- No more than one single-width crossover should be provided for each dwelling fronting a street.
- The location of crossovers should maximise the retention of on-street car parking spaces.
- The number of access points to a road in a Road Zone should be minimised.
- Developments must provide for access for service, emergency and delivery vehicles.

### Decision Guidelines

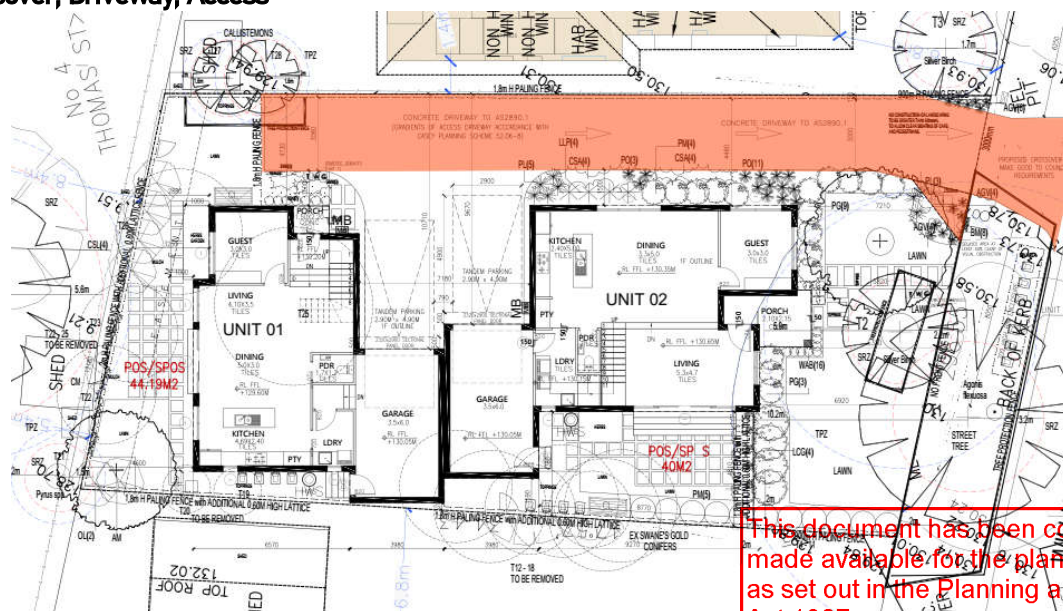
Before deciding on an application, the responsible authority must consider:

- The design response.
- The impact on the neighbourhood character.
- The reduction of on-street car parking spaces.
- The effect on any significant vegetation on the site and footpath.

### Design Response

*This standard is considered in this development. This development is designed to ensure the number and design of vehicle crossovers respects the neighbourhood character. There is one (1) crossover (red highlights) in this development, which is directly linked to Williamson Street, the existing crossover which will be reconstructed according to council's requirements. The proposal will have garage for Unit-1 and Unit-2, with 3.50 x 6.00 size with both tandem parking of 2.40x4.80m size (orange highlights).*

### Crossover, Driveway, Access



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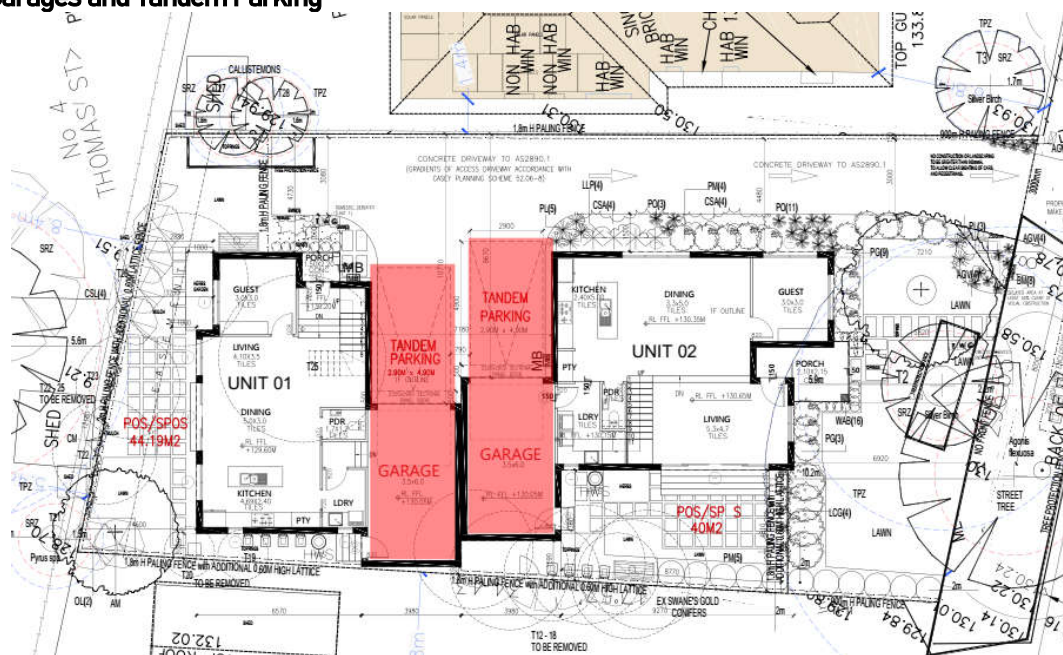
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## Car Garages and Tandem Parking



## 55.03-10 Parking Location Objectives

- To provide convenient parking for resident and visitor vehicles.
- To protect residents from vehicular noise within developments.

### Standard B15

Car parking facilities should:

- Be reasonably close and convenient to dwellings and residential buildings.
- Be secure.
- Be well ventilated if enclosed.
- Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.

### Decision Guideline

Before deciding on an application, the responsible authority must consider the design response.

### Design Response

*This standard is considered in this proposal. This development is architecturally designed to provide convenient parking for residents (orange highlights) and protect the residents from vehicular noise within the development. This development is architecturally designed to be reasonably close, secure, well ventilated if enclosed and convenient to the dwellings.*

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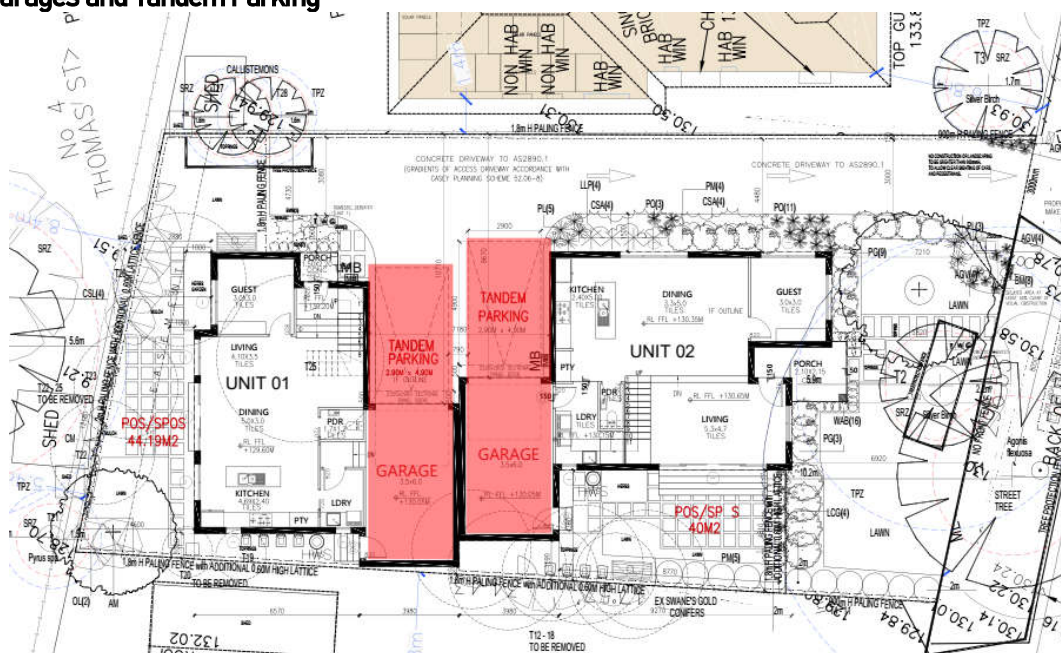
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## Car Garages and Tandem Parking



## 55.04 AMENITY IMPACTS

### 55.04-1 Side And Rear Setbacks Objective

To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.

#### Standard B17

A new building not on or within 200mm of a boundary should be set back from side or rear boundaries:

- At least the distance specified in a schedule to the zone, or
- If no distance is specified in a schedule to the zone, 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.
- Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.
- Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.

#### Diagram B1 Side and rear setbacks

#### Decision Guidelines

Before deciding on an application, the responsible authority must consider:

- Any relevant neighbourhood character objective, policy or statement set out in this scheme.
- The design response.

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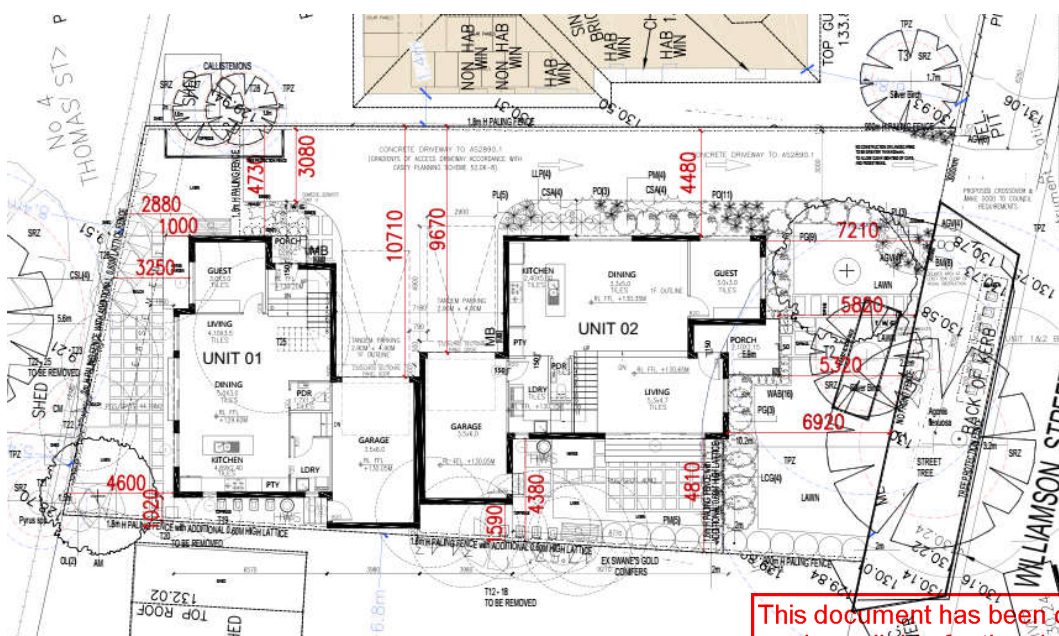
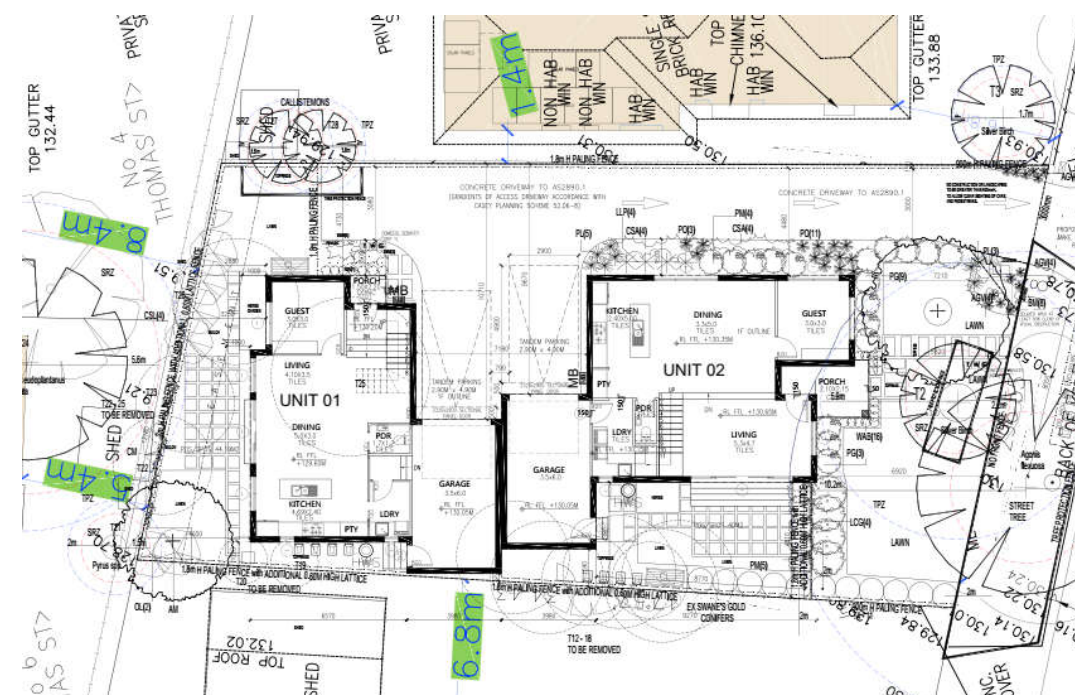
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*This standard is considered in this development. This development has been architecturally designed to ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings. The impact on the amenity of the habitable room windows and secluded private open space of existing dwellings is also considered in this application.*

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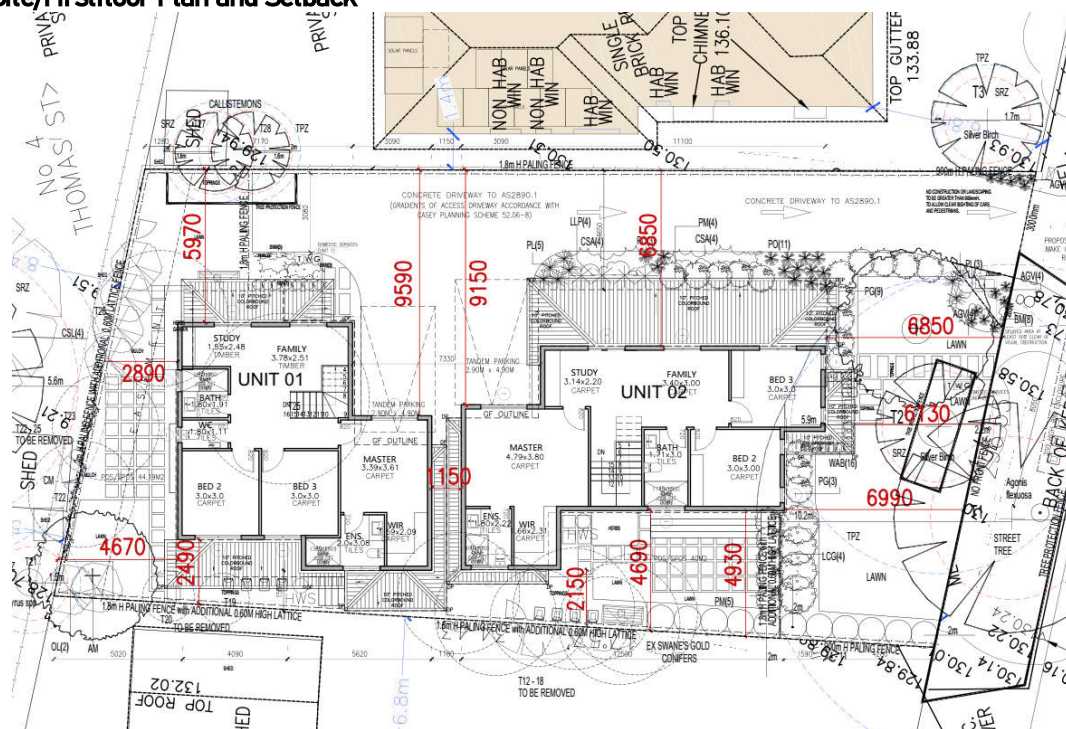


### Site/Groundfloor Plan and Setback



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## Site/Firstfloor Plan and Setback



## 55.04-2 Walls On Boundaries Objective

To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.

### Standard B18

A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary:

- For a length of more than the distance specified in a schedule to the zone; or
- If no distance is specified in a schedule to the zone, for a length of more than:
  - 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or
  - Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports whichever is the greater.
- A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary.
- A building on a boundary includes a building set back up to 200mm from a boundary.
- The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.

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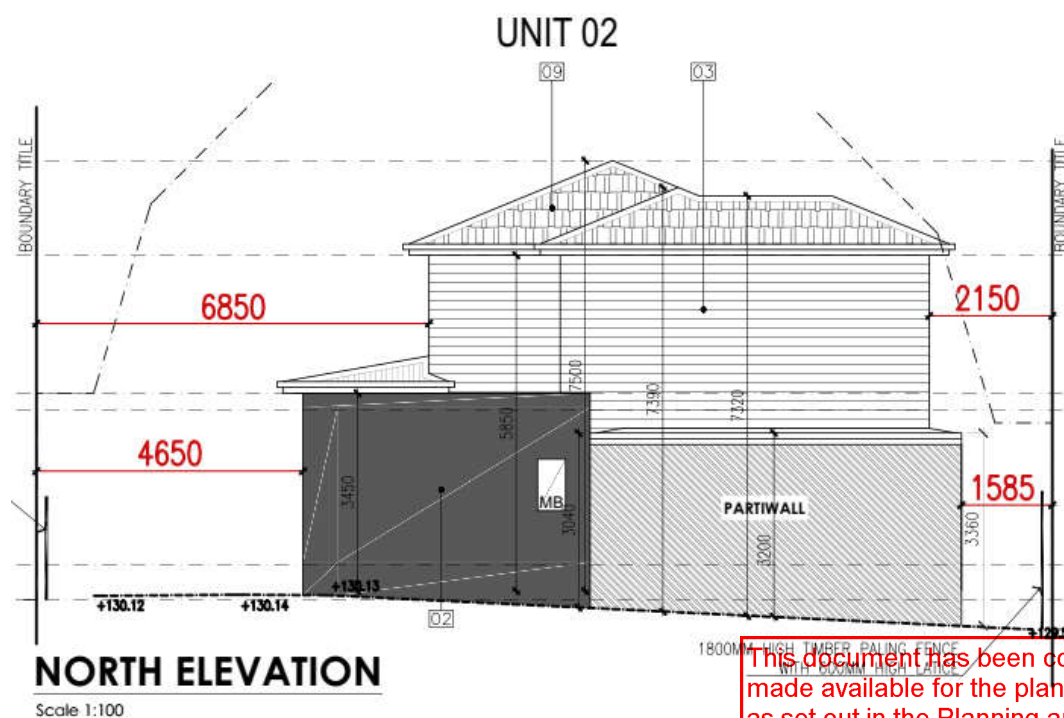
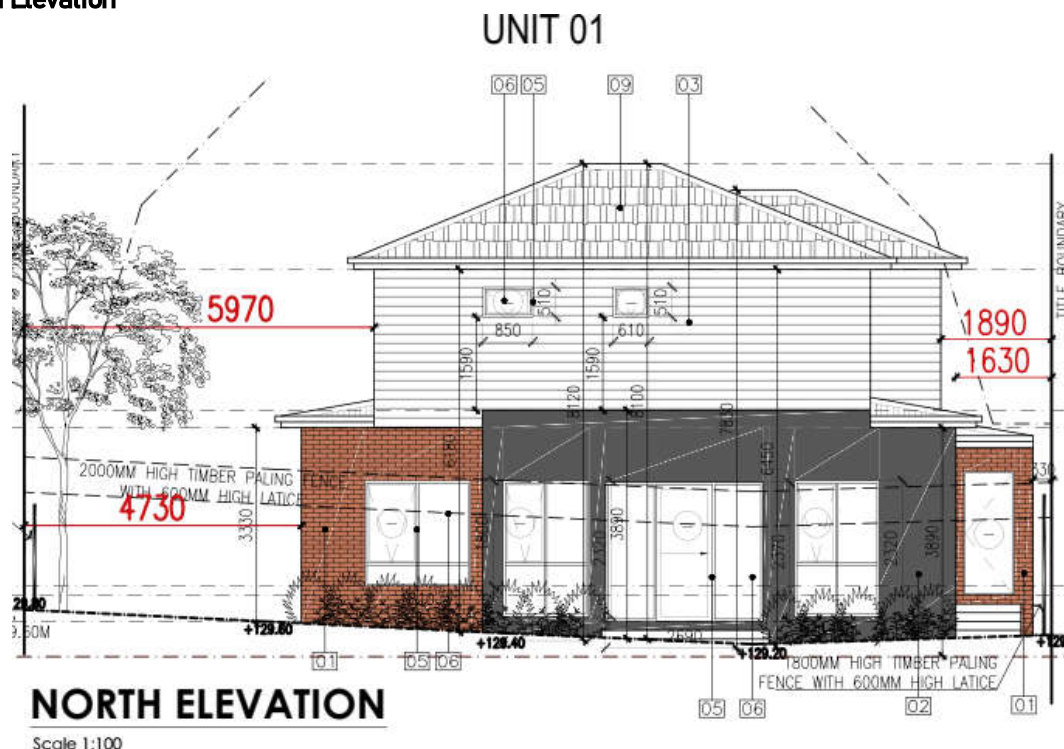
- Any relevant neighbourhood character objective, policy or statement set out in this scheme.
- The design response.
- The extent to which walls on boundaries are part of the neighbourhood character.
- The impact on the amenity of existing dwellings.
- The opportunity to minimise the length of walls on boundaries by aligning a new wall on a boundary with an existing wall on a lot of an adjoining property.
- The orientation of the boundary that the wall is being built on.
- The width of the lot.
- The extent to which the slope and retaining walls or fences reduce the effective height of the wall.
- Whether the wall abuts a side or rear lane.
- The need to increase the wall height to screen a box gutter.

*This standard is considered in this development. The walls on boundaries are designed well within the limits provided for in this standard. This architectural design is made with the aim to ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.*

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# North Elevation



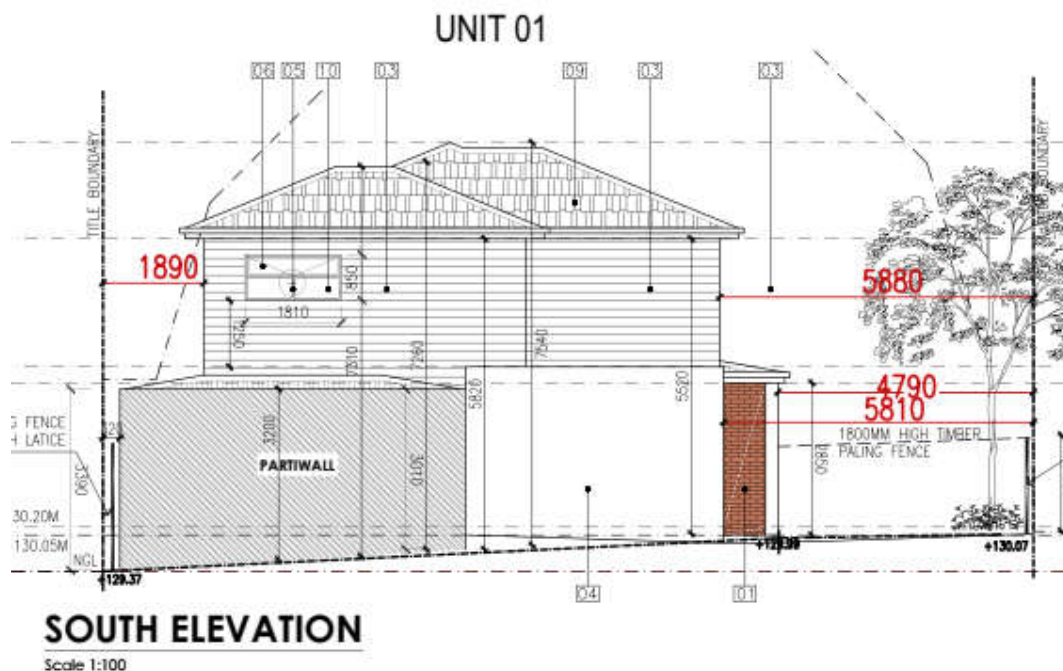
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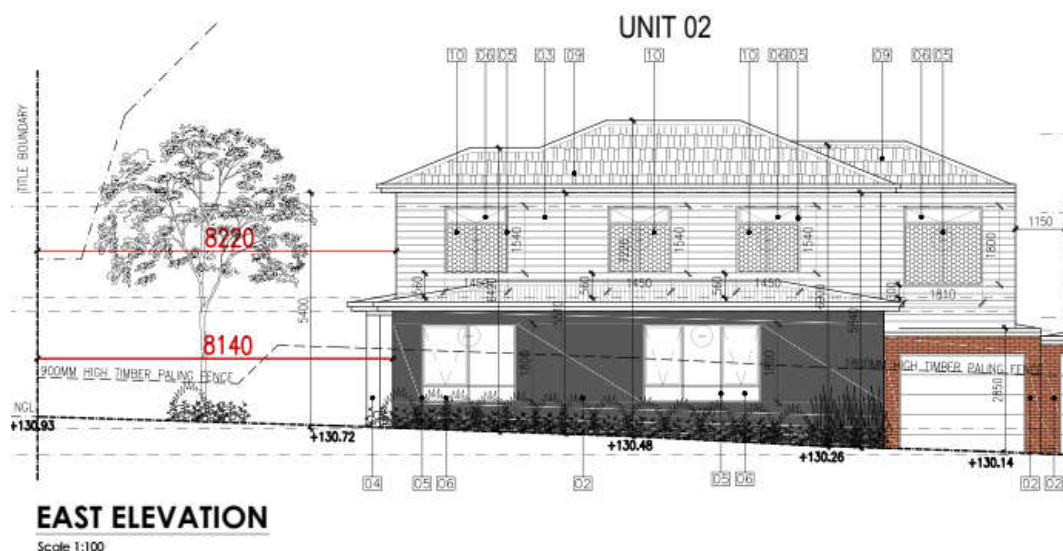
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## South Elevation



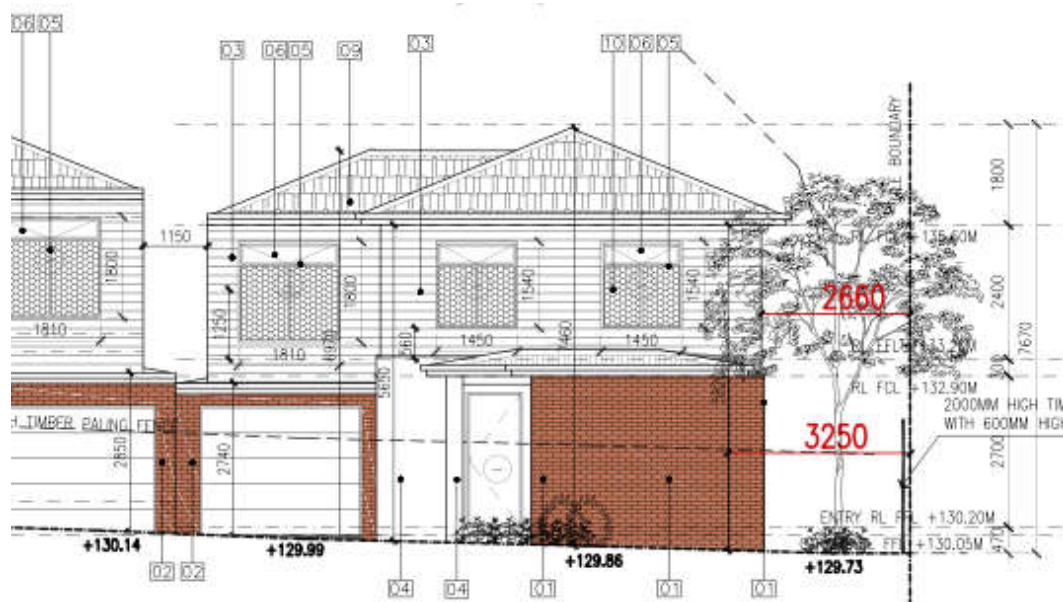
## East Elevation



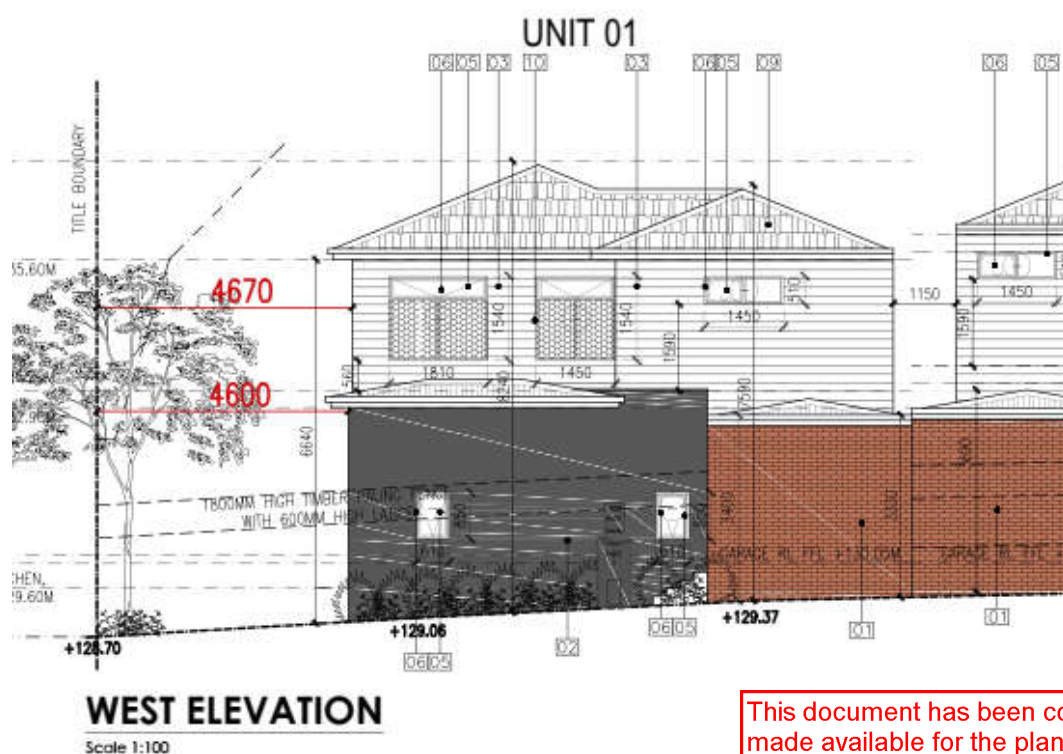
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West Elevation



**WEST ELEVATION**

Scale 1:100

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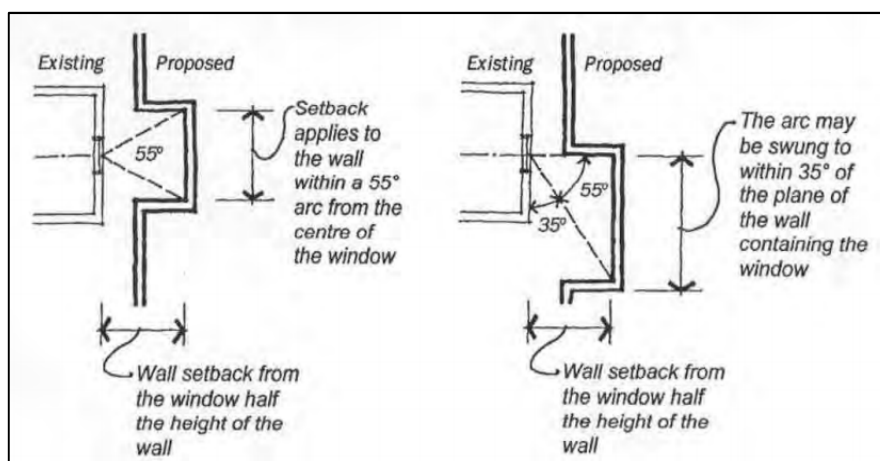
## 55.04-3 Daylight To Existing Windows Objective

To allow adequate daylight into existing habitable room windows.

### Standard B19

- Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.
- Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.
- Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.

### Diagram B2 Daylight To Existing Windows



### Decision Guidelines

Before deciding on an application, the responsible authority must consider:

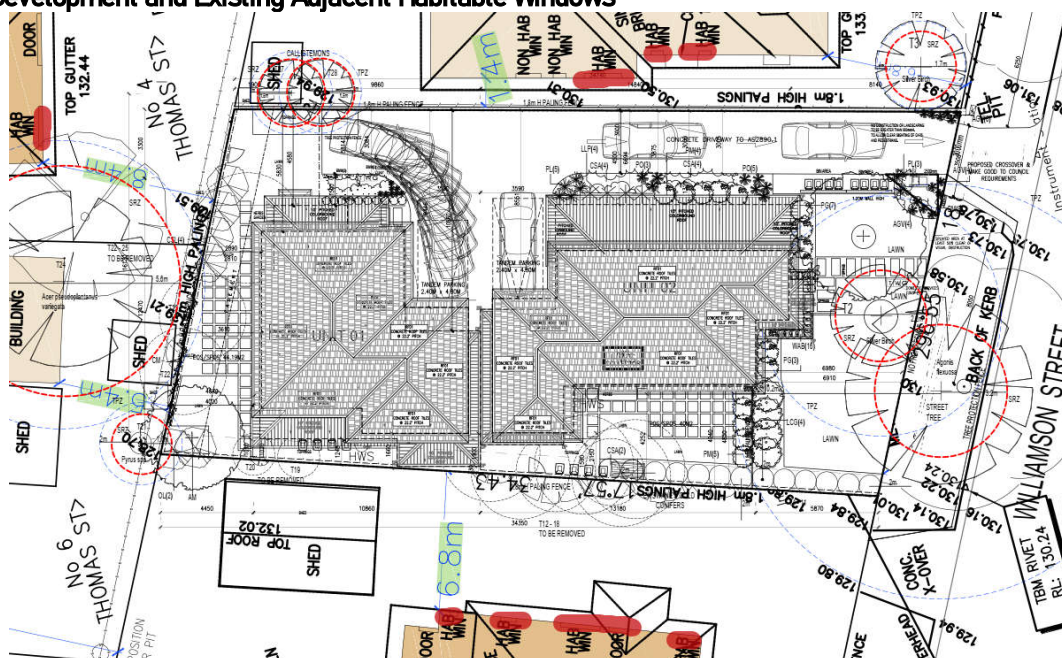
- The design response.
- The extent to which the existing dwelling has provided for reasonable daylight access to its habitable rooms through the siting and orientation of its habitable room windows.
- The impact on the amenity of existing dwellings.

### Design Response

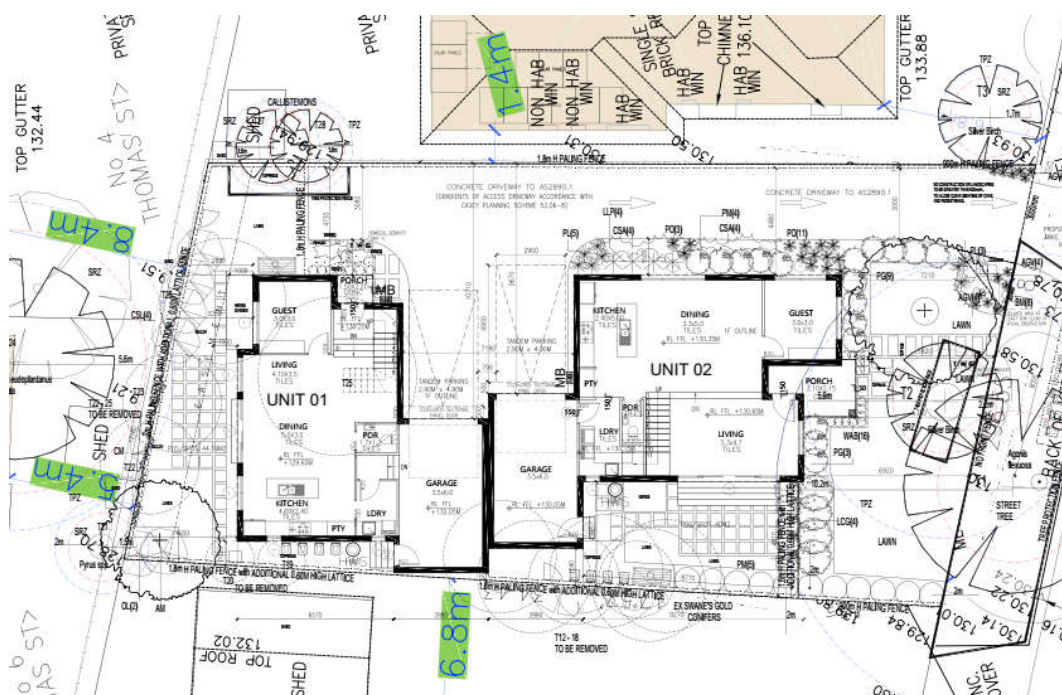
*This standard has been considered in this application. The setbacks of the adjacent properties from their own title boundaries, plus the setbacks from the title boundaries of the side available for the process as set out in the Planning and Environment Act 1987.*

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### Site/Groundfloor Plan and Setback



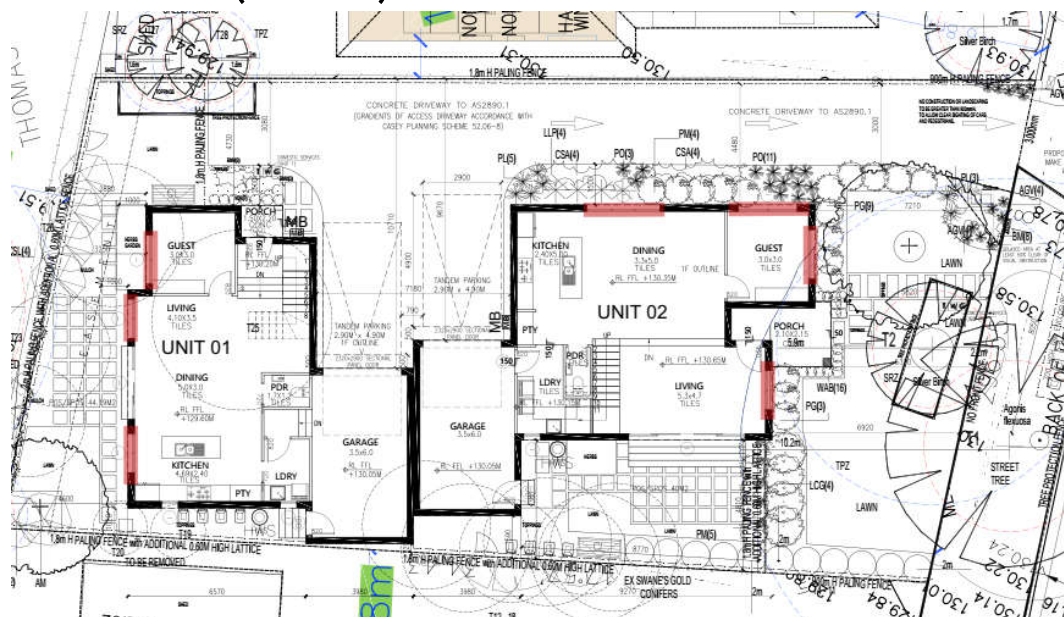
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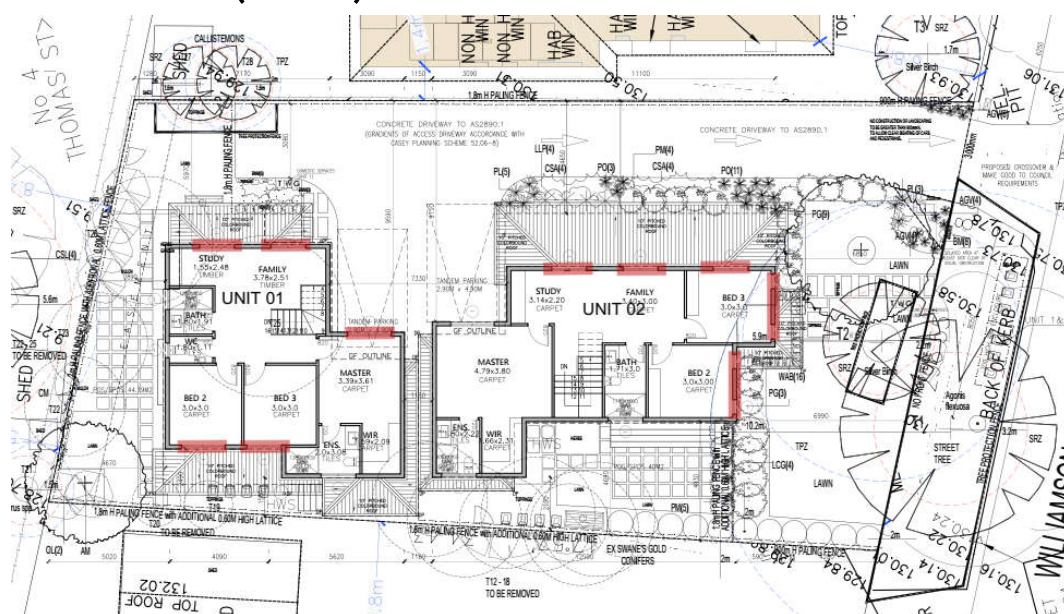
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# Habitable Room Windows (Groundfloor)



# Habitable Room Windows (FirstFloor)



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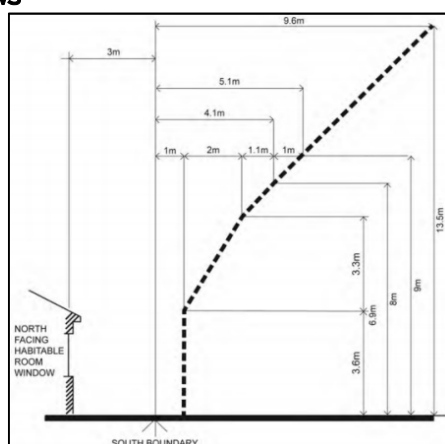
## 55.04-4 North-Facing Windows Objective

To allow adequate solar access to existing north-facing habitable room windows.

### Standard B20

If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.

Diagram B3 North-facing windows



### Decision Guidelines

Before deciding on an application, the responsible authority must consider:

- The design response.
- Existing sunlight to the north-facing habitable room window of the existing dwelling.
- The impact on the amenity of existing dwellings.

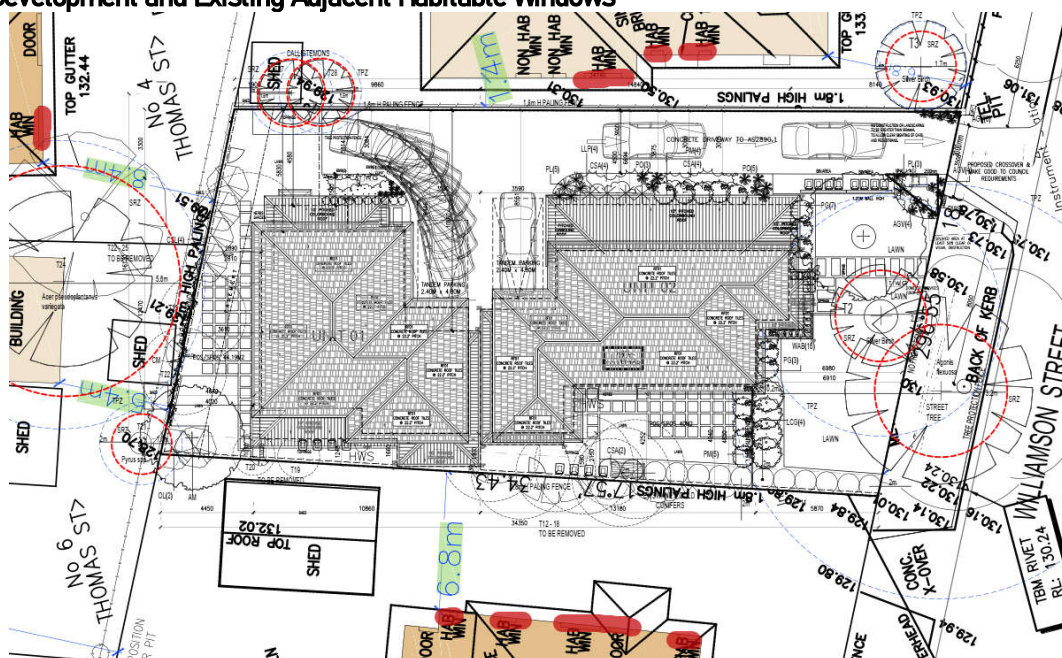
### Design Response

*This standard has been considered in this application. There are north-facing windows of the existing adjacent properties affected in any way by this development. In Unit-2 the north-facing window of the adjacent properties has a distance 13300mm in the title boundary and with minimum setback of 3230mm. While in between the two (2) units development there is Unit-1 north-facing with the distance to another unit minimum of 3080mm. Please see orientation of this property vis-a-vis the adjacent properties.*

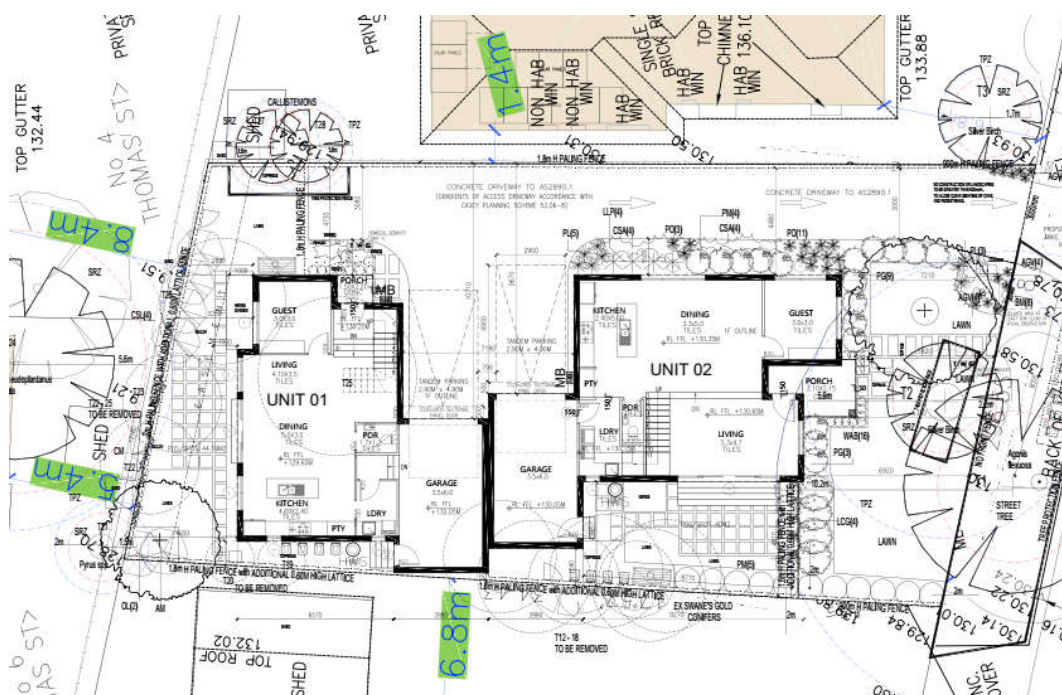
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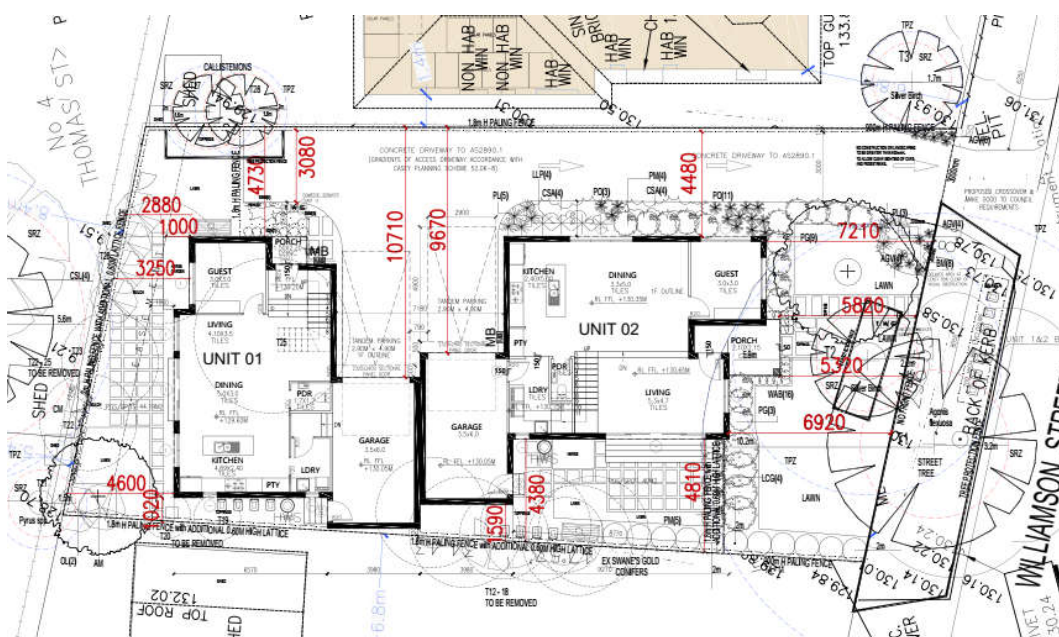


### Site/Groundfloor Plan and Setback

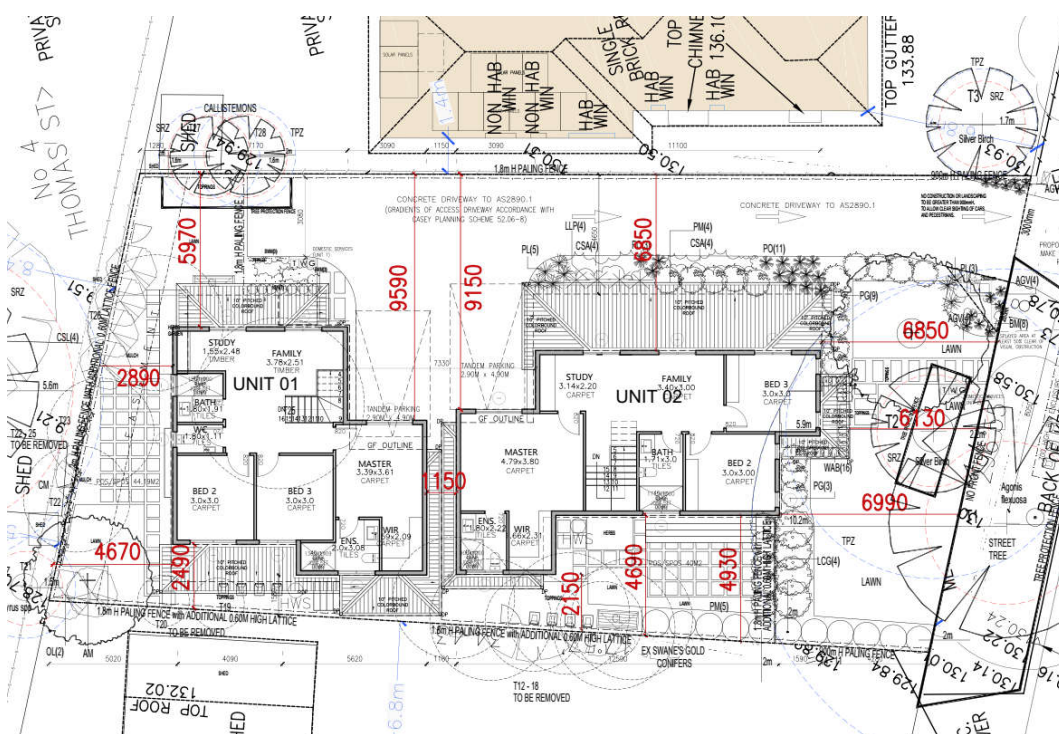


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Site/Firstfloor Plan and Setback

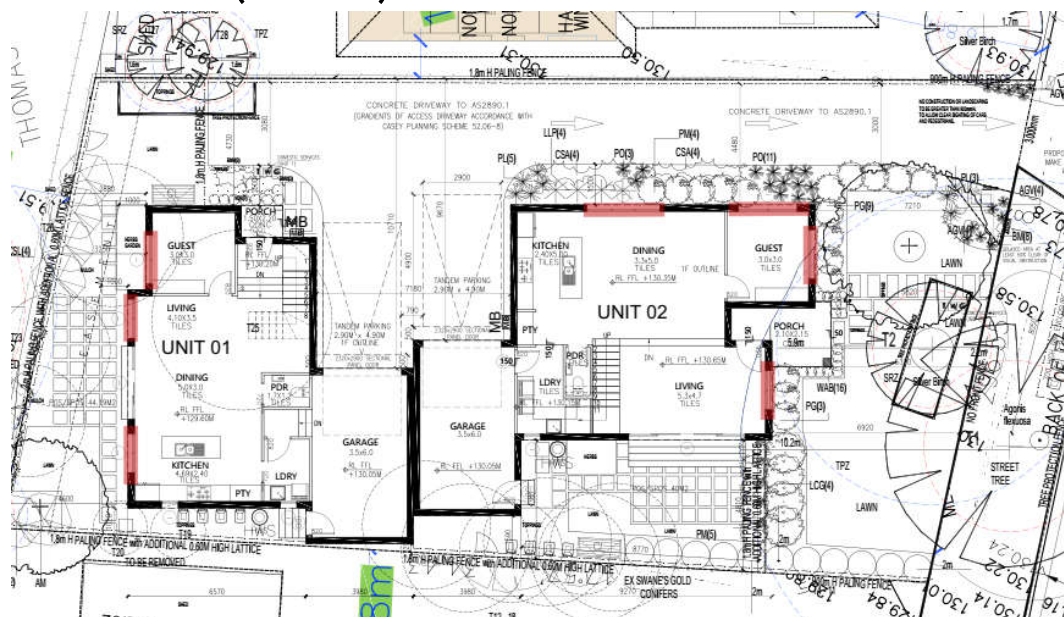


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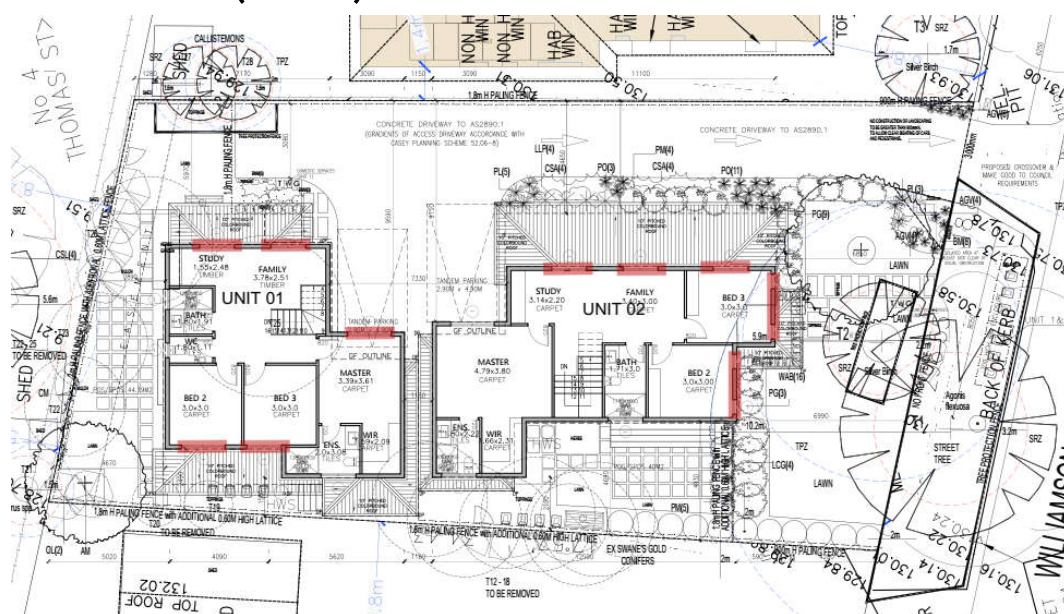
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5 Williamson Street Drouin 3818

## Habitable Room Windows (Groundfloor)



## Habitable Room Windows (FirstFloor)



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## 55.04-5 Overshadowing Open Space Objective

To ensure buildings do not significantly overshadow existing secluded private open space.

### Standard B21

Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September.

If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.

### Decision Guidelines

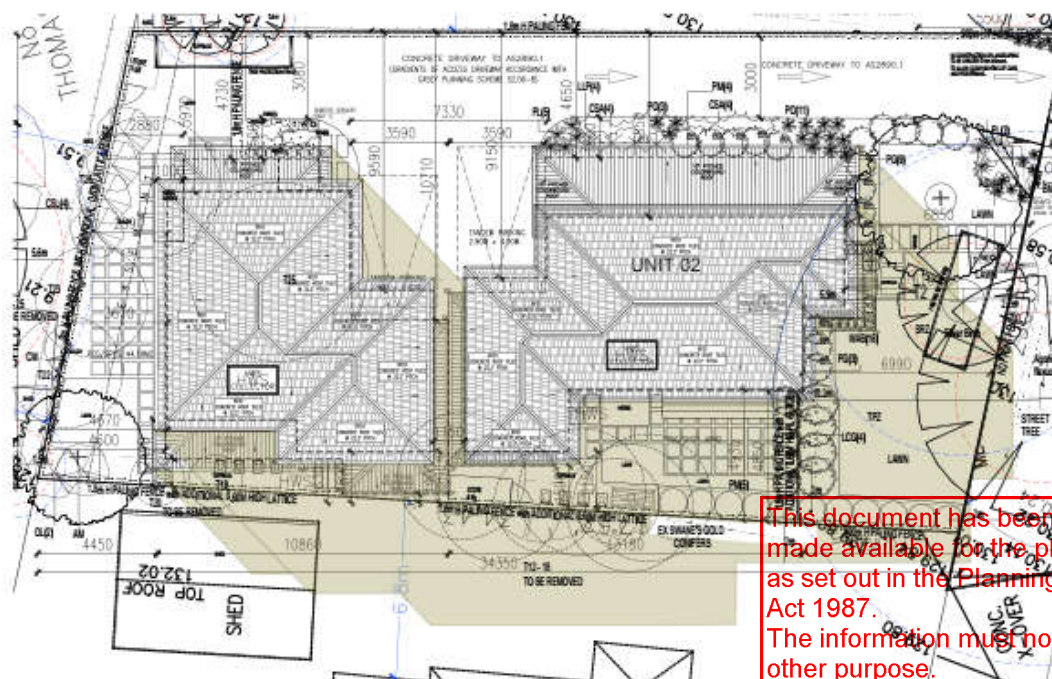
Before deciding on an application, the responsible authority must consider:

- The design response.
- The impact on the amenity of existing dwellings.
- Existing sunlight penetration to the secluded private open space of the existing dwelling.
- The time of day that sunlight will be available to the secluded private open space of the existing dwelling.
- The effect of a reduction in sunlight on the existing use of the existing secluded private open space.

### Design Response

*This standard has been considered in this application. This development has been carefully designed to make sure that the existing sunlight penetration to the secluded private open space of the adjoining existing dwellings and between the developmental units are not in any way reduced.*

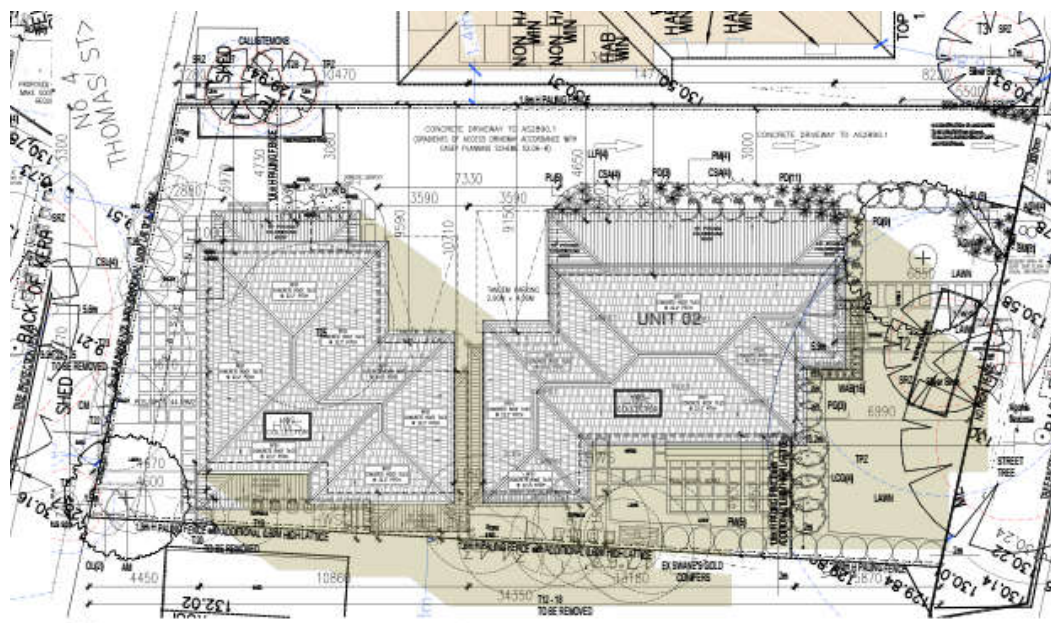
**Shadowing Site - September 22, 9am**



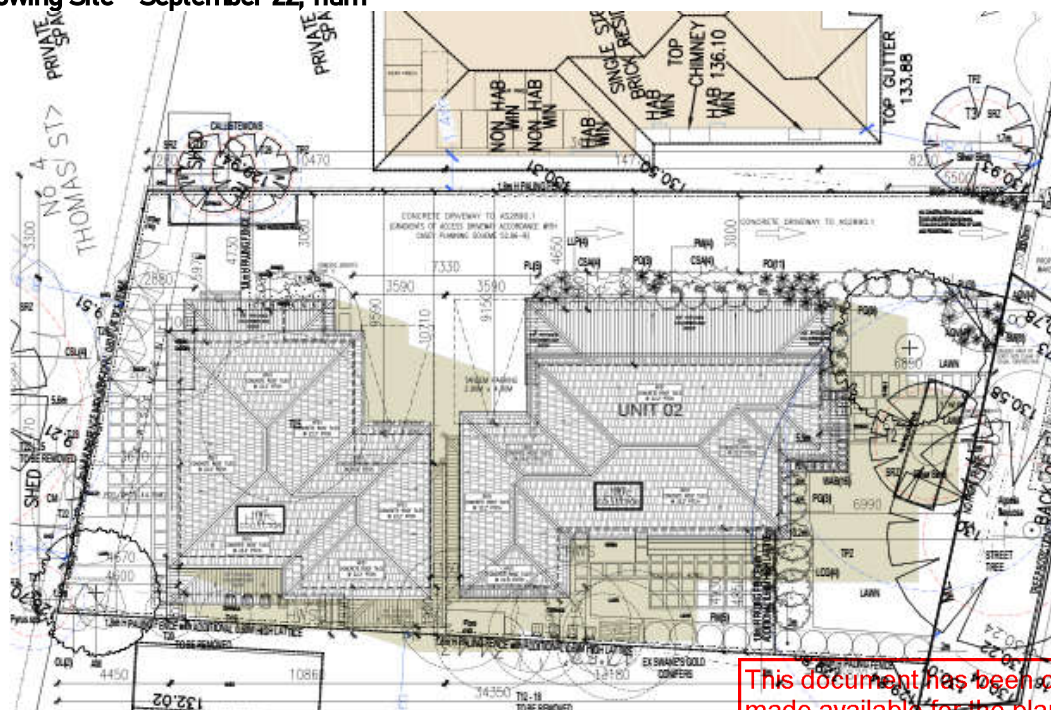
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Shadowing Site - September 22, 10am



Shadowing Site - September 22, 11am



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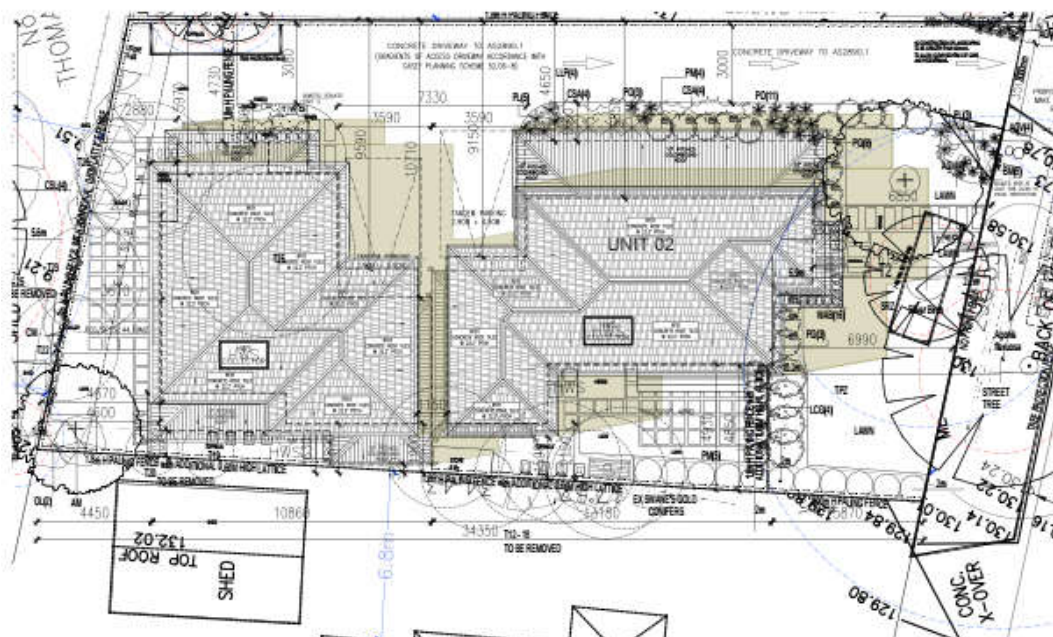
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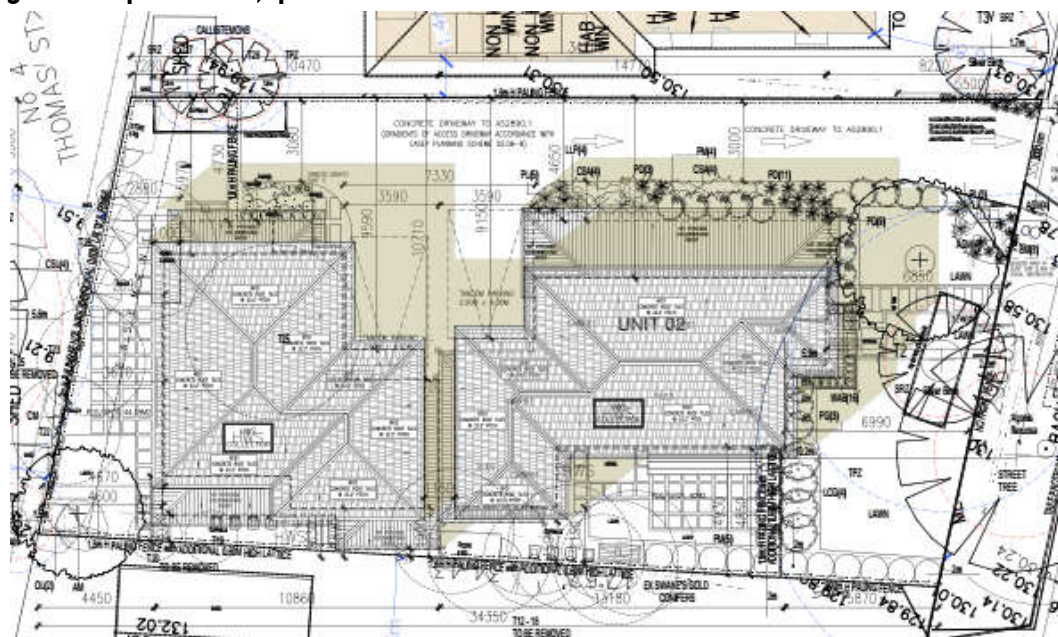
e: info@mbds.com.au . w: mbdesignstudio.com.au t: 03 90168239



Shadowing Site - September 22, 12nn



Shadowing Site - September 22, 1pm



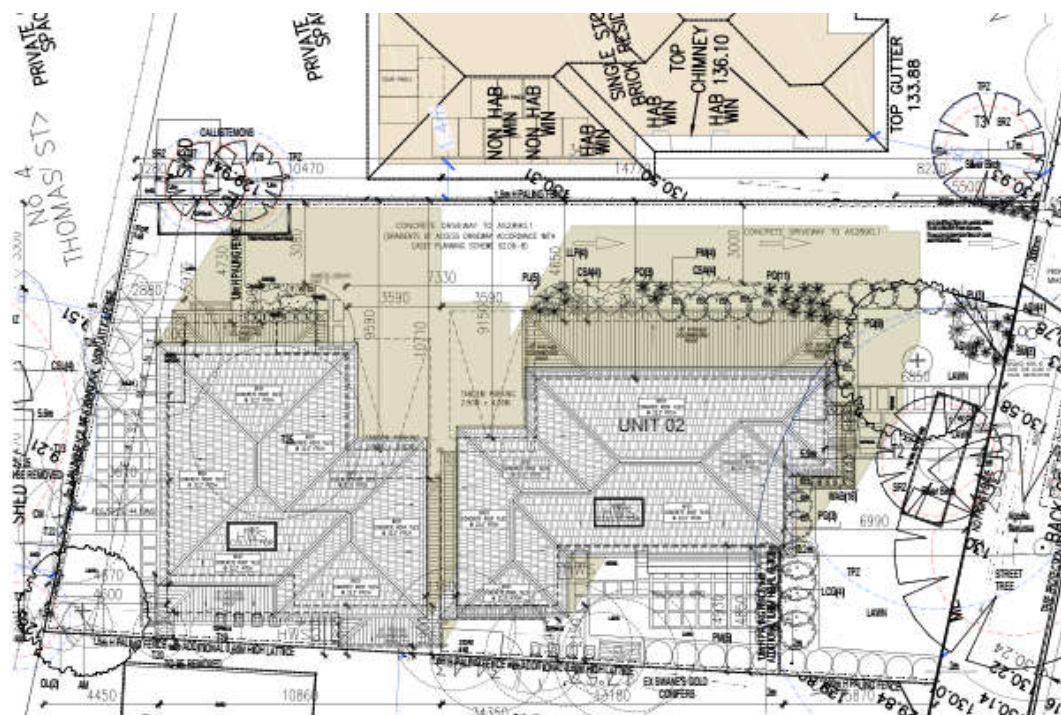
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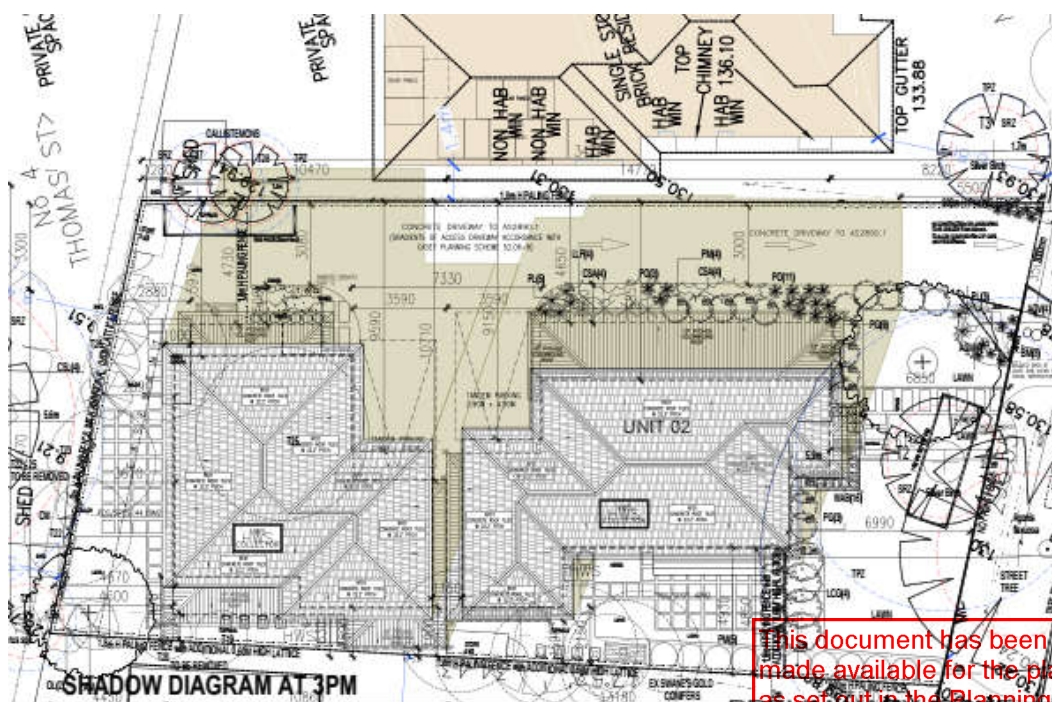
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# Shadowing Site - September 22, 2pm



# Shadowing Site - September 22, 3pm



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## 55.04-6 Overlooking Objective

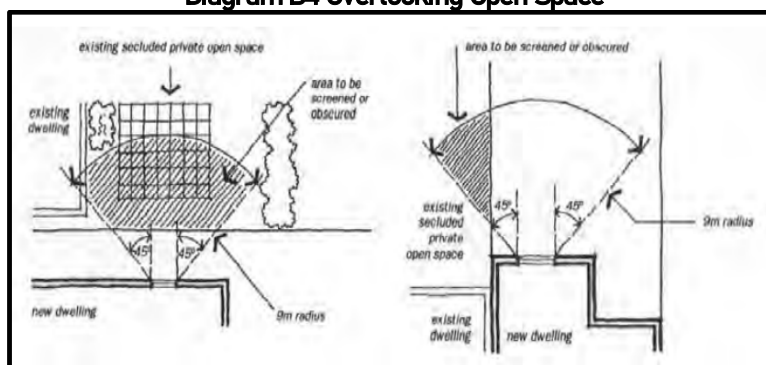
To limit views into existing secluded private open space and habitable room windows.

### Standard B22

- A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio.
- Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.
- A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either:
  - Offset a minimum of 1.5 metres from the edge of one window to the edge of the other.
  - Have sill heights of at least 1.7 metres above floor level.
  - Have fixed, obscure glazing in any part of the window below 1.7 metre above floor level.
  - Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent.
  - Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.
- Screens used to obscure a view should be:
  - Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels.
  - Permanent, fixed and durable.
  - Designed and coloured to blend in with the development.

This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.

Diagram B4 Overlooking Open Space



### Decision Guidelines

Before deciding on an application, the responsible authority must consider:

- The design response.
- The impact on the amenity of the secluded private open space or habitable room window.
- The existing extent of overlooking into the secluded private open space and habitable room windows of existing dwellings.
- The internal daylight to and amenity of the proposed dwelling or residential building.

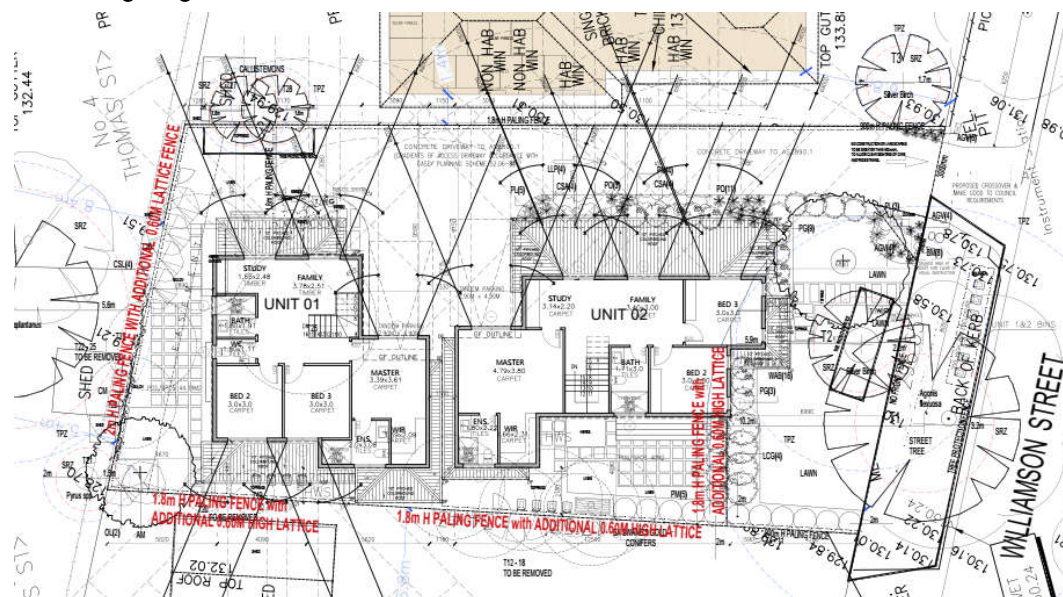
## Design Response

This standard has been considered in this application. Windows on the Firstfloor on both units of the proposed dwelling units surrounding this development are directly facing the habitable room windows of the adjoining properties, if there will be, the proposed considered required distance, approach and setback to considered this application standard.

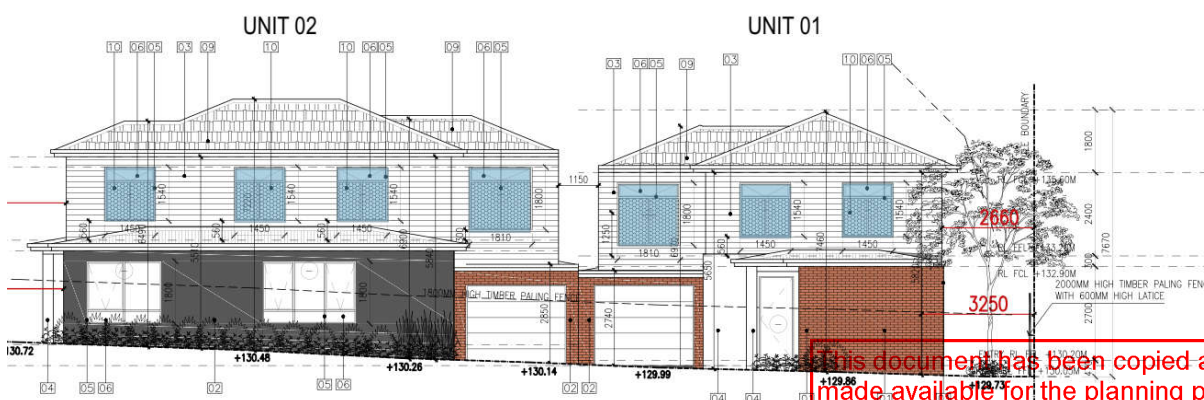
With this standard, the proposed development appropriately responded placing windows to be screened and will have fixed obscure glazing by no more than 25% transparent and non-openable to a height of 1.70 metres above finished floor level.

Secluded private open space both the proposed dwelling and existing have an impact of overlooking due the AHD level, to avoid overlooking, the proposed secluded private open spaces of both dwelling have additional of 0.60m high lattice on the proposed pailing fences.

## Site Overlooking Diagram



## East Elevation



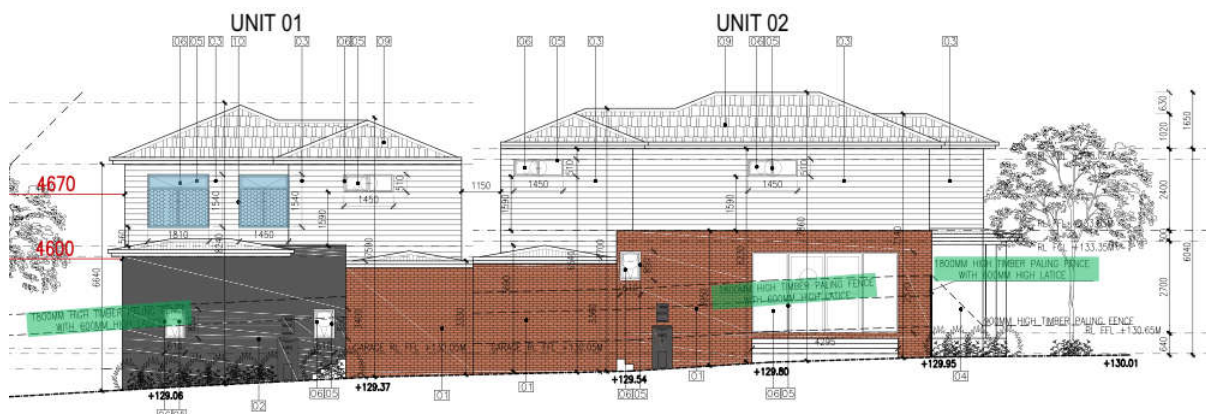
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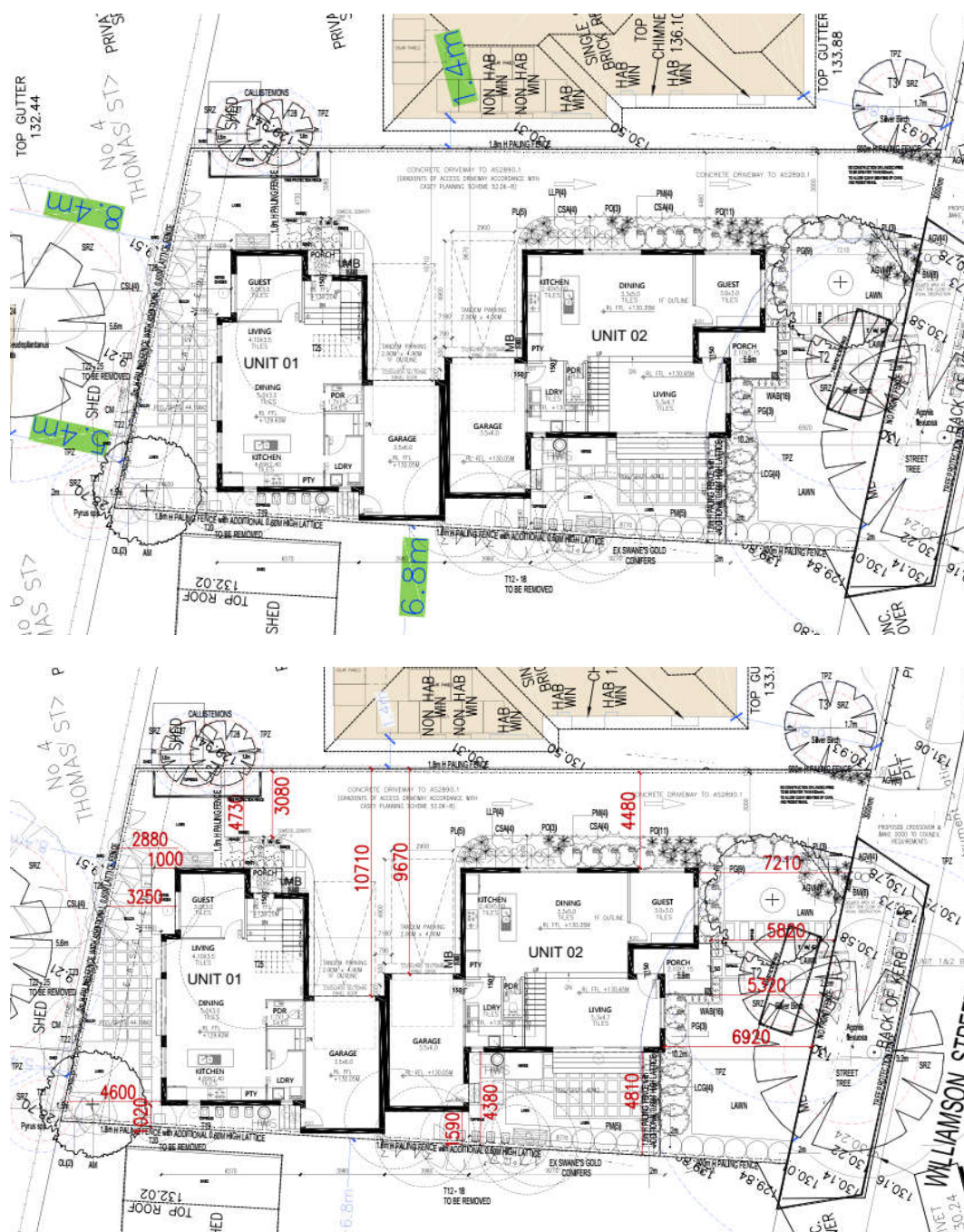
### West Elevation



## ELEVATION

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# Site/Groundfloor Plan and Setback

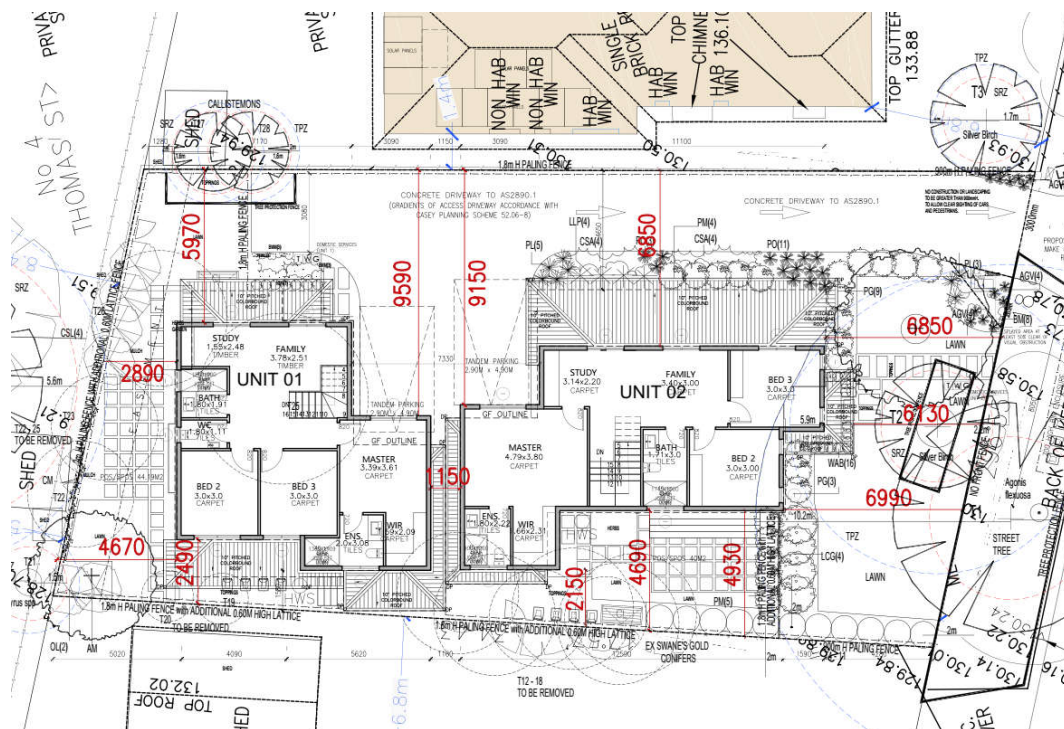


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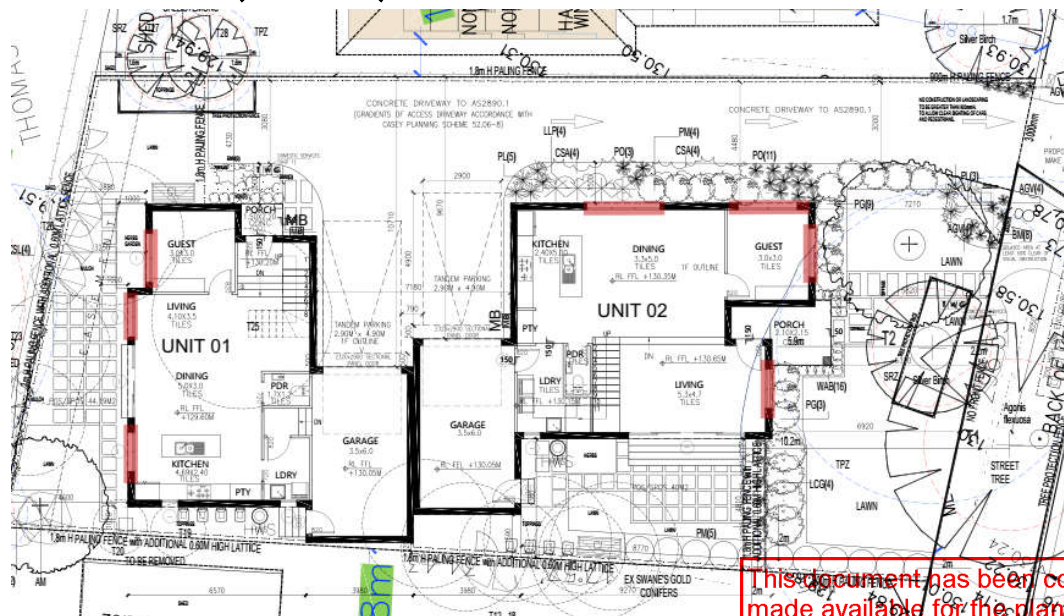
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## Site/Firstfloor Plan



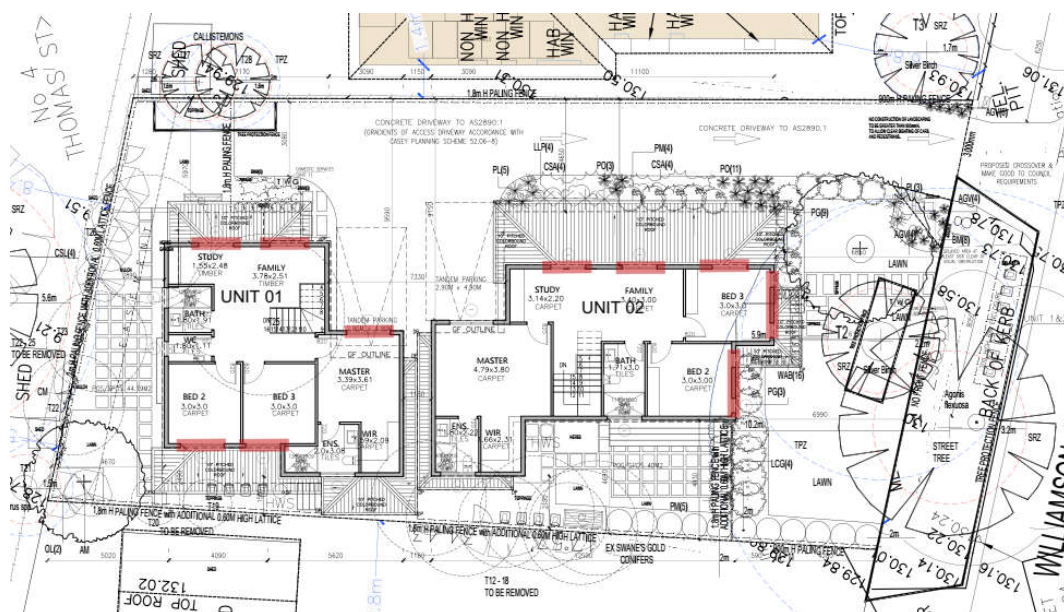
## Habitable Room Windows (Groundfloor)



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## Habitable Room Windows (FirstFloor)



## 55.04-7 Internal Views Objective

To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.

### Standard B23

Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.

### Decision Guideline

Before deciding on an application, the responsible authority must consider the design response.

### Design Response

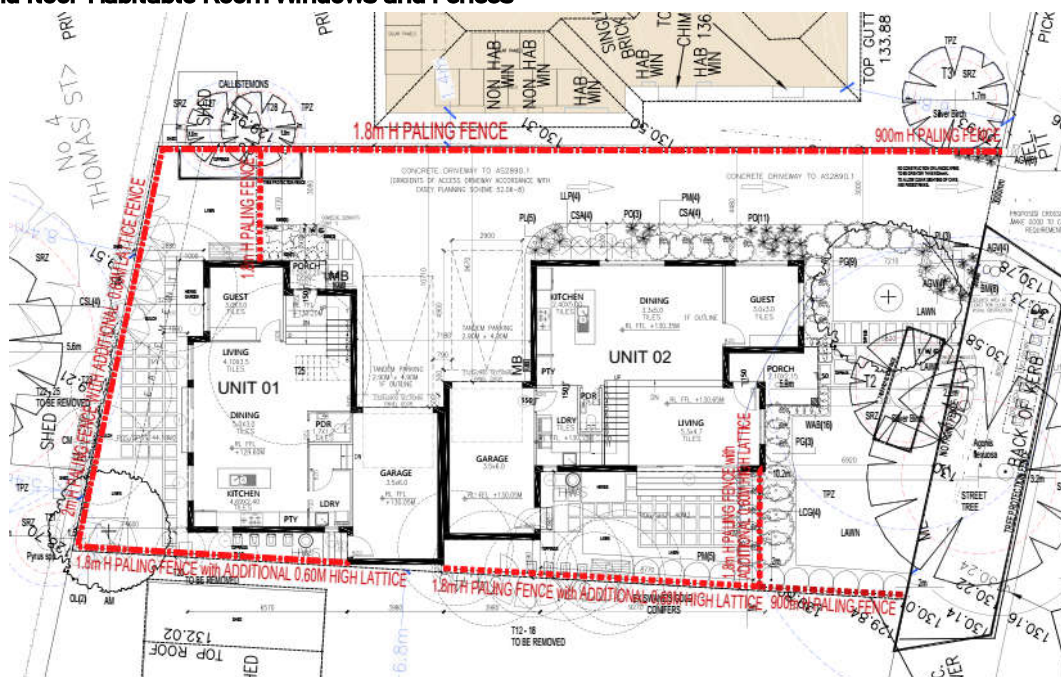
*This standard has been considered in this application. Windows of habitable rooms (orange highlights) are designed with limit views into secluded private open space as the fence boundary is provided from 1.8m to 2.0m height (purple highlight line for fences).*

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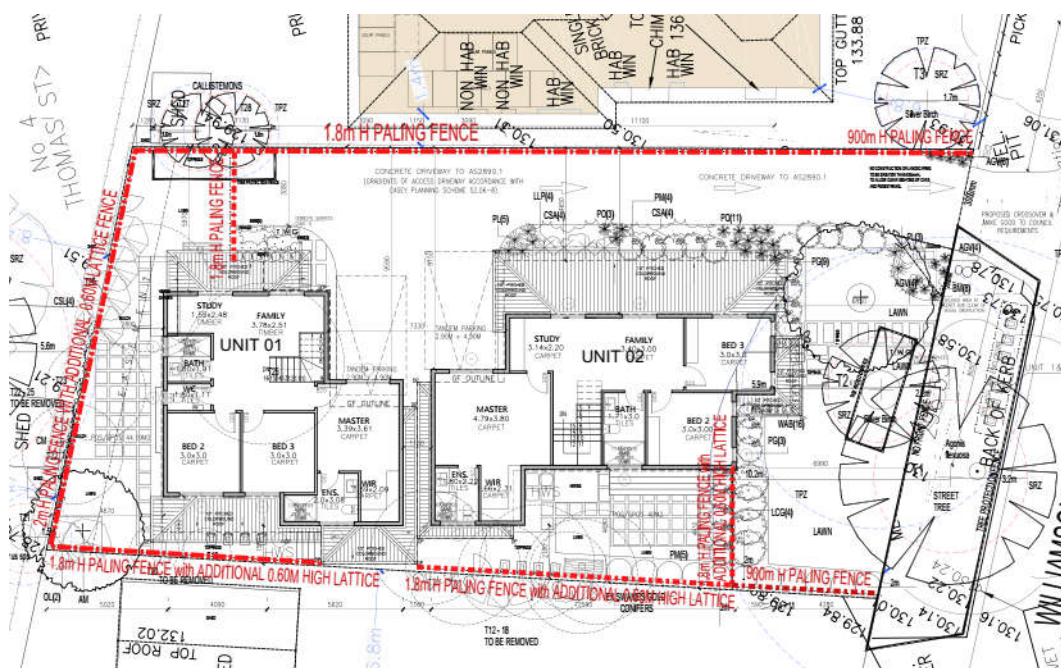
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## Ground floor Habitable Room Windows and Fences



## First floor Habitable Room Windows and Fences



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## 55.04-8 Noise Impacts Objectives

- To contain noise sources in developments that may affect existing dwellings.
- To protect residents from external noise.

### Standard B24

- Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings.
- Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties.
- Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.

### Decision Guideline

Before deciding on an application, the responsible authority must consider the design response.

### Design Response

*This standard has been considered in this application. The site area of this development is located in a residential community and quite far from any noise sources such as mechanical plants. Moreover, adjacent properties don't pose any noise source as they are just single storey brick dwellings which are more or less three meters away from the title boundary of this site. Though Williamson Street is a secondary road network, slightly noise will be slightly present. According to the Zoning Map, this site is within the General Residential Zone (GRZ1), therefore, no industrial or mechanical plants may be constructed within the area.*

### Zoning Map

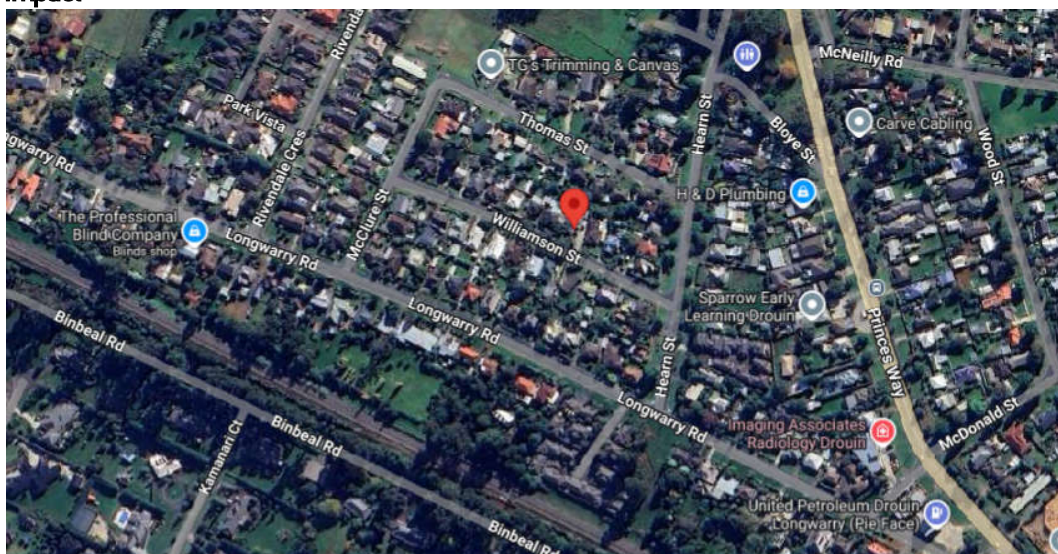


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## Noise Impact



## 55.05 ON-SITE AMENITY AND FACILITIES

### 55.05-1 Accessibility Objective

To encourage the consideration of the needs of people with limited mobility in the design of developments.

#### Standard B25

The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.

#### *Design Response*

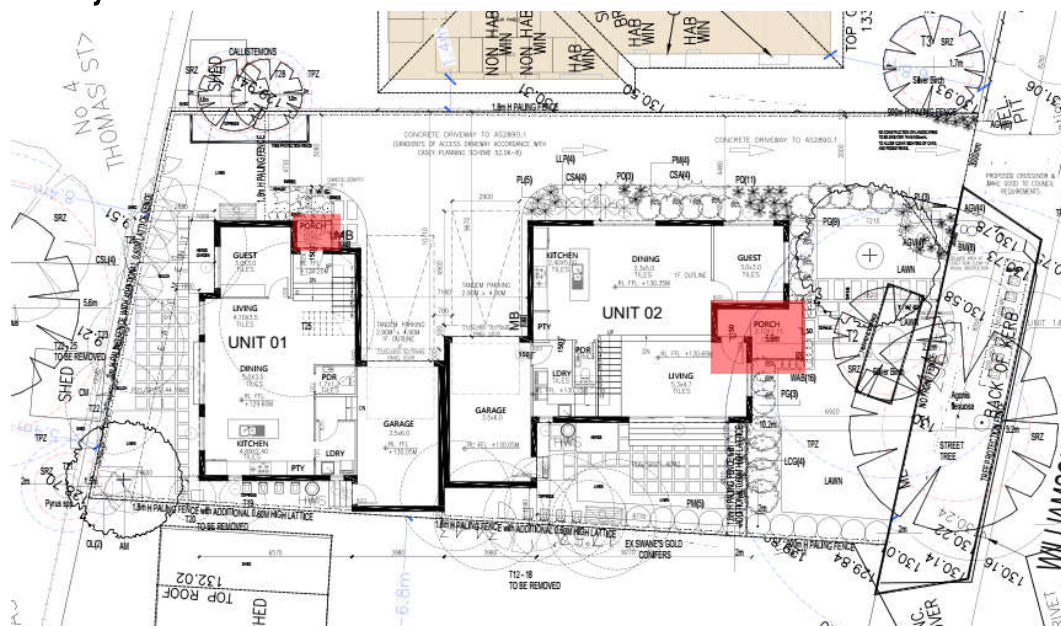
*This standard has been considered in this application. This development was architecturally designed with this standard in mind. The dwelling entries of the ground floor of the Dwelling Units 1 & 2 are easily made accessible to people with limited mobility.*

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## Accessibility



## 55.05-2 Dwelling Entry Objective

To provide each dwelling or residential building with its own sense of identity.

### Standard B26

Entries to dwellings and residential buildings should:

- Be visible and easily identifiable from streets and other public areas.
- Provide shelter, a sense of personal address and a transitional space around the entry.

### Design Response

*This standard has been considered in this application. Each dwelling unit is provided with its own sense of identity. Each dwelling entry is shown to be visible, easily identifiable from the street and other public areas. They also provide individual shelter, a sense of personal address and a transitional space around the entry.*

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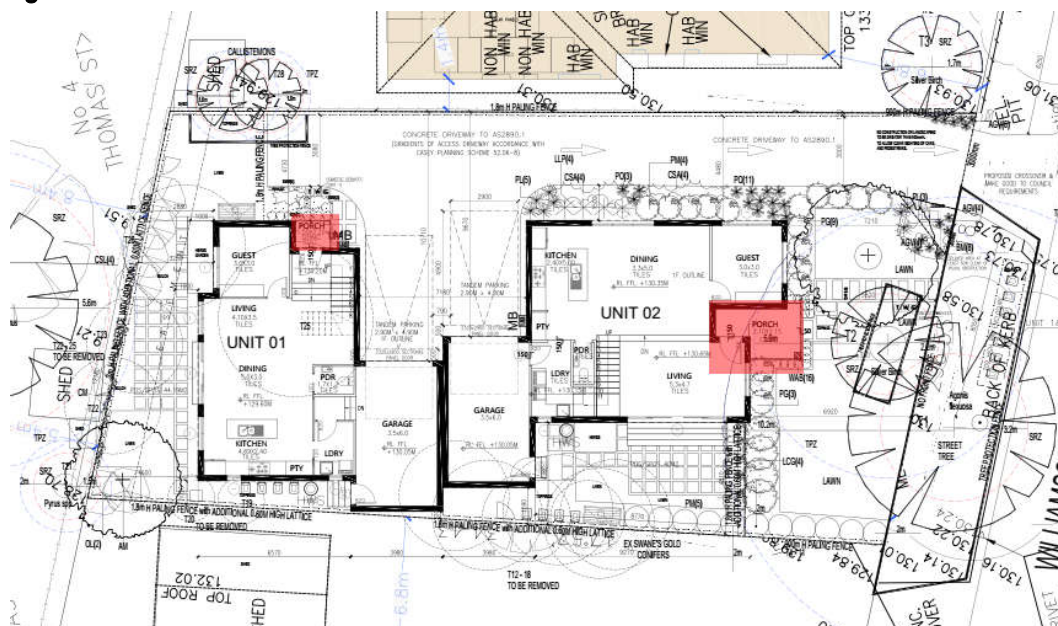
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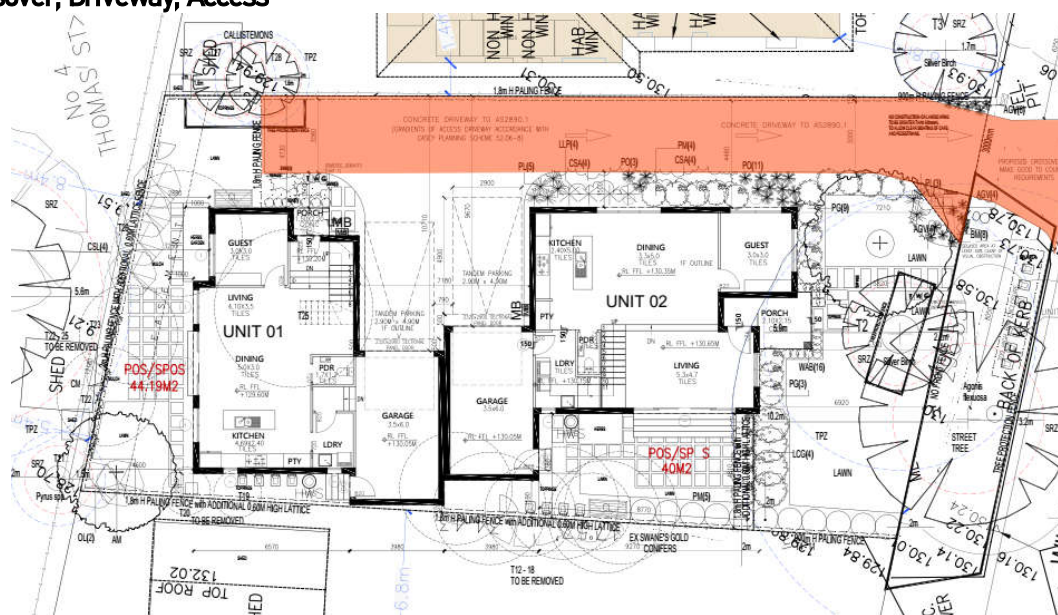
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## Dwelling Entries



## Crossover, Driveway, Access



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## 55.05-3 Daylight to New Windows Objective

To allow adequate daylight into new habitable room windows.

### Standard B27

A window in a habitable room should be located to face:

- An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or
- A verandah provided it is open for at least one third of its perimeter, or
- A carport provided it has two or more open sides and is open for at least one third of its perimeter.

### Decision Guidelines

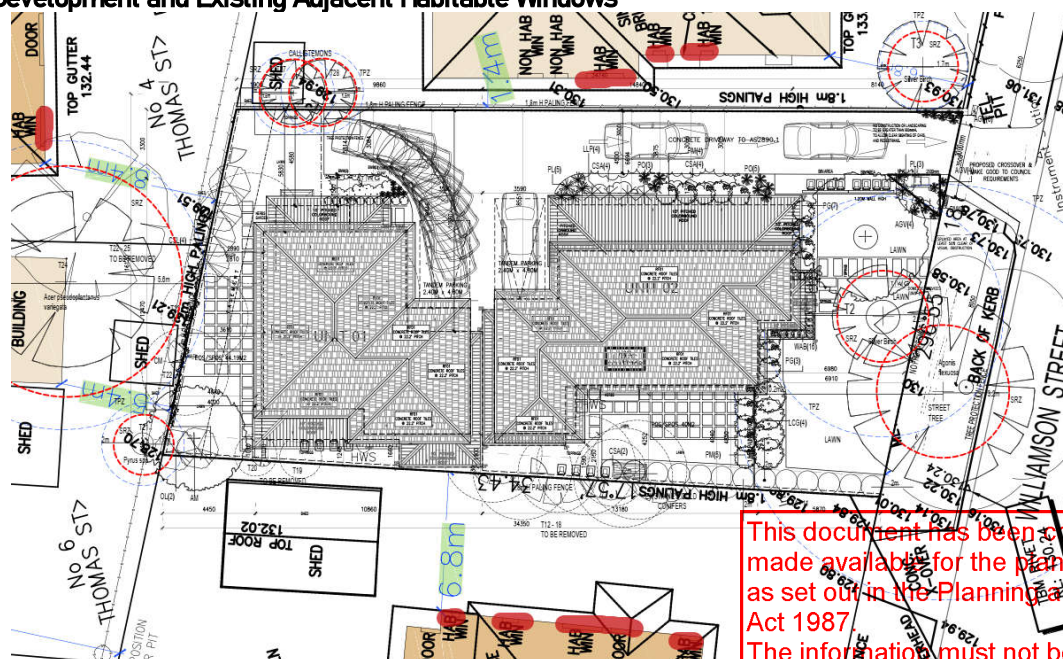
Before deciding on an application, the responsible authority must consider:

- The design response.
- Whether there are other windows in the habitable room which have access to daylight.

### Design Response

*This standard has been considered in this application. The orientation of the site as shown below, there are single storey brick dwellings on the West and single storey on the East sides. The dwelling on the West side near to the title boundary with the setback of 6.8m, has habitable room windows, and partly overshadowed the driveway access, therefore, its access to daylight not affected by this development. As to the East side of this site, there are habitable room windows on the said single storey brick dwelling but since there is a 1.4 meters setback from the title boundary of this site, and with proposed driveway access width of 3m and 1.5m setback of the proposed dwelling from the driveway (with total distance of 4.50m from the title boundary), the access to daylight is also not lessened nor in any way affected by this development.*

### Site Development and Existing Adjacent Habitable Windows

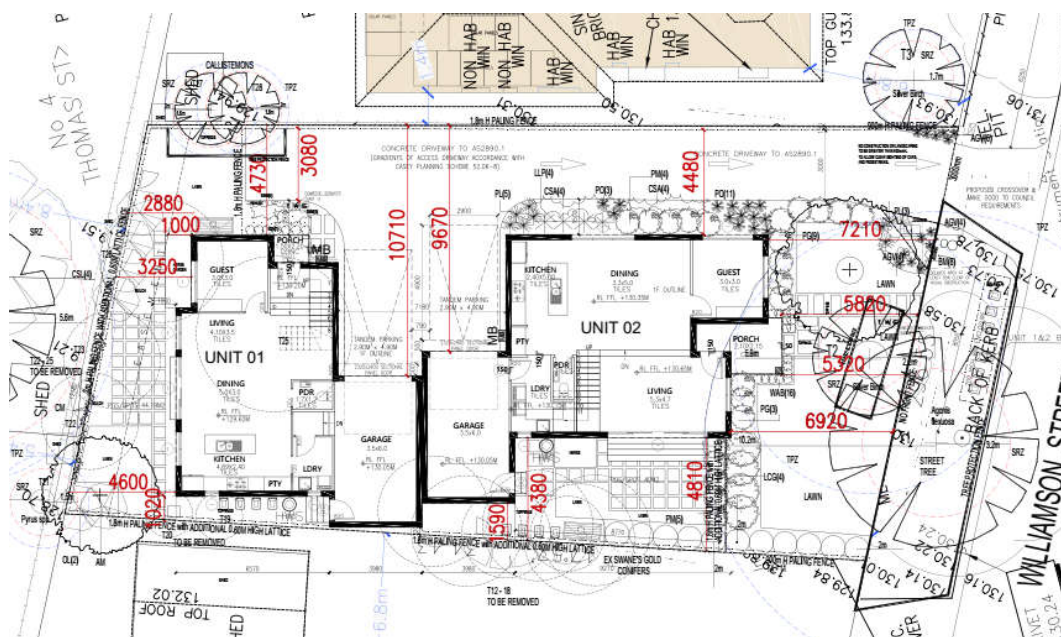
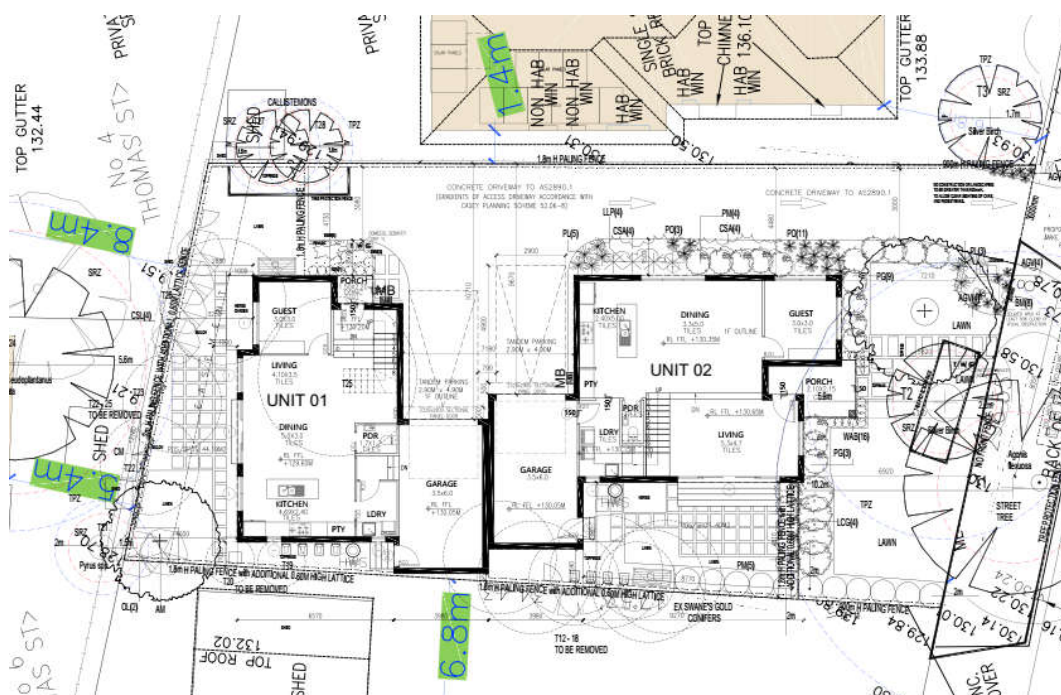


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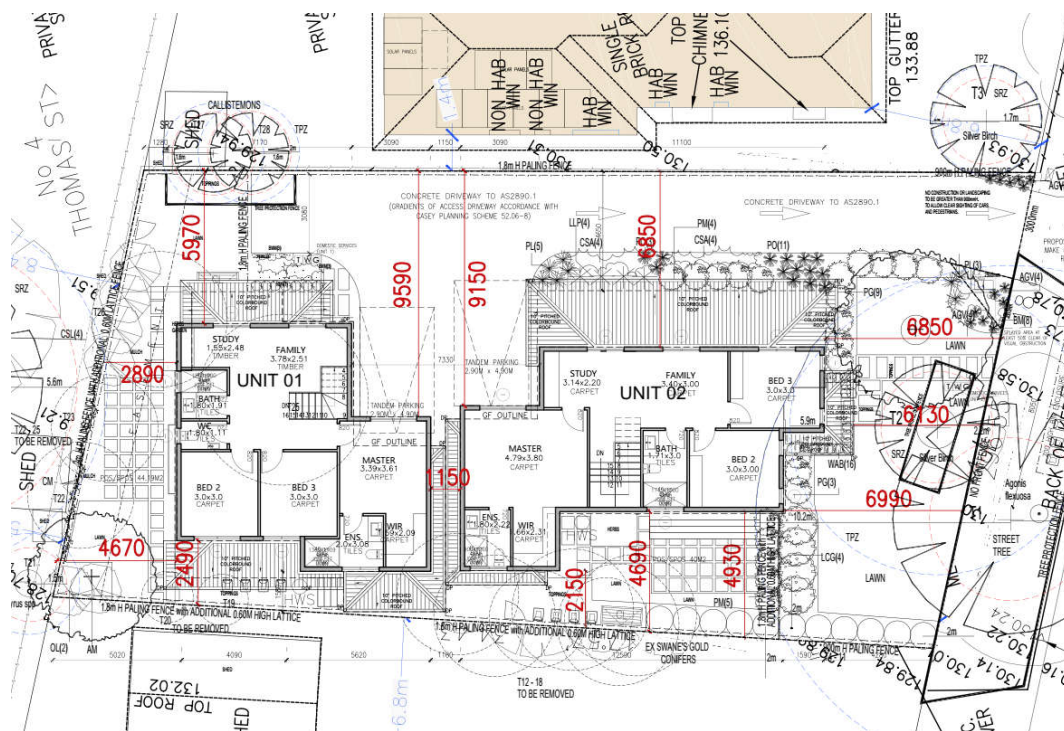


# Site/Groundfloor Plan and Setback



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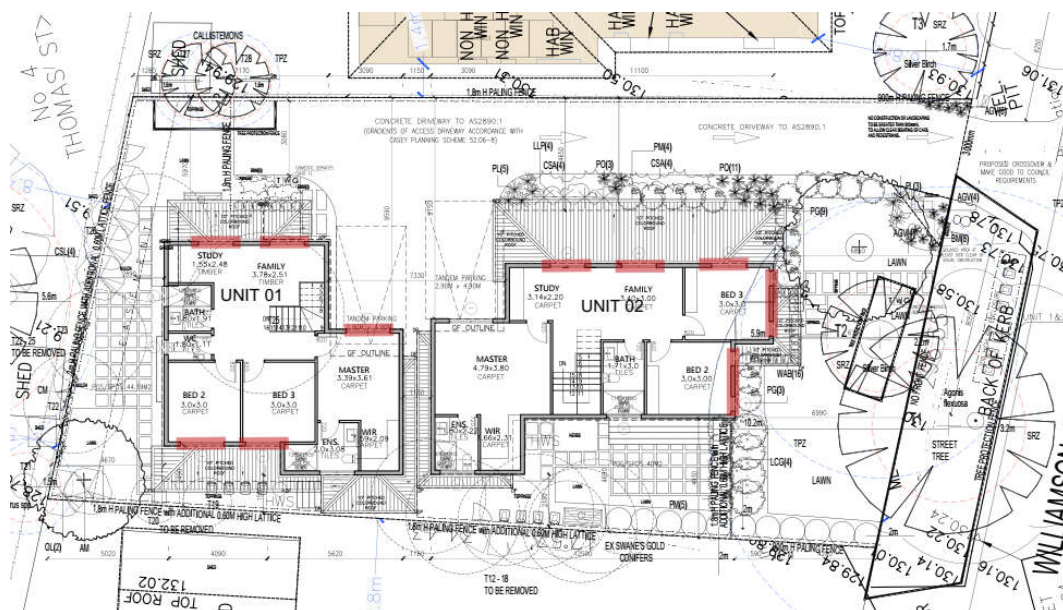
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## Habitable Room Windows (FirstFloor)



## 55.05-4 Private Open Space Objective

To provide adequate private open space for the reasonable recreation and service needs of residents.

### Standard B28

- A dwelling or residential building should have private open space of an area and dimensions specified in a schedule to the zone.
- If no area or dimensions are specified in a schedule to the zone, a dwelling or residential building should have private open space consisting of:
  - An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or
  - A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or
  - A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room.

The balcony requirements in Clause 55.05-4 do not apply to an apartment development.

### Decision Guidelines

Before deciding on an application, the responsible authority must consider:

- The design response.
- The useability of the private open space, including its size and accessibility.
- The availability of and access to public or communal open space.
- The orientation of the lot to the street and the sun.

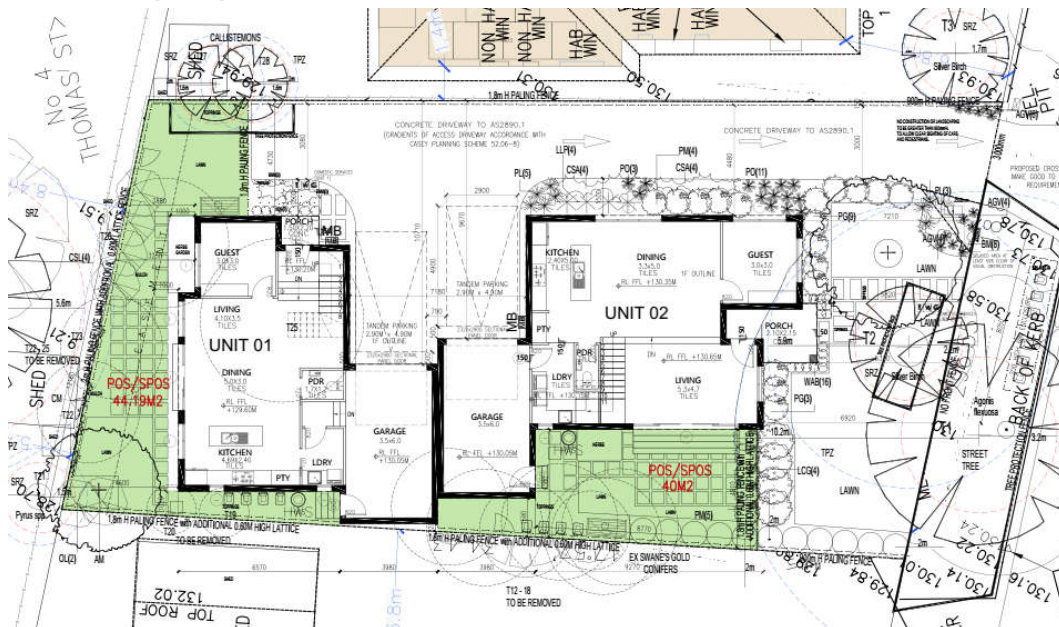
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## Design Response

This standard is considered in this application. Dwelling Units 1 and 2 have its own individual Secluded/Private Open Spaces (ground floor level).

## Secluded/Private Open Spaces



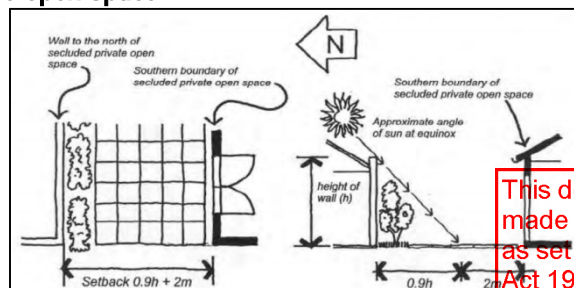
## 55.05-5 Solar Access To Open Space Objective

To allow solar access into the secluded private open space of new dwellings and residential buildings.

### Standard B29

- The private open space should be located on the north side of the dwelling or residential building, if appropriate.
- The southern boundary of secluded private open space should be set back from any wall on the north of the space at least  $(2 + 0.9h)$  metres, where 'h' is the height of the wall.

### Diagram B5 Solar Access To Open Space



### Decision Guidelines

Before deciding on an application, the responsible authority must consider:

- The design response.

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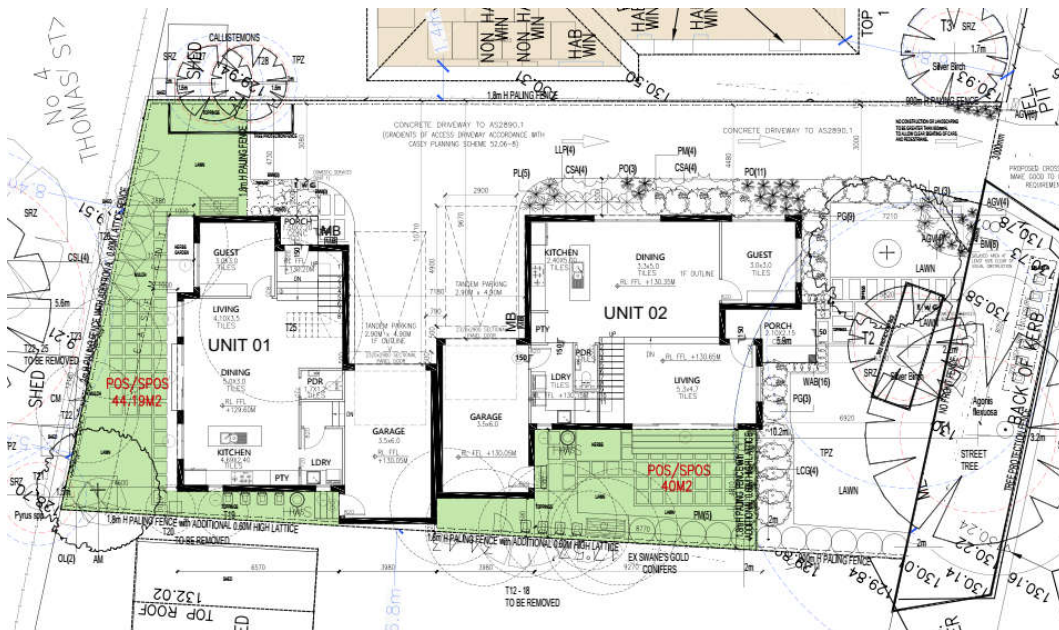


- The useability and amenity of the secluded private open space based on the sunlight it will receive.

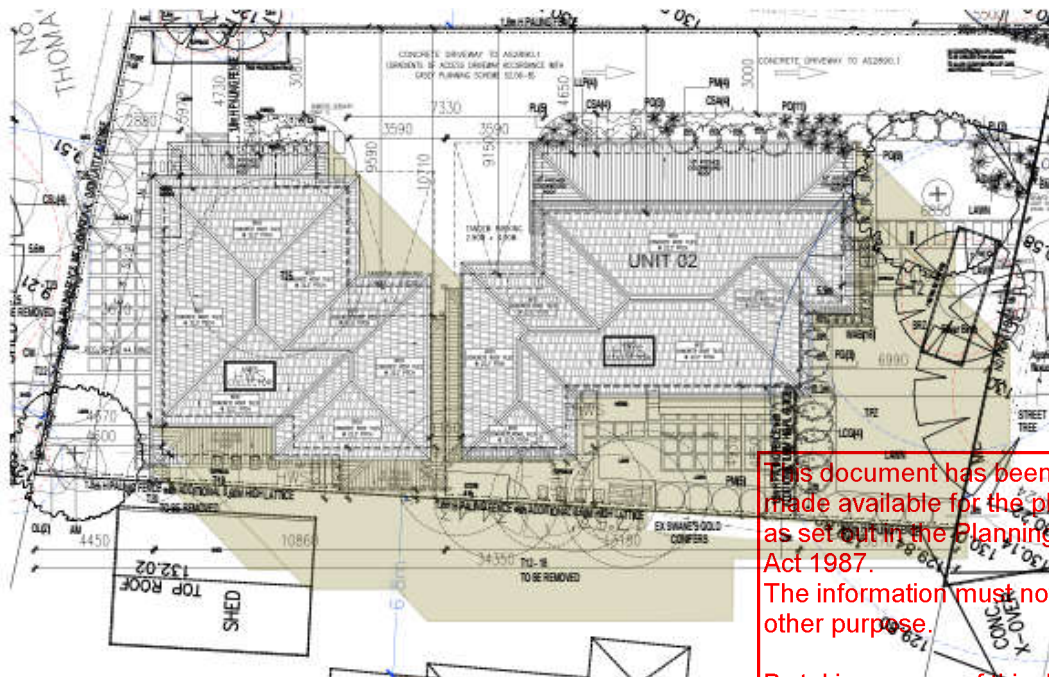
### Design Response

*This standard is considered in this development, as far as practicable. However, due to the orientation of the site, not all secluded/private open spaces are located at the north side of the property. The usability and amenity of the private open spaces based on the sunlight it will receive has been greatly considered in this application and this design is the most appropriate for this property.*

### Secluded/Private Open Spaces



### Shadowing Site - September 22, 9am



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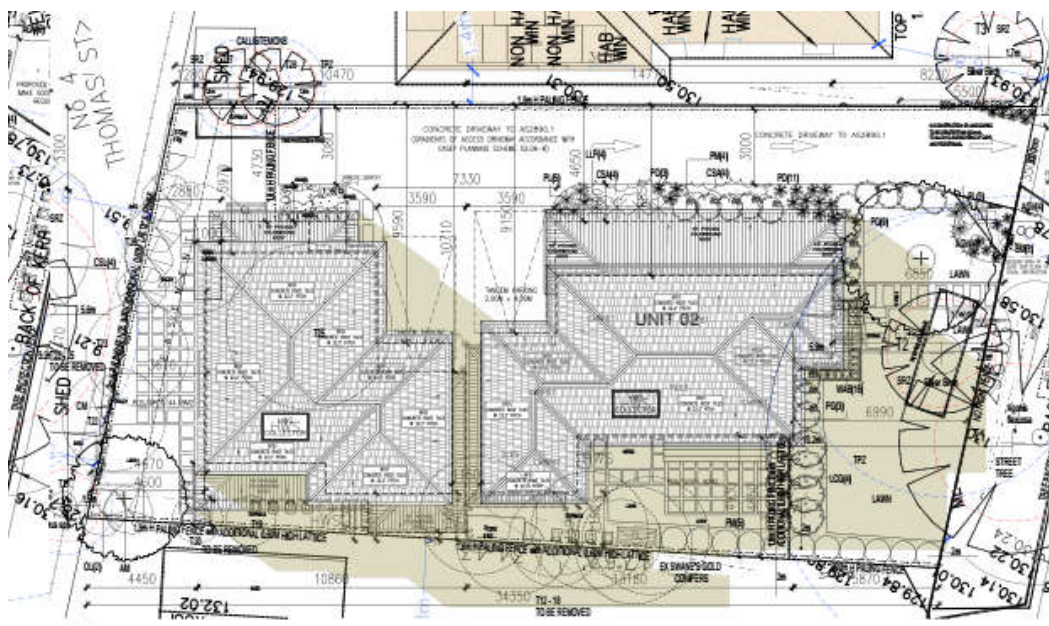
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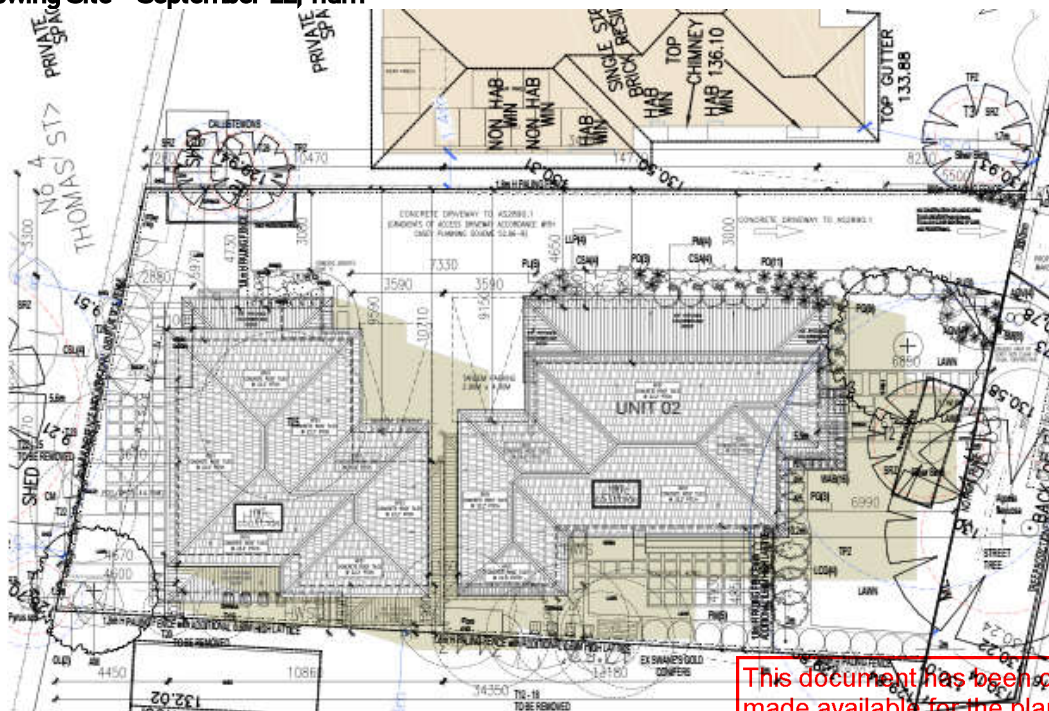
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Shadowing Site - September 22, 10am



Shadowing Site - September 22, 11am



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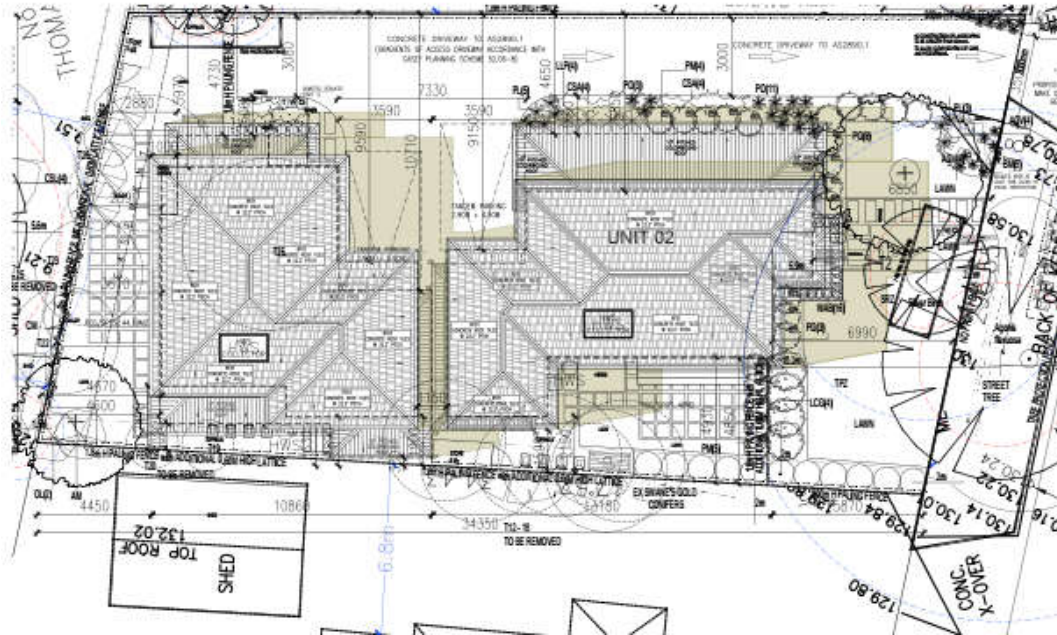
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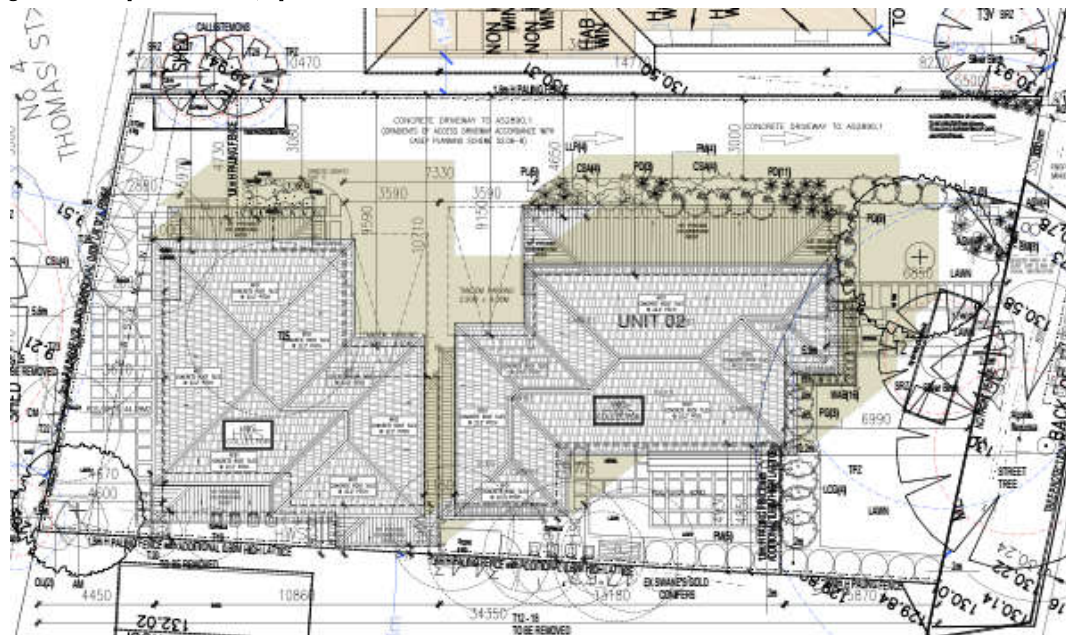
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Shadowing Site - September 22, 12nn



Shadowing Site - September 22, 1pm

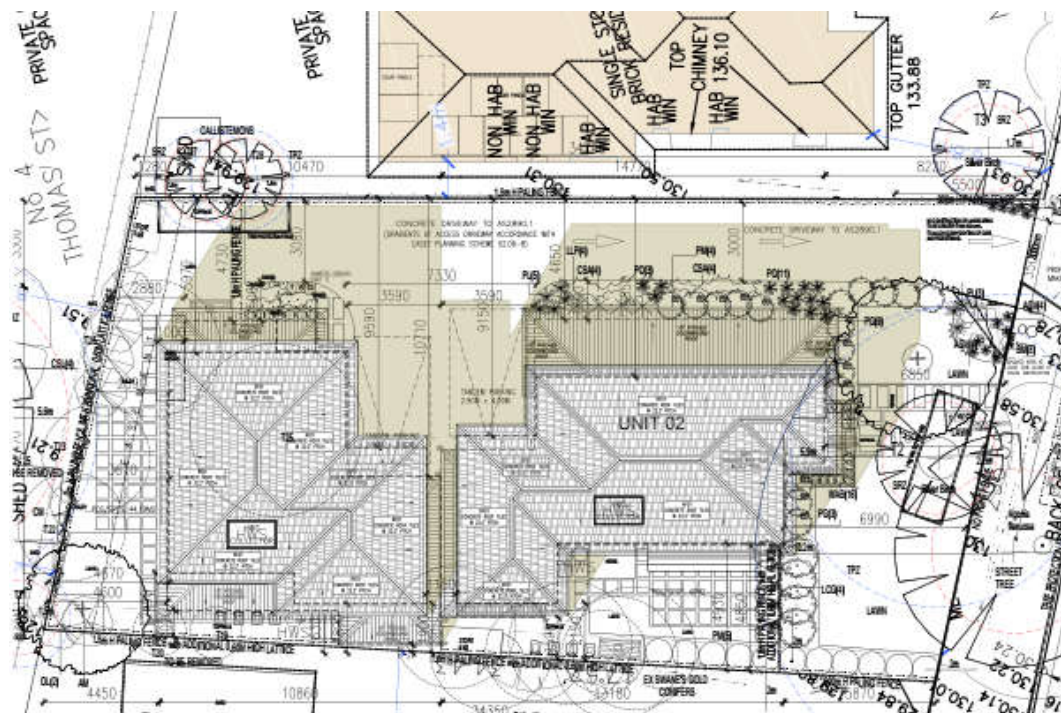


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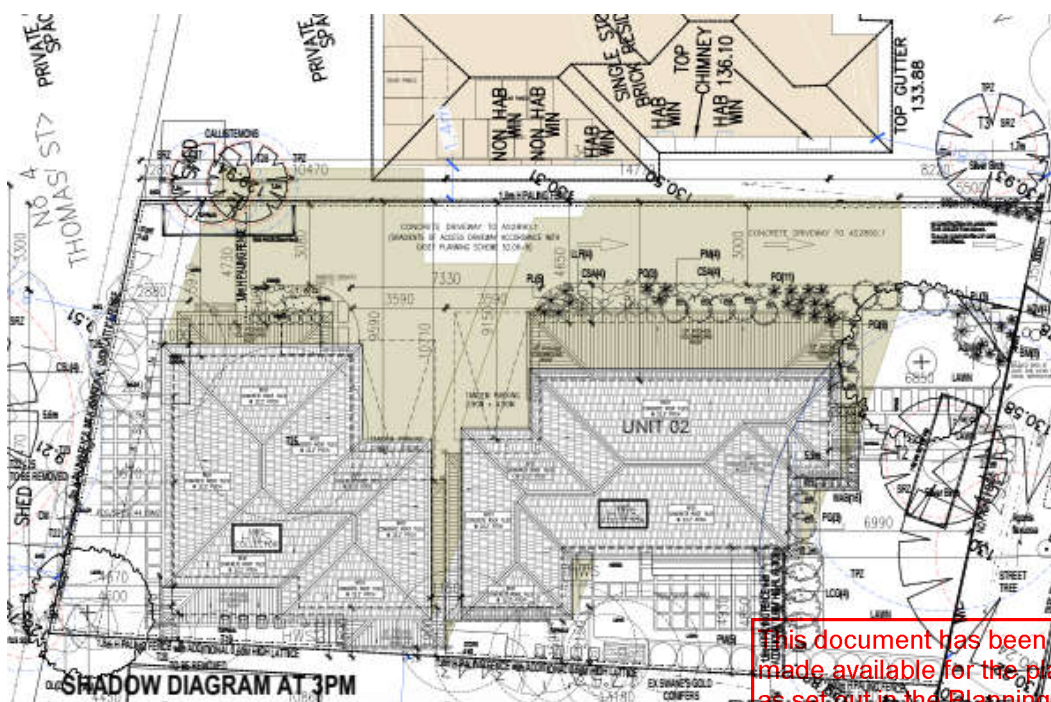
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Shadowing Site - September 22, 2pm



Shadowing Site - September 22, 3pm



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## 55.05-6 Storage Objective

To provide adequate storage facilities for each dwelling.

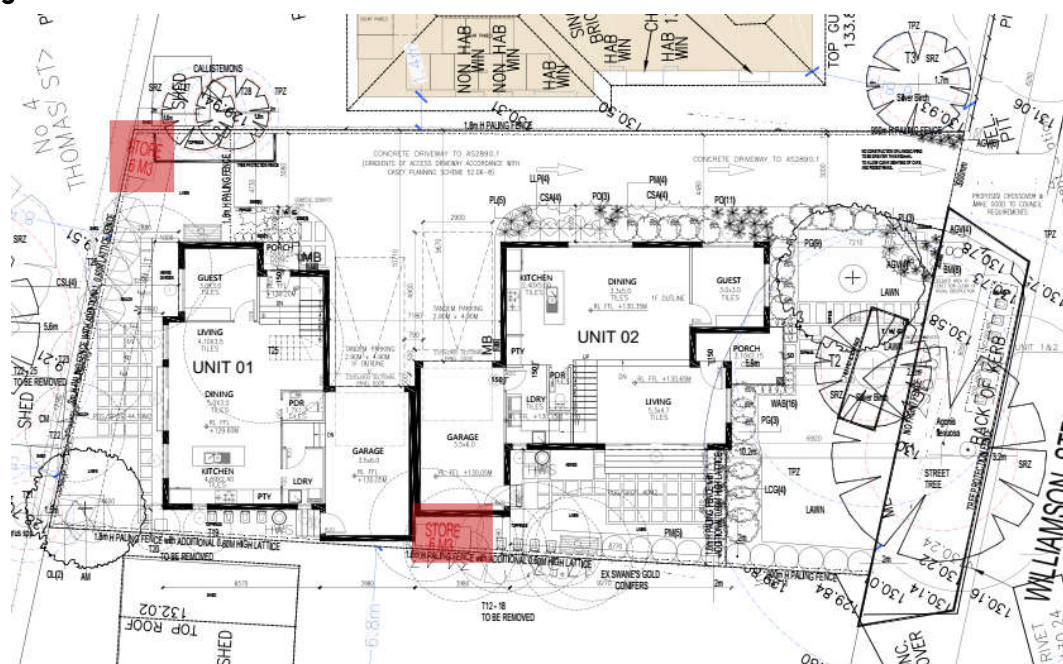
### Standard B30

Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.

### Design Response

*This standard has been considered in this application. All proposed dwelling units have a storage area of 6 cubic metres each (purple highlights).*

### Storage



## 55.06 DETAILED DESIGN

### 55.06-1 Design Detail Objective

To encourage design detail that respects the existing or preferred neighbourhood character.

### Standard B31

The design of buildings, including:

- Facade articulation and detailing,
- Window and door proportions,
- Roof form, and
- Verandahs, eaves and parapets, should respect the existing or preferred neighbourhood character.
- Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.

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## Decision Guidelines

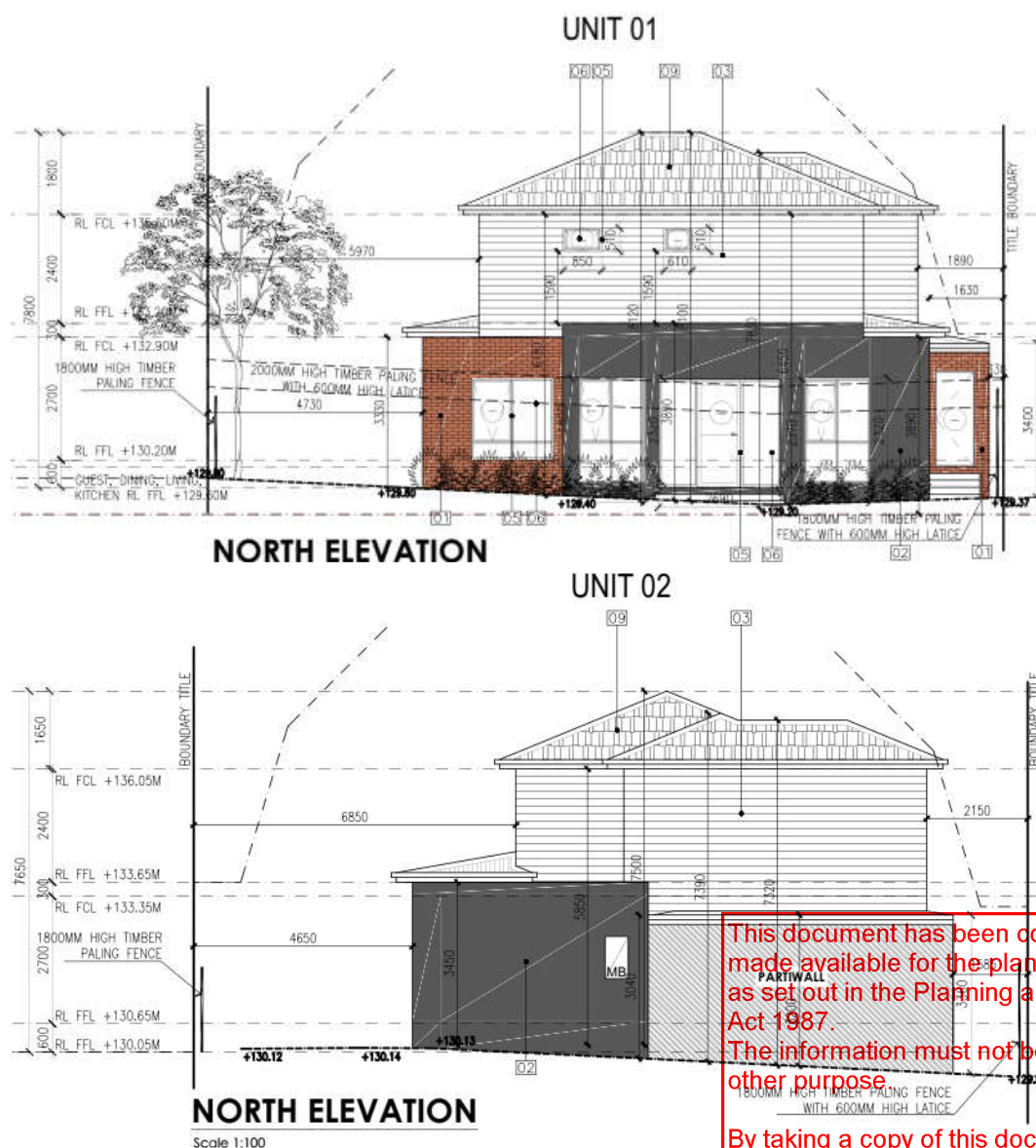
Before deciding on an application, the responsible authority must consider:

- Any relevant neighbourhood character objective, policy or statement set out in this scheme.
- The design response.
- The effect on the visual bulk of the building and whether this is acceptable in the neighbourhood setting.
- Whether the design is innovative and of a high architectural standard.

## Design Response

*This standard has been considered in this application. The facade articulation and detailing, window and door proportions, roof form, respect the existing or preferred neighbourhood character. Moreover, the garages and carports are visually compatible with the development and the existing or preferred neighbourhood character.*

## North Elevation

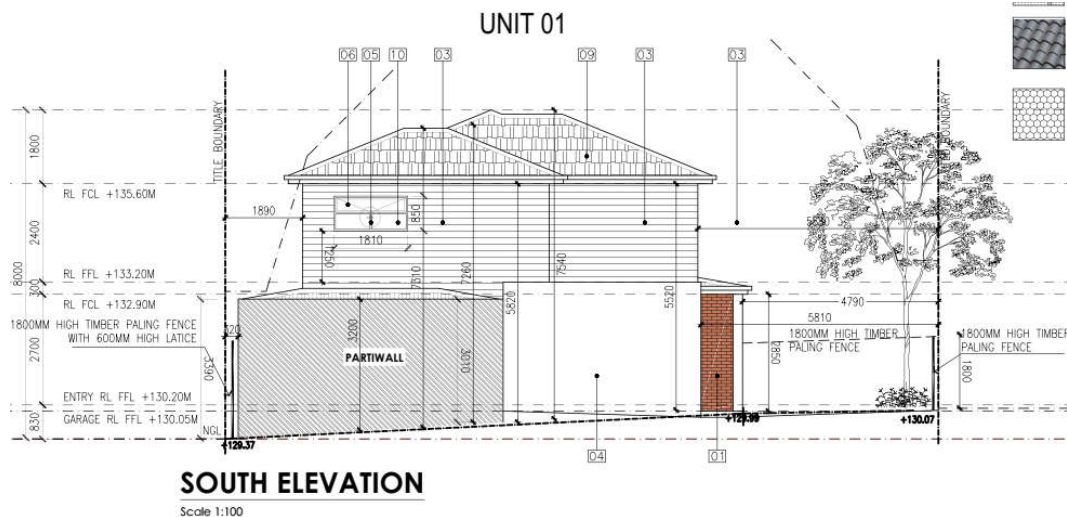
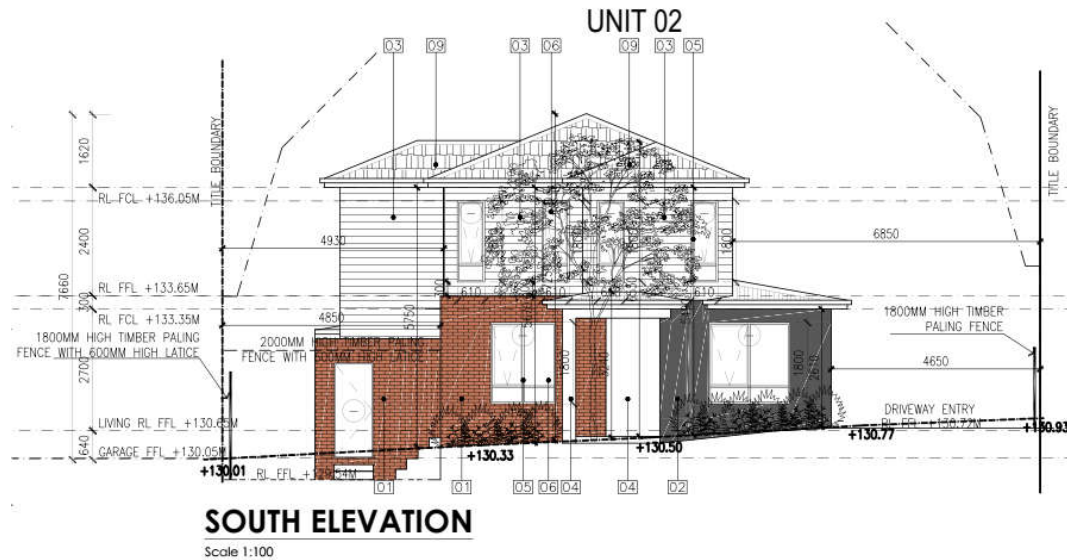


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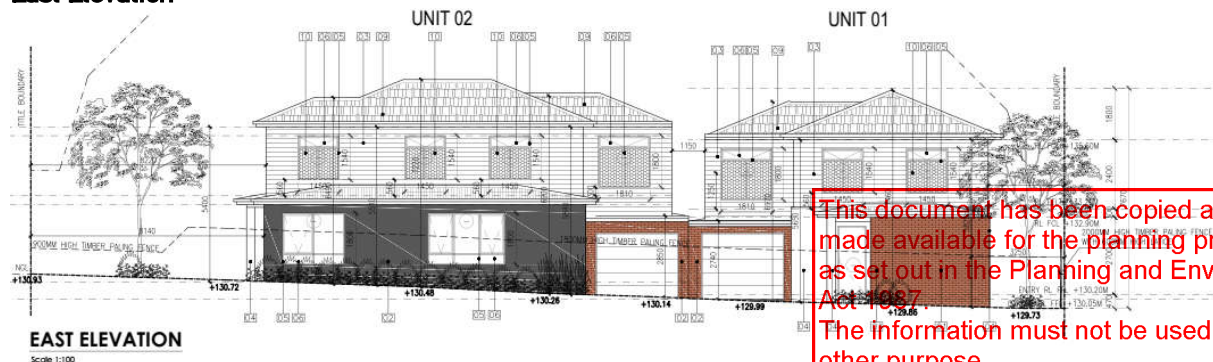
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## South Elevation



## East Elevation



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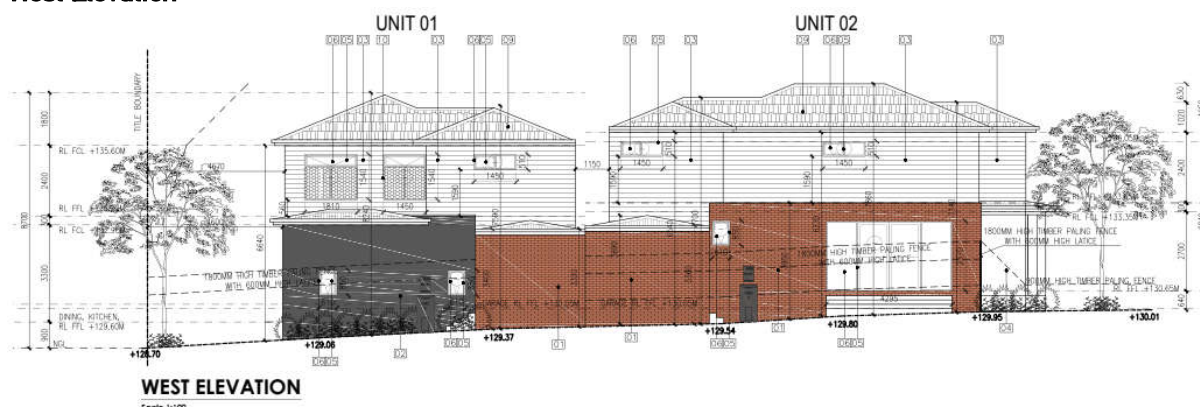
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## West Elevation



## 55.06-2 Front Fences Objective

To encourage front fence design that respects the existing or preferred neighbourhood character.

### Standard B32

- The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties.
- A front fence within 3 metres of a street should not exceed:
  - The maximum height specified in a schedule to the zone, or
  - If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B3.

Table B3 Maximum Front Fence Height

Street Context	Maximum front fence height
Streets in a Road Zone, Category 1	2 metres
Other streets	1.5 metres

### Decision Guidelines

Before deciding on an application, the responsible authority must consider:

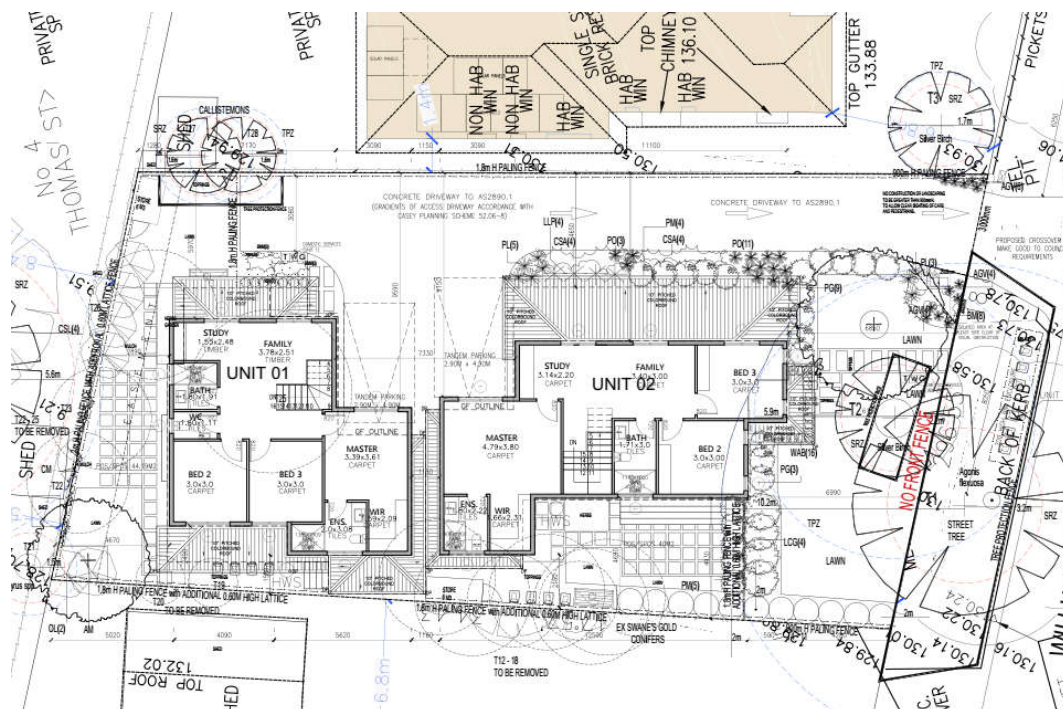
- Any relevant neighbourhood character objective, policy or statement set out in this scheme.
- The design response.
- The setback, height and appearance of front fences on adjacent properties.
- The extent to which slope and retaining walls reduce the effective height of the front fence.
- Whether the fence is needed to minimise noise intrusion.

### Design Response

*This standard is considered in this application. The design of front fences complement the design of the dwellings or residential building and any front fences on adjoining properties. The information must not be used for any proposed subject site*



## Front Fences



## 55.06-3 Common Property Objectives

- To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.
- To avoid future management difficulties in areas of common ownership.

### Standard B33

- Developments should clearly delineate public, communal and private areas.
- Common property, where provided, should be functional and capable of efficient management.

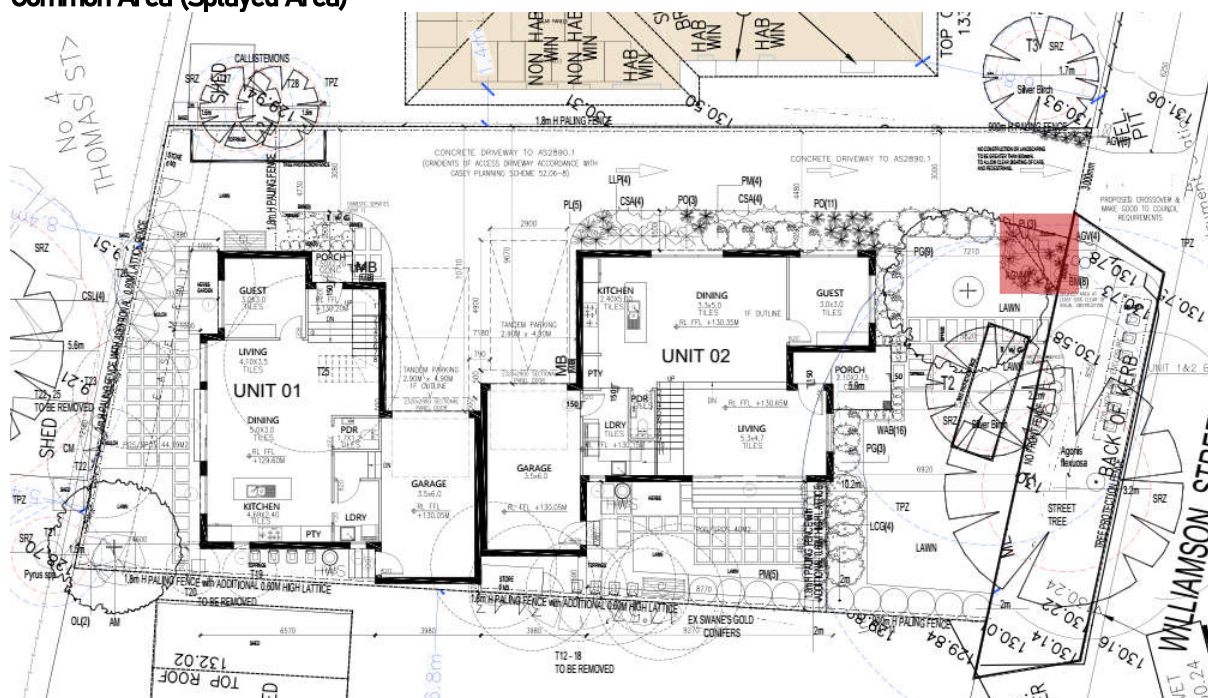
### Design Response

*This standard is considered in this application. Common area is the splayed area which is commonly used by residents of the two (2) dwelling units for the services and letter boxes.*

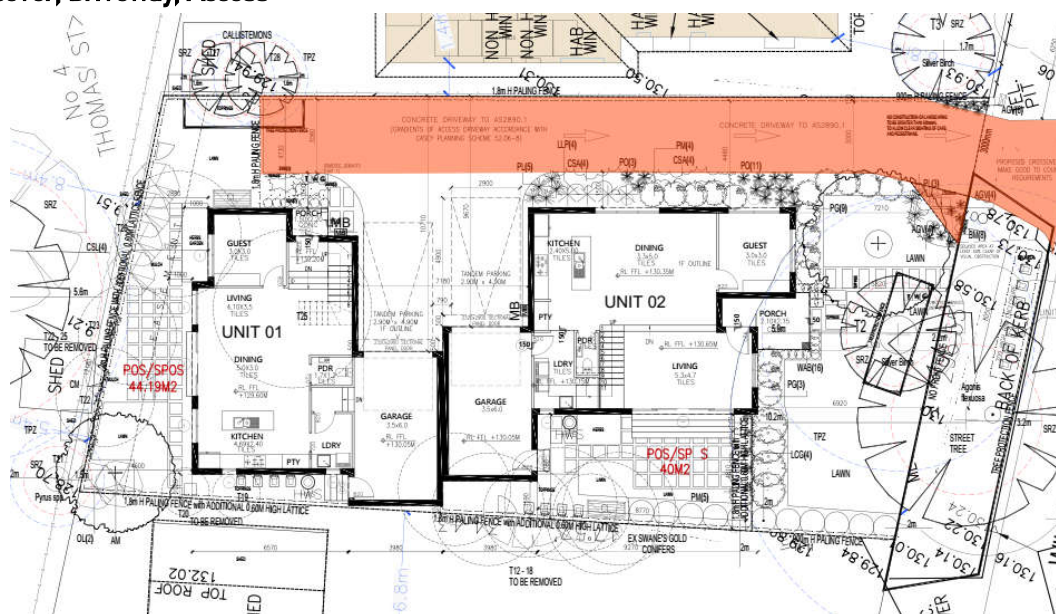
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### Crossover, Driveway, Access



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## 55.06-4 Site Services Objectives

- To ensure that site services can be installed and easily maintained.
- To ensure that site facilities are accessible, adequate and attractive.

### Standard B34

- The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically.
- Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.
- Bin and recycling enclosures should be located for convenient access by residents.
- Mailboxes should be provided and located for convenient access as required by Australia Post.

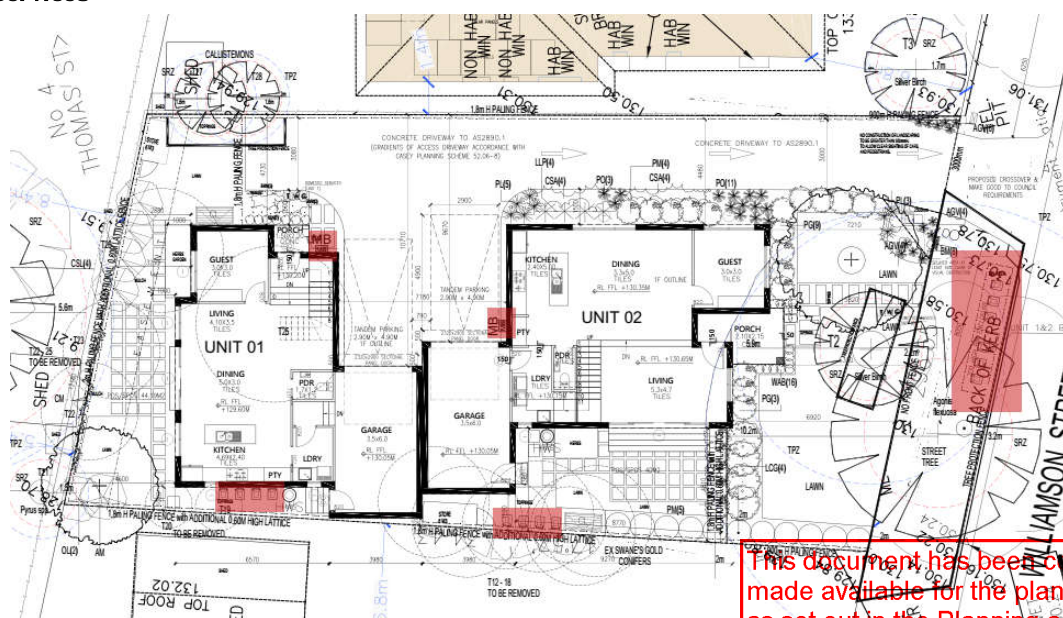
### Decision Guideline

Before deciding on an application, the responsible authority must consider the design response.

### Design Response

*This standard has been considered in this application. The design and layout of each of the dwellings provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically. Each dwelling unit have bins, water, gas and meter boxes (purple boxes) which are adequate in size, durable, waterproof and blend in with the development. Mailboxes are also located right at the entrance of the property for convenient access by residents. Mailboxes are provided for each dwelling unit and are located near the entrance of the property, conveniently accessible as required by Australia Post.*

### Site Services



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November 9, 2024

**Address: 5 Williamson Street Drouin VIC 3818**  
**Proposal: Proposed 2 Story Residential Units**

I am writing to you in reply to your Email dated October 11, 2024.

Upon your preliminary assessment of the proposal, you raised the following concerns:

### Administrative

1. *Supplied.*
2. *The application form amended, to confirm if the application proposed is for Development and Subdivision or Development Only. If no Subdivision is proposed please disregard items 3f, 3g, 12 and 13. \*The updated form has not been provided the original form and a blank copy have been attached for reference.*

*To confirm the proposed application is for Development only, no Subdivision Development includes a revised application form.*

### Planning Report

3. *A written planning report assessing the proposal against the relevant clauses of the Baw Baw Planning Scheme. The report must also detail the following: \*The Planning Report has not attached.*
  - a. *Applicable zone and overlay/s.*
  - b. *Municipal Strategic Statement*
  - c. *Planning Policy Framework.*
  - d. *Particular Provisions.*
  - e. *Clause 55 Assessment.*
  - f. *If Subdivision is proposed a Clause 56 Assessment.*
  - g. *If Subdivision is Proposed a Written Garden Area Assessment.*
  - h. *Carparking Assessment against Clause 52.06.*

*Written planning assessment report is hereto attached together with this response*

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## Neighbourhood and Site Description and Design Response

4. A Neighborhood and Site Description as required by Clause 55.01-1 of the Baw Baw Shire Planning Scheme. Further modify the plans to include the following details:

In relation to the neighborhood:

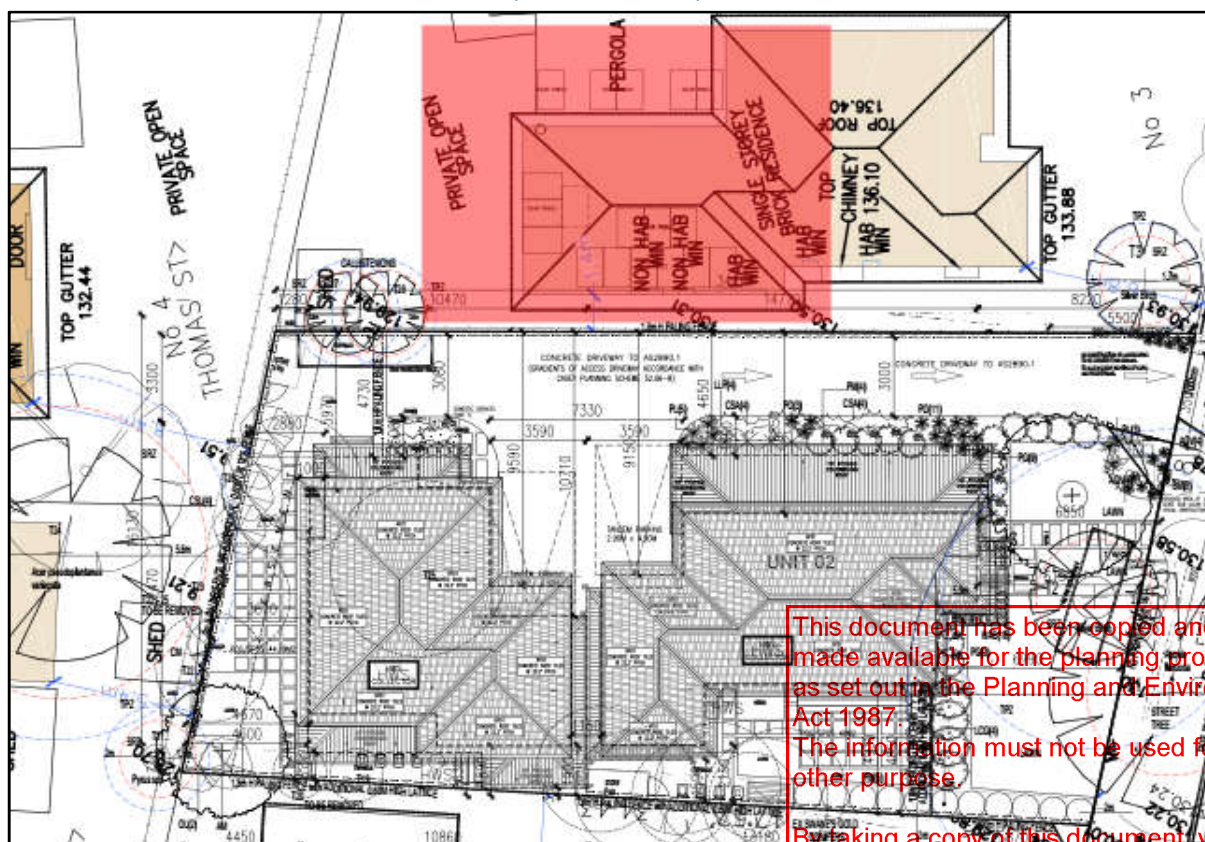
- Supplied.
- Supplied.

In relation to the site:

- Supplied.
- Solar access to the site and to surrounding properties. *\*It has been noted in the Response that there are no solar panels on adjacent properties however #3 Williamson does have a Solar Energy System, and did at time of Application Lodgement (See below Screen Shot dated 27 April 2024)*

*Present Solar access on surrounding updated and reflected on the revised architectural plans.*

### PROPOSED SITE PLAN (SHEET TP02)



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- c. *Supplied.*
- d. *Supplied.*
- e. *Supplied.*
- f. *Supplied.*

5. A Design Response to the site analysis explaining how the development's design:

- Derives from the neighbourhood and site description.
- Meets the objectives of Clause 55.
- Responds to any neighbourhood character features for the area identified in a local planning policy.

*Please see the Written Planning Assessment Report, on page 6-7 discussing on neighbourhoods character it is also discuss on Clause 55.01 page 16. For planning policy, please see page 10-12 and the objective and design response of Clause 55 on page page 15 onwards.*

- 6. *Satisfied.*

**Amended Plans Required**

Information required in relation to the Site Plan

- 7. An amended set of fully dimensioned site development plans drawn to scale, clearly showing the following:
  - a. *Satisfied.*
  - b. *Satisfied.*
  - c. *Satisfied.*
  - d. *Satisfied.*
  - e. *Satisfied.*
  - f. *Satisfied.*

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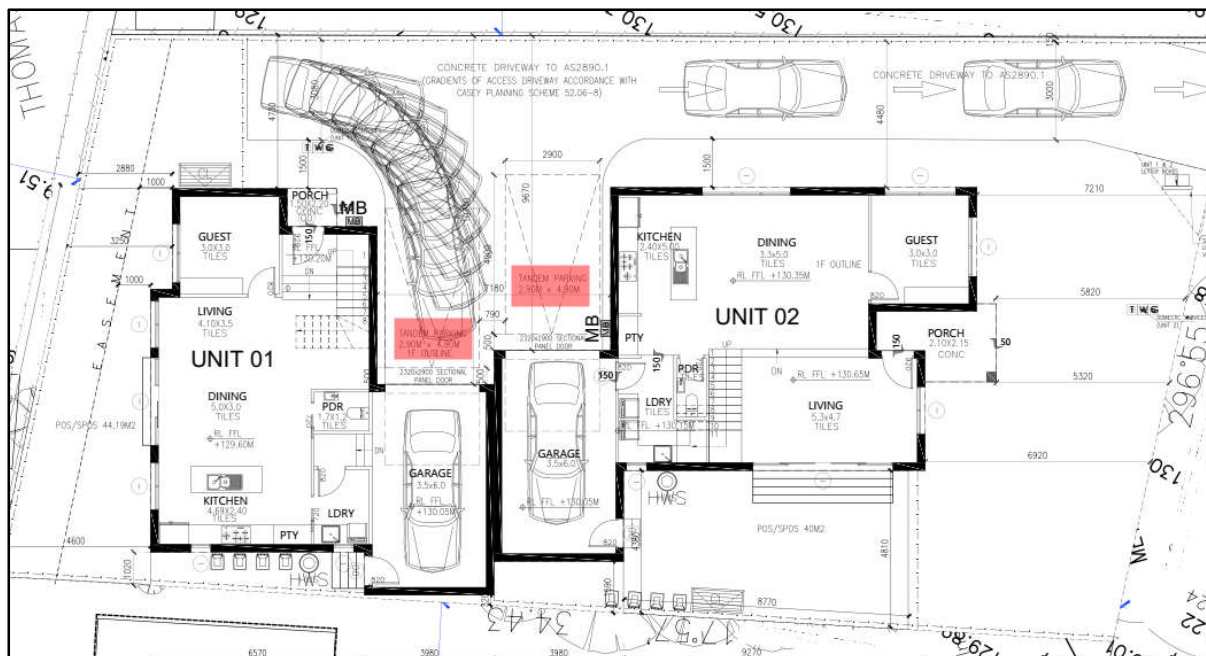
- Proposed bin collection area has been showed.*

- Revision on the Tandem Parking Space (2.90m x 4.90m) requirement of Clause 52.06-9.*

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## TANDEM PARKING AND VEHICLE EXIT (TP08)



j. *Satisfied.*

k. *Satisfied.*

### Information required in relation to the Floor Plan

8. *Satisfied.*

### Information required in relation to the Elevation Plans

9. *Satisfied.*

### Overlooking Diagrams

10. Overlooking Diagrams to show:

- a. Demonstrating how the development complies with the requirements of Clause 55.04-6.

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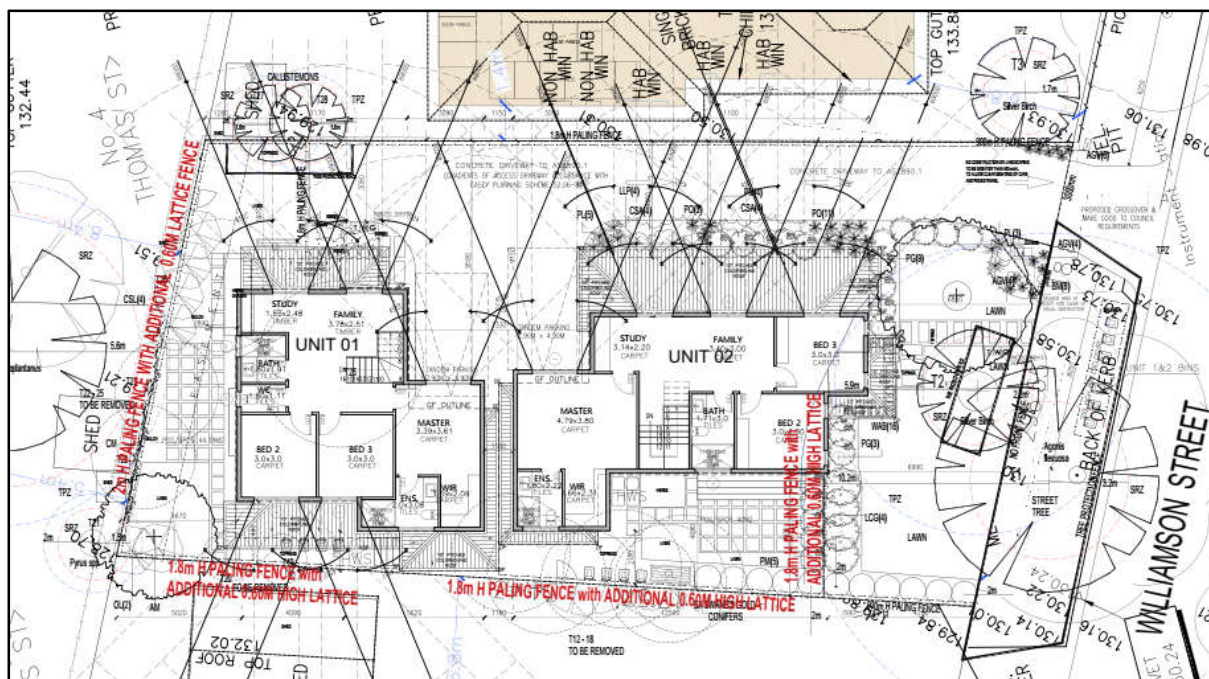
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Please refer to attached written planning assessment report, on page 69 discussing design response for the Clause 55.04-6 for compliance of requirements. To address this, additionally add 600mm high lattice on the side and rear fence boundary.

Site/Groundfloor Plan (TP03)



11. Satisfied.

## Subdivision

12. Not Required.

## Subdivision Design Response

13. Not Required.

## Trees and landscaping

### Existing trees

14. Satisfied.

15. Satisfied.

## Landscape Plan

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16. Satisfied.

## Car parking, access and traffic

17. Satisfied.

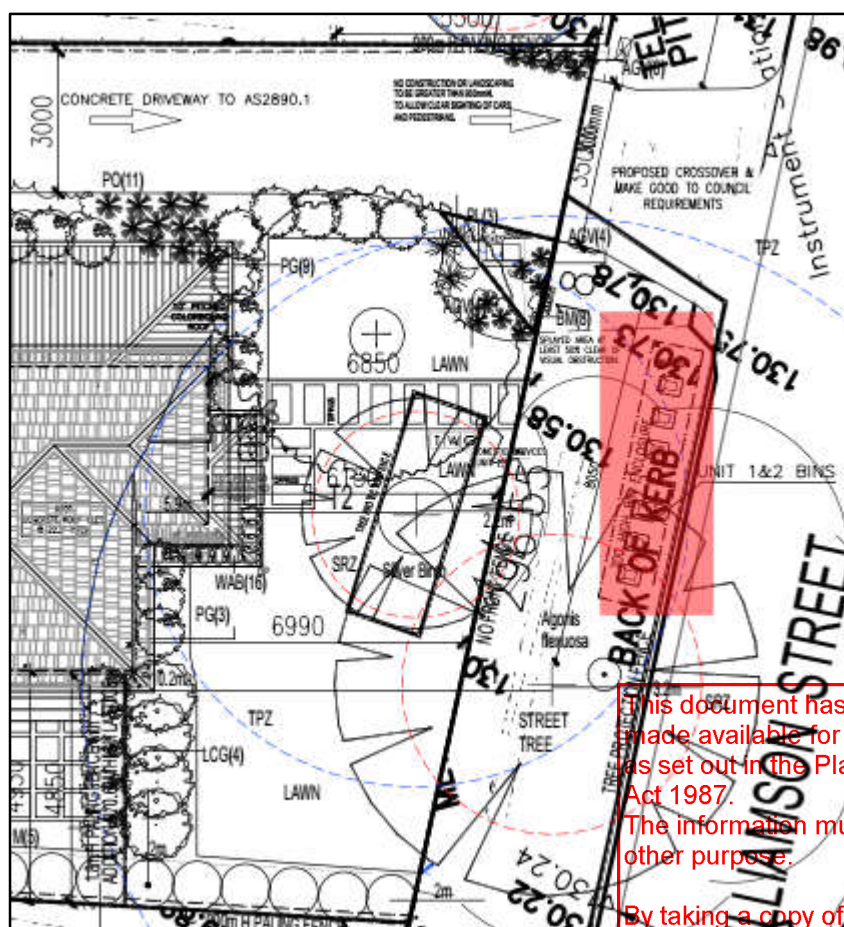
18. Satisfied.

## Waste Management

19. Bin Collection locations to be relocated to the property kerb side, council waste management vehicles will not enter the site for collection. This should be shown on the site plan.

*Proposed bin collection area has been showed.*

### PROPOSED SITE AND ROOF PLAN (TP02)



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*I am respectfully submitting this Response to RFI together with the attached documents for your perusal. Please do email me if there are still items that need to be addressed further.*

Thank you very much.

Prepared by; .

**MB Designstudio Pty Ltd**

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18<sup>th</sup> November 2021

## Re: 5 Williamson St, Drouin – Arboricultural Report

### Brief

I was contacted by you and asked to provide an Arboricultural Report for a proposed development at the listed address. As per Australian standard 4970 – Protection of Trees on Development Sites (AS-4970), any neighbouring or council trees that maybe impacted have been assessed, along with trees within the site.

### Method

The trees were inspected visually; as per AS 4970, as required to facilitate this report. Heights and canopy spreads estimated, Diameter at Breast Height (DBH) and Diameter at Buttress (DAB) measured within subject site only, unless neighbouring trees are accessible; otherwise, their DBH and DAB are estimated. No root excavations were carried out and images were taken as required. Any trees we nominate for removal are an opinion we are expressing only and do not provide any authority for tree removal. Prior to the removal of any trees council or the determining authority must be contacted, and property titles checked to ensure no permits are required and tree removal is legal. Date Visited 01/11/2020.

### The Site

The site is typical to older residence in the area, containing a single storey dwelling with attached carport and several sheds to the rear of the block. The site slopes down from the street frontage to the rear of boundary at a slight angle, with no major retaining structures terracing the site. the carport is connected to Williamson Road by a gravel driveway. Following a review of planning overlays on [planning.vic.gov.au](http://planning.vic.gov.au) it appears there are no vegetation overlays affecting removal of vegetation from the block. As such it appears vegetation can be removed as required.

### The Trees



Tree 01 is a Willow Peppermint to nature strip of Williamson St, adjacent the site. It has matured well and is a good example of the species. As it would receive less than 1% encroachment into its Tree Protection Zone (TPZ) from the proposal it would not be adversely impacted. Prior to the proposal proceeding it must be protected. Tree Protection Fencing will be required to the extent of its TPZ offset to the top of kerb and any proposed works or existing structures. Where site access is required the TPF can be modified with Ground Protection Measures used across the exposed TPZ. All tree protection methods must be as per AS-4970.

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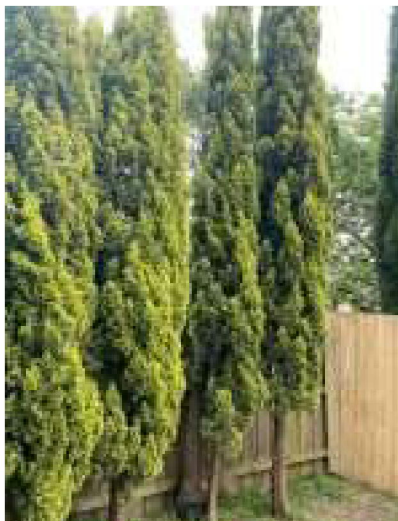


Tree 02 is a Weeping Silver Birch to the neighbouring side of the south-eastern corner of the site. It is maturing typically for the cultivar and unlikely to mature further in terms of size. It wouldn't be impacted by the proposal. Whilst it is neighbouring given less than 1% of its TPZ is within the site no specific tree protection measures will be required, with the existing fence line providing adequate protection.



Tree 03 – 08 are an irregular row of Golden Pencil Pines to the western boundary. They are all generally maturing well and are of some retention value as a screening hedge. If retained, they wouldn't be impacted by the proposed development and would require protection as outlined for Tree 01. If proposed for removal it appears they wouldn't require approval for removal.

Tree 09 – 11 are a trio of Pencil pines to the western boundary they are planted close together and this is adversely affecting them as they mature. Over time decline and potentially failure is likely to occur. As such they are of a low retention value and recommended for removal.



Tree 12 is a Queensland Bottle Tree to the western boundary. It has grown from an old pot and broken through to open ground, this has likely resulted in it being insecure in the ground and likely to fail over time. As such it is of a low retention value and recommended for removal.

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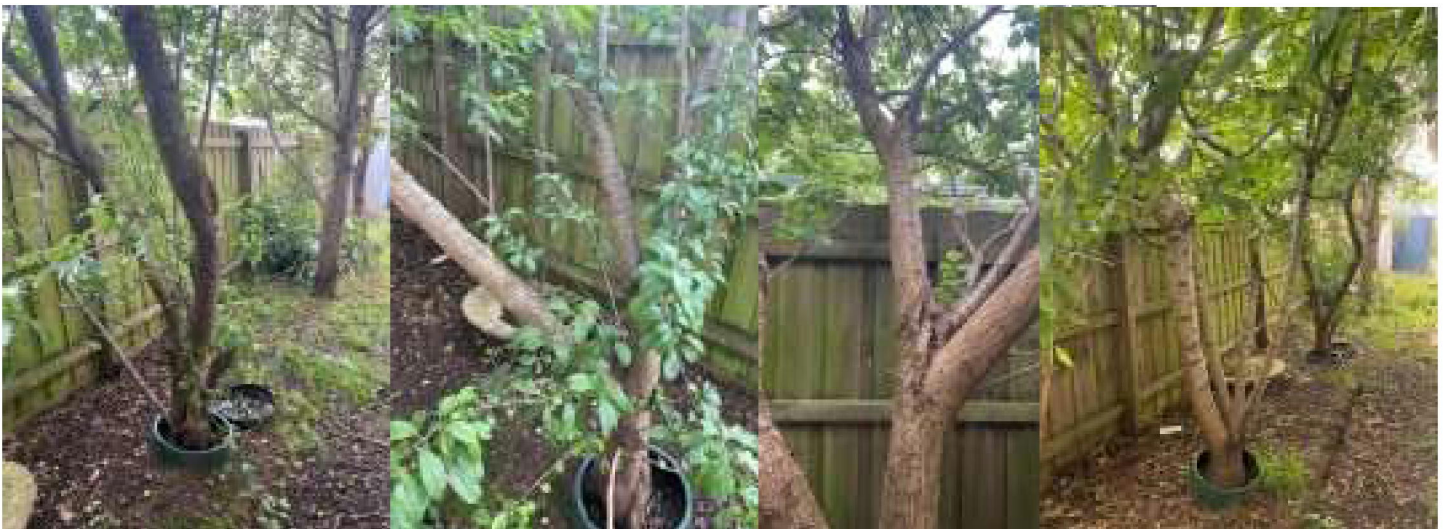
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Tree 13 is a Weeping Silver Birch to the neighbouring side of the eastern boundary. It is maturing somewhat poorly with the graft stock suckering and growing proud of the grafted weeping stock. This is likely to weaken the grafted section over time affecting the overall form of the tree. Under the proposal the proposed driveway would encroach 8.8% into the TPZ, within the acceptable 10% as per AS-4970. As such it wouldn't be adversely impacted long term.

Prior to the proposal proceeding the TPZ of Tree 13 is to be protected to its extent with Ground Protection Measures, these must remain in place until directly prior to the laying of the proposed driveway.



Tree 14 to 20 are a mix of exotic fruit trees along the western boundary. They are all maturing somewhat poorly with Tree 18 having already failed and the remaining trees displaying a range of structural faults that are likely to adversely affect them over time. As such they are all of a low retention value and recommended for removal.

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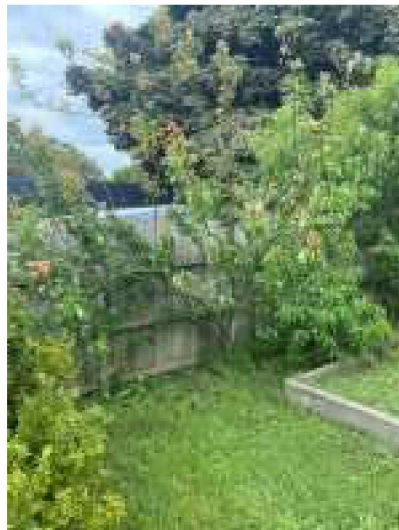
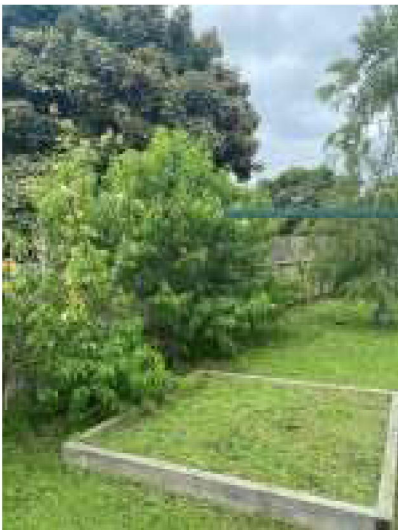
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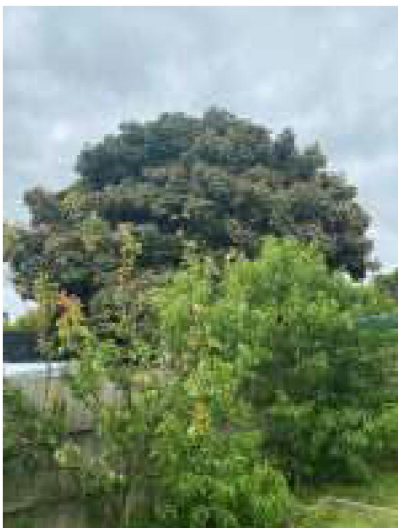
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Tree 21 is a Capital Pear to the neighbouring side of the north-western corner of the site. IT is maturing typically for the species and likely to form a mid-sized columnar tree. It wouldn't be impacted by the proposal, however, will require protection prior to it proceeding. Tree protection methods are as for Tree 01.



Tree 22 is an Apricot; Tree 23 is a Plum. Both are maturing poorly and of a low retention value. They are both recommended for removal.



Tree 24 is a Variagated Sycamore Maple to the neighbouring side of the northern boundary. It is maturing well and form a showy rounded canopy tree. Whilst it wouldn't be impacted by the proposal, it will require protection prior to it proceeding. Tree protection methods are as for Tree 01.

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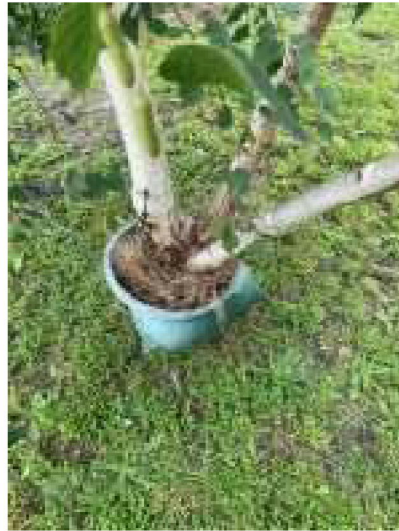
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Tree 25 is a Silky Oak; Tree 26 is a Silver Birch. Both are located to the north of the site. They have grown through old pots, and this had significantly impacted their structure around the base. They are at a high risk of being wind thrown as a result. As such they are of a low retention value and recommended for removal.



Trees 27 and 28 are Bottlebrush to the neighbouring side of the eastern boundary. They are both maturing well and depending on the cultivar are likely to form small to mid-sized canopy trees. The proposal would encroach 5.47% into the TPZ of Tree 27 and 9.4% into the TPZ of Tre 28. AS both are within the acceptable 10% as per AS-4970, neither would be adversely impacted. Prior to a proposal proceeding they must be protected. Tree protection methods are as for Tree 13.

## Site Sketch and Tree Legend as Follows

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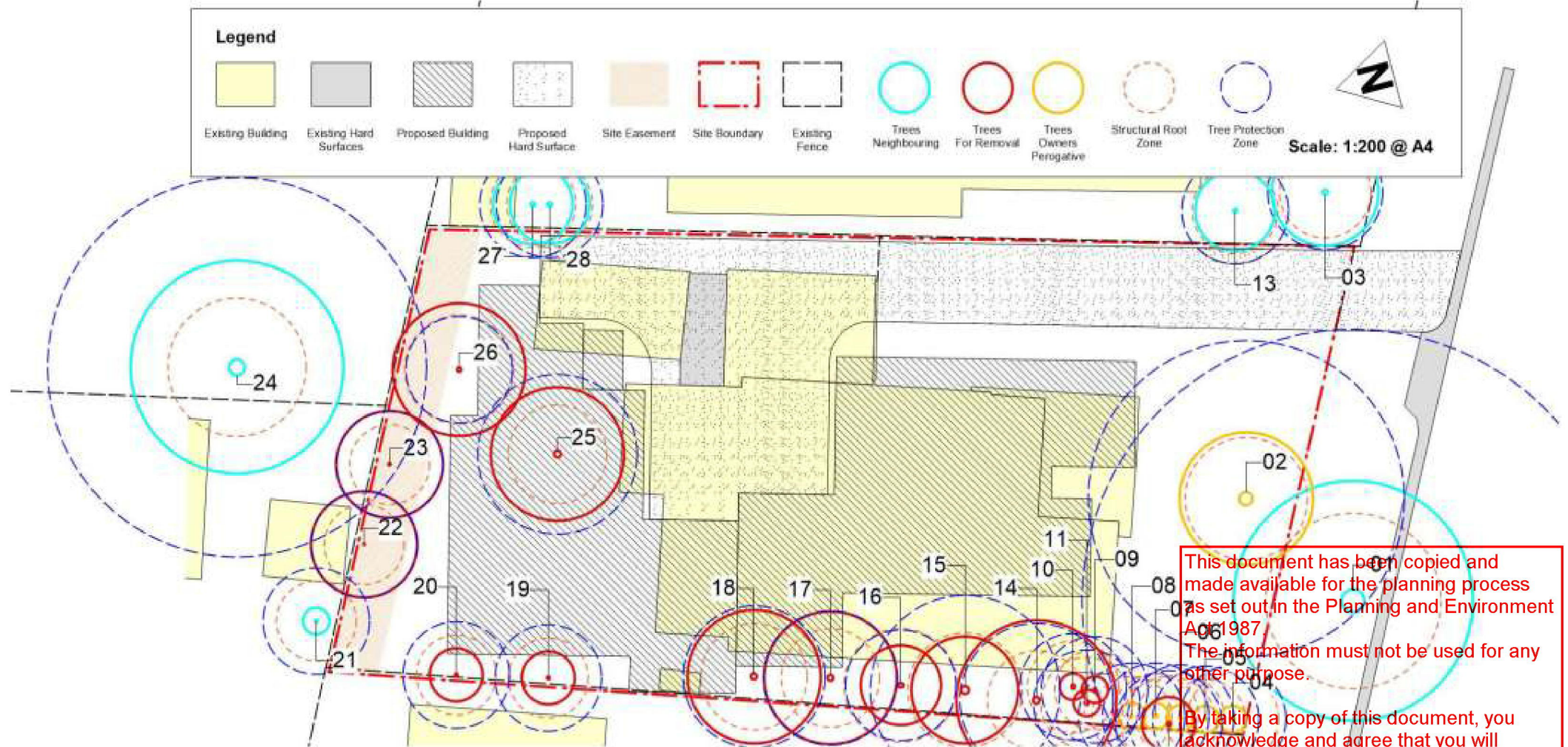
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## Site Sketch: 5 Williamson St, Drouin





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## Tree Legend

No	Botanical Name	Common Name	Origin	Height	Canopy	DBH @ 1.4 m	TPZ	DAB	SRZ	Condition	ULE	Significance	Vigor	Structure	Form	Ret Value	Age
01	Agonis flexuosa	Wollow Myrtle	Native	10000	9000	850	10200	990	3295	Average	Medium (16-39 yrs)	Less Significant	Good	Average	Average	Council	Mature
02	Betula pendula	Silver Birch	Exotic	7000	5000	495	5940	420	2299	Average	Medium (16-39 yrs)	Less Significant	Good	Average	Average	Moderate	Mature
03	Betula pendula	Silver Birch	Exotic	3000	4000	180	2160	210	1718	Average	Medium (16-39 yrs)	Less Significant	Good	Average	Average	Council	Mature
04	Cupressus sempervirens 'Aurea'	Golden Pencil Pine	Exotic	6000	1000	150	2000	210	1718	Average	Medium (16-39 yrs)	Less Significant	Good	Average	Average	Moderate	Semi-Mature
05	Cupressus sempervirens 'Aurea'	Golden Pencil Pine	Exotic	6000	1000	80	2000	110	1500	Average	Medium (16-39 yrs)	Less Significant	Good	Average	Average	Moderate	Semi-Mature
06	Cupressus sempervirens 'Aurea'	Golden Pencil Pine	Exotic	4000	1000	110	2000	190	1647	Average	Medium (16-39 yrs)	Less Significant	Good	Average	Average	Moderate	Semi-Mature
07	Cupressus sempervirens 'Aurea'	Golden Pencil Pine	Exotic	4000	1000	120	2000	180	1611	Average	Medium (16-39 yrs)	Less Significant	Good	Average	Average	Moderate	Semi-Mature
08	Cupressus sempervirens 'Aurea'	Golden Pencil Pine	Exotic	5000	1000	80	2000	120	1500	Average	Medium (16-39 yrs)	Less Significant	Good	Average	Average	Moderate	Semi-Mature
09	Cupressus sempervirens	Pencil Pine	Exotic	6000	1000	100	2000	120	1500	Average	Medium (16-39 yrs)	Less Significant	Good	Average	Average	Moderate	Semi-Mature
10	Cupressus sempervirens	Pencil Pine	Exotic	7000	1000	150	2000	210	1718	Average	Medium (16-39 yrs)	Less Significant	Good	Average	Average	Moderate	Semi-Mature

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No	Botanical Name	Common Name	Origin	Height	Canopy	DBH @ 1.4 m	TPZ	DAB	SRZ	Condition	ULE	Significance	Vigor	Structure	Form	Ret Value	Age
11	Cupressus sempervirens	Pencil Pine	Exotic	7000	1000	150	2000	210	1718	Average	Medium (16-39 yrs)	Less Significant	Good	Average	Average	Moderate	Semi-Mature
12	Brachychiton rupestris	QLD Bottle Tree	Exotic	5000	2000	150	2000	230	1785	Average	Medium (16-39 yrs)	Less Significant	Good	Average	Average	Moderate	Semi-Mature
13	Betula pendula	Silver Birch	Exotic	3000	3000	150	2000	180	1611	Average	Medium (16-39 yrs)	Less Significant	Good	Average	Average	Council	Mature
14	Prunus armeniaca	Apricot	Exotic	5000	6000	240	2880	250	1849	Average	Short (5-15 yrs)	Less Significant	Average	Poor	Average	Low	Semi-Mature
15	Prunus avium	Cherry	Exotic	5000	4000	297	3564	360	2155	Poor	Short (5-15 yrs)	Less Significant	Average	Poor	Poor	Low	Semi-Mature
16	Prunus cerasifera	Cherry Plum	Exotic	5000	3000	173	2076	350	2129	Poor	Short (5-15 yrs)	Less Significant	Average	Poor	Poor	Low	Semi-Mature
17	Pyrus domestica	Edible Pear	Exotic	7000	5000	210	2520	250	1849	Average	Short (5-15 yrs)	Less Significant	Average	Poor	Average	Low	Semi-Mature
18	-	Dead Tree	Exotic	5000	5000	222	2664	300	1996	Poor	Removal	Least Significant	Poor	Poor	Poor	Low	Dead
19	Ficus carica	Common Fig	Exotic	3000	2000	100	2000	150	1500	Poor	Short (5-15 yrs)	Less Significant	Average	Poor	Poor	Low	Semi-Mature
20	Prunus cerasifera	Cherry Plum	Exotic	3000	2000	100	2000	150	1500	Poor	Short (5-15 yrs)	Less Significant	Average	Poor	Poor	Low	Semi-Mature
21	Pyrus calleryana 'Capital'	Capital Pear	Exotic	5000	1000	120	2000	150	1500	Average	Medium (16-39 yrs)	Less Significant	Good	Average	Average	Council	Mature
22	Prunus armeniaca	Apricot	Exotic	3000	4000	53	2000	110	1500	Poor	Short (5-15 yrs)	Less Significant	Average	Poor	Poor	Low	Semi-Mature
23	Prunus persica	Peach	Exotic	3000	4000	95	2000	150	1500	Poor	Short (5-15 yrs)	Less Significant	Average	Poor	Poor	Low	Semi-Mature

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No	Botanical Name	Common Name	Origin	Height	Canopy	DBH @ 1.4 m	TPZ	DAB	SRZ	Condition	ULE	Significance	Vigor	Structure	Form	Ret Value	Age
24	Acer pseudoplatanus 'Variagata'	Variagated Sycamore Maple	Exotic	10000	8000	594	7128	560	2594	Good	Long (40 + yrs)	Highly Significant	Good	Average	Good	Neighbouring	Mature
25	Grevillea robusta	Silky Oak	Native	7000	5000	250	3000	250	1849	Average	Short (5-15 yrs)	Less Significant	Average	Poor	Average	Low	Semi-Mature
26	Betula pendula	Silver Birch	Exotic	7000	5000	158	2000	320	2051	Average	Short (5-15 yrs)	Less Significant	Average	Poor	Average	Low	Semi-Mature
27	Callistemon citrinus	Scarlet Bottlebrush	Exotic	3000	3000	150	2000	180	1611	Average	Medium (16-39 yrs)	Less Significant	Good	Average	Average	Council	Mature
28	Callistemon citrinus	Scarlet Bottlebrush	Exotic	3000	3000	150	2000	180	1611	Average	Medium (16-39 yrs)	Less Significant	Good	Average	Average	Council	Mature

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## Definitions

As per Australian Standard 4970 – 2009 – Protection of Trees on Development Sites (AS 4970):

### Tree

AS 4970 Defines a Trees as ...

1.4.6 Tree Long lived woody perennial plant greater than (or usually greater than) 3 m in height with one or relatively few main stems or trunks (or as defined by the determining authority).

Therefore, unless otherwise required by the determining authority or if it is neighbouring and could be impacted upon, we do not include any plants under this size.

## TPZ and SRZ Methodology

### Determining the Tree Protection Zone (TPZ)

The radius of the TPZ is calculated for each tree by multiplying its DBH x 12.  $TPZ = DBH \times 12$

Where - DBH = trunk diameter measured at 1.4 metres above ground; radius is measured from the centre of the stem at ground level.

A TPZ should not be less than 2 metres and no greater than 15 metres except where crown protection is required. Some instances may require variations to the TPZ.

The TPZ of palms, other monocots, cycads and tree ferns should not be less than 1 metre outside the crown projection.

This area is an estimate of the space required to maintain the health of a tree long term. It is entirely possible to work inside this Zone providing due care is exercised according to AS 4970.

### Determining the Structural Root Zone (SRZ)

The SRZ is the area required for tree stability. A larger area is required to maintain a viable tree. The SRZ only needs to be calculated when major encroachment into a TPZ is proposed.

There are many factors that affect the size of the SRZ; e.g. tree height, crown area, soil type, soil moisture etc. The SRZ may also be influenced by natural or built structures, such as rocks and footings. An indicative SRZ radius can be determined from the trunk diameter measured immediately above the root buttress using the following formula:

$SRZ \text{ radius} = (D \times 50)0.42 \times 0.64$

Where - D = trunk diameter, in m, measured above the root buttress.

The SRZ for trees with trunk diameters less than 0.15m will be 1.5m.

This is an indicative calculation which generalizes all the conditions influencing the estimate. SRZ is often less than the indicated calculation. A Non-Destructive Root Investigation (NDRI) as per AS 4970 may provide more information regarding extent of these roots.

## TPZ and SRZ Encroachment

Any encroachment into TPZ should be advised and supervised by a qualified Arborist

AS 4970 says:

### 3.3.2 Minor encroachment

*If the proposed encroachment is less than 10% of the area of the TPZ and is outside the SRZ detailed root investigations should not be required. The area lost to this encroachment should be compensated for elsewhere and contiguous with the TPZ.*

AS 4970 also says:

### 3.3.4 TPZ encroachment considerations

*When determining the potential impacts of encroachment into the TPZ, the project arborist should consider the following:*

*(a) Location and distribution of the roots to be determined through non-destructive investigation methods (pneumatic, hydraulic, hand digging or ground penetrating radar). Photographs should be taken and a root zone map prepared.*

*NOTE: Regardless of the method, roots must not be cut, bruised or frayed during the process.*

*It is imperative that exposed roots are kept moist and the excavation back filled as soon as possible.*

*(b) The potential loss of root mass resulting from the encroachment: number and size of roots.*

*(c) Tree species and tolerance to root disturbance.*

*(d) Age, vigour and size of the tree.*

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(e) *Lean and stability of the tree.*

**NOTE:** *Roots on the tension side are likely to be most important for supporting the tree and are likely to extend for a greater distance.*

(f) *Soil characteristics and volume, topography and drainage.*

(g) *The presence of existing or past structures or obstacles affecting root growth.*

(h) *Design factors.*

*Tree sensitive construction measures such as pier and beam, suspended slabs, cantilevered building sections, screw piles and contiguous piling can minimize the impact of encroachment.*

*When siting a structure near to a tree, the future growth of the tree, both above and below ground should be taken into account.*

*Precautions should be taken at the planning and design stage to minimize potential conflict between trees and new structures*

*When the root zone is reactive clay, techniques such as localized pier and beam (bridged), screw pile footings or root and soil moisture control barriers may be appropriate to minimize effects on structures.*

**NOTE:** *Collaboration may be required between the project arborist and the geotechnical or structural engineer.*

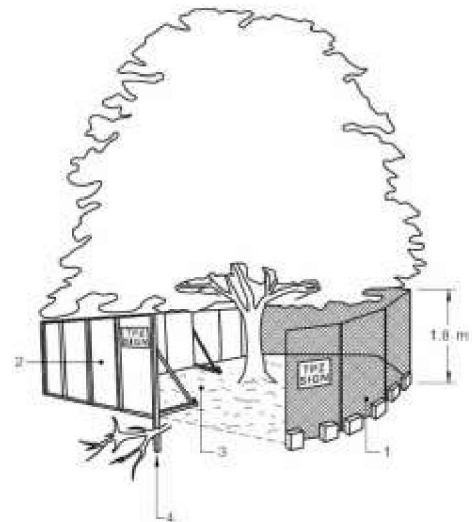
Landscapes by Design believes it is vital to ensure that construction is strong enough to withstand any encroachment by the tree as it grows. Pro-active measure like root control barriers and moisture barriers before trees grow to maximum size may be considered.

## Tree Protection Fencing

The image to the right provides an example of suitable protective fencing:

### Legend:

1. Chain wire mesh panels with shade cloth (if required) attached, held in place with concrete feet.
2. Alternative plywood or wooden paling fence panels. This fencing material also prevents building materials or soil entering the TPZ.
3. Mulch installation across surface of TPZ (at the discretion of the project arborist). No excavation, construction activity, grade changes, surface treatment or storage of materials of any kind is permitted within the TPZ. Bracing is permissible within the TPZ. Installation of supports should avoid damaging roots.



Tree Protection Fencing must be erected prior to any works of any nature commencing and before any machinery or materials are brought onto the site. Once erected this protective fencing must not be removed or altered until such time as all works associated with the construction are complete, unless approved and supervised by an Arborist. It must have signs attached to it saying "Tree Protection Zone – Stay Out" at maximum 2.4 metres centres or on each panel

Immediately following erection of the Tree Protection Fencing, the Tree Protection Zones are to be weeded and then mulched with 75 mm depth leaf mulch or similar, that has been aged for at least 12 weeks.

No trenching or excavation is to occur within this Tree Protection Zones. If underground services must be routed within the TPZ, they should be installed by directional drilling or in manually excavated trenches. The directional drilling bore should be at least 600 mm deep. The project arborist should assess the likely impacts of boring and bore pits on retained trees. A NDRI may assist in this case. See Later section.

The Tree Protection Fencing Zone should be secured to restrict access.

AS 4687 – Temporary Fencing and Hoardings specifies applicable fencing requirements. Shade cloth or similar should be attached to reduce the transport of dust, other particulate matter and liquids into the protected area. By taking a copy of this document, you acknowledge and agree that you will not use this document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Fence posts and supports should have a diameter greater than 20 mm and be located clear of roots.

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Existing perimeter fencing and other structures may be suitable as part of the protective fencing.

If it is necessary to remove the Tree Protection Fencing to allow works to be carried out it must be reinstated daily immediately following completion of works. If works are carried out within the Tree Protection Zones this work must be supervised by an Arborist. During required work suitable planking should be laid within the Tree Protection Zone to protect against compaction to the roots of the tree / trees from workers and others. It is recommended that machinery does not enter the Tree Protection Zone (see 4.2 from AS 4970 below: "*Activities generally excluded*"), however rumble boards, plates, or sheets of heavy duty materials over mulch and an impervious membrane can be used if vehicles need to move through the zone. Excavation can be carried out by machine using skilled operators briefed by and observed by an Arborist. Mini-excavators should be used and if possible, the vehicle located outside the zone with its tool arms moving within the site. In the case of a NDRI being conducted the workmen and their equipment are only in the area for a short time however extreme care must be taken to protect the trunk, canopy and roots of the tree/s.

#### Irrigation –

During warmer periods the Tree Protection Zones should be irrigated with 1 litre of clean water for every 1 cm of trunk girth measured at the soil / trunk interface on a weekly basis.

No persons, vehicles or machinery are to enter the Tree Protection Zones unless authorised to do so, preferably with permission from the Determining Authority.

No fuel, oil dumps or chemicals are allowed to be used or stored within the Tree Protection Zones; the servicing and refuelling of equipment and vehicles must be carried out away from the TPZ; no storage of material or equipment is to take place within them; nothing whatsoever, including temporary services wires, nails, screws or any other fixing device, is to be attached to any tree.

#### 4.2 ACTIVITIES RESTRICTED WITHIN THE TPZ

*Activities generally excluded from the TPZ include but are not limited to—*

- (a) machine excavation including trenching;*
- (b) excavation for silt fencing;*
- (c) cultivation;*
- (d) storage;*
- (e) preparation of chemicals, including preparation of cement products;*
- (f) parking of vehicles and plant;*
- (g) refuelling;*
- (h) dumping of waste;*
- (i) wash down and cleaning of equipment;*
- (j) placement of fill;*
- (k) lighting of fires;*
- (l) soil level changes;*
- (m) temporary or permanent installation of utilities and signs, and*
- (n) physical damage to the tree.*

#### Trunk and Branch Protection

Trees impacted upon by construction works should be protected as per the Sketch 1 below. It is suggested that suitable rubberised padding material be used under 75 by 50 hardwood timber which is strapped with galvanised tin strapping approximately 30 mm wide at 900 mm spacing from bottom of trunk upwards and nailed or screwed to the hardwood timber with 25 mm long galvanised fasteners. The rubberised padding material should be perforated to allow air to the trunk, and not soak water into itself. No nails or screws are to enter the tree trunk or branches and care must be taken to ensure that no materials bite into the tree surface, and scar or damage its surface in any way.

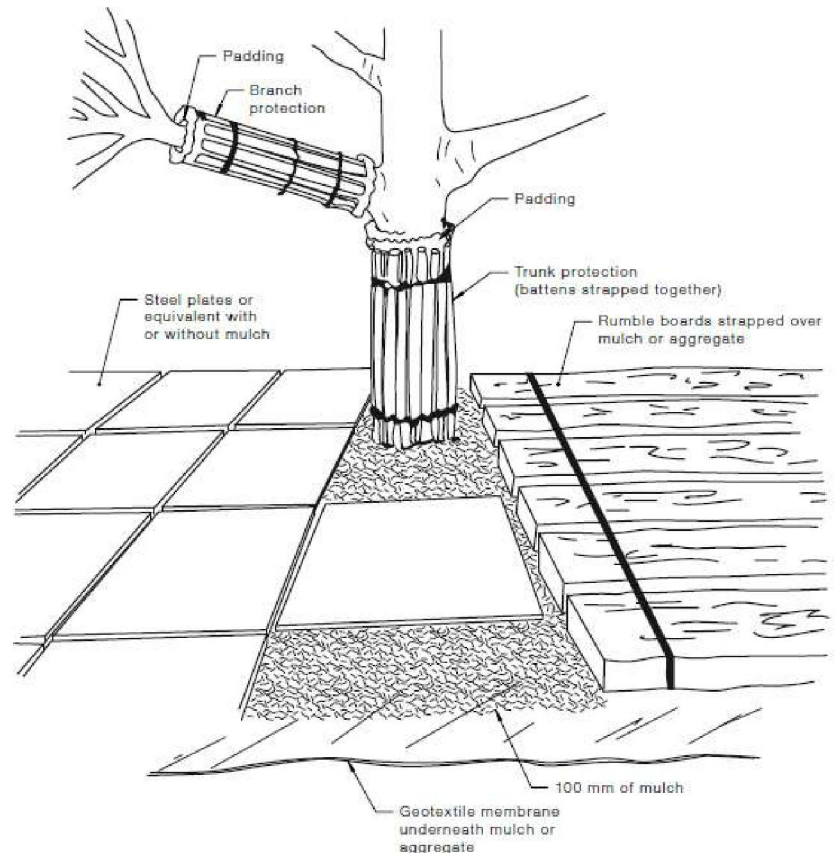
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## Ground Protection

The planking to the right in the sketch following is an example of the planking that could be used. If temporary access for machinery is required within the TPZ, ground protection measures will be required. The purpose of ground protection is to prevent root damage and soil compaction within the TPZ. Measures should include a permeable membrane such as Geo-textile fabric beneath a layer of mulch or crushed rock, below rumble boards as per sketch 1. Rubber matting and packing plywood may also be used. Under this planking or sheeting within the TPZ, a 75 mm layer of leaf mulch or similar, aged for at least 12 weeks and proven to contain no toxic substances must be installed. These measures may also be applied to root zones beyond the TPZ. Rumble boards should be of a suitable thickness to prevent soil compaction and root damage.



## Non-Destructive Root Investigation (NDRI)

A (NDRI) according to AS 4970 may be conducted to provide more information on the extent of a tree's SRZ or encroachment over 10% into TPZ. The SRZ is an indicative measure and the actual positions and extent of the roots can only be determined by an investigation. A trench is carefully excavated along a pre-determined line (for example, the edge of a proposed slab or decking posts) to a depth of at least 650 mm and no more than 300mm wide. If roots are located, they must be carefully exposed without any damage to the root. The position and size of any roots found can be photographed, recorded and mapped. If there are too many large roots or root mats found the Arborist may decide to move the trench further out from centre of trunk. A NDRI may indicate that a building can or cannot be placed in the proposed location, or that piers/stumps can be placed between roots, or that roots are not extending far enough to directly damage a building/path/pipe. The NDRI map may lead to design and engineering changes to enable a building, extensions, or earthworks that encroach into the TPZ, to proceed or be moved. Where possible the trenching is done by hand but there are times when machinery or water pressure excavation can be used under the supervision of an Arborist.

## Root Protection during Works within the TPZ

Some approved works within the TPZ, such as regrading, installation of piers or landscaping may have the potential to damage roots.

If the grade is to be raised the material should be coarser or more porous than the underlying material. Depth and compaction should be minimized.

Manual excavation is the preferred method and should be carried out under the supervision of an arborist to identify roots critical to tree stability and determine the actual extent of the SRZ. A NDRI may be used with photographs and maps to serve as a guide for designers and workers. Relocation or redesign of construction works may be required. (See preceding section)

Where the project arborist identifies roots to be pruned within or at the outer edge of the TPZ, they should be pruned with a final cut back to undamaged wood. Pruning cuts should be made with sharp tools such as secateurs, pruners, handsaws or chainsaws. Pruning wounds should not be treated with dressings or paints. It is not acceptable for roots within the TPZ to be 'pruned' with machinery such as backhoes or excavators.

Where roots within the TPZ are exposed by excavation, temporary root protection should be installed to prevent them drying out. This may include jute mesh or hessian sheeting as multiple layers over exposed roots and excavated soil profile, extending to the full depth of the root zone. Root protection sheeting should be pegged in place and kept moist during the period that the root zone is exposed.

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Other excavation works in proximity to trees, including landscape works such as paving, irrigation and planting can adversely affect root systems. The project arborist should be consulted and supervise any works.

## TPZ Encroachment Over 10%

If the proposed building footprint encroaches into the TPZ more than 10%; either the building footprint will have to change to reduce the encroachment to 10% or a NDRI could be carried out by an Arborist to determine the exact location of any roots present. Prior to a NDRI make certain to contact the Determining Authority to see if permission is required. If roots are discovered belonging to the tree that are under 40 mm diameter, they could be cut by an arborist to allow either the entire building footprint to be accommodated, or if that is not possible, a smaller redesigned building footprint to be accommodated. If the TPZ is varied following a NDRI (as per AS 4970) room must be allowed for the lost area to be compensated for elsewhere. Roots greater than 40 mm diameter and fibrous root mats or clumps greater than 50mm diameter should not be cut but need to be worked around. A well-qualified arborist may cut a root greater than 40 mm diameter, but not greater than 50 mm diameter unless given permission to cut from the Determining Authority.

Alternatively, if a NDRI shows it is impossible to vary the TPZ, alternative "tree friendly" construction methods could be employed, such as installing a building slab above grade, pier and beam methods, or building on stumps. Piers and stumps can be relocated to avoid damage to any significant roots discovered by the NDRI. These alternative building methods should be specified by a suitably qualified person.

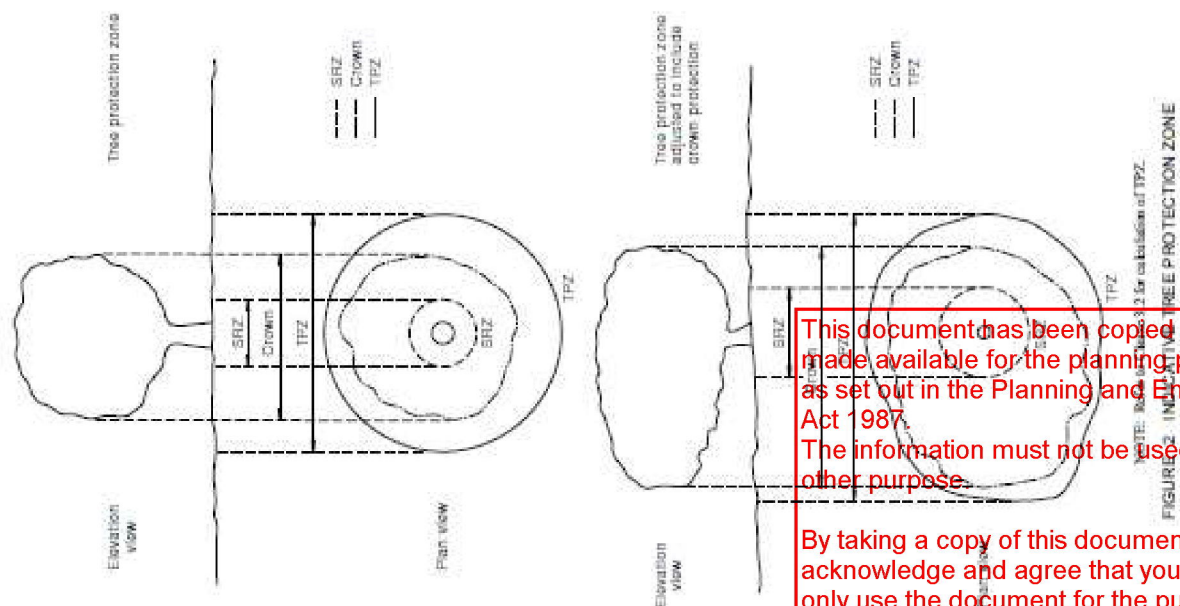
## Installing Underground Services within TPZ

All services should be routed outside the TPZ. If underground services must be routed within the TPZ, they should be installed by directional drilling or in manually excavated trenches. The directional drilling bore should be at least 600 mm deep. The project arborist should assess the likely impacts of boring and bore pits on retained trees.

For manual excavation of trenches, the project arborist should advise on roots to be retained and should monitor the works. Manual excavation may include the use of pneumatic and hydraulic tools.

## Crown protection

Tree crowns may be injured by machinery such as excavators, drilling rigs, cranes, trucks, hoarding installation and scaffolding. The TPZ may need to include additional protection of above ground parts of the tree. Where crown protection is required, it will usually be located at least one metre outside the perimeter of the crown (see Figure 2). The erection of scaffolding may require an additional setback from the edge of the crown. Crown protection may include pruning, tying-back of branches or other measures. If pruning is required, requirements are specified in AS 4373 and should be undertaken before the establishment of the TPF. NOTE: Pruning may require approval from the Determining Authority. See following section on Pruning and Removal of Trees



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## Pruning and Removal of Trees

If pruning is required, it should be carried out in accordance with Australian Standard 4373 - Pruning of Amenity Trees (AS4373) and any root pruning also as per AS 4973 – Specialist advice from a person with a minimum AQF Level 4 in Arboriculture should be sought before any root pruning occurs.

Prior to the pruning of or removal of any tree the Determining Authority, usually the local council must be consulted to be certain the pruning or removal is allowed by them and is lawful.

In any development seek approval for tree removal and encroachment into the TPZ of trees from the Determining Authority; before planning or building preparation and drawings are completed. This is to ensure that building or other drawings are not prepared based on this report, when a relevant Determining Authority does not allow the trees nominated in our report to be removed, or their TPZ's encroached into.

## Scaffolding

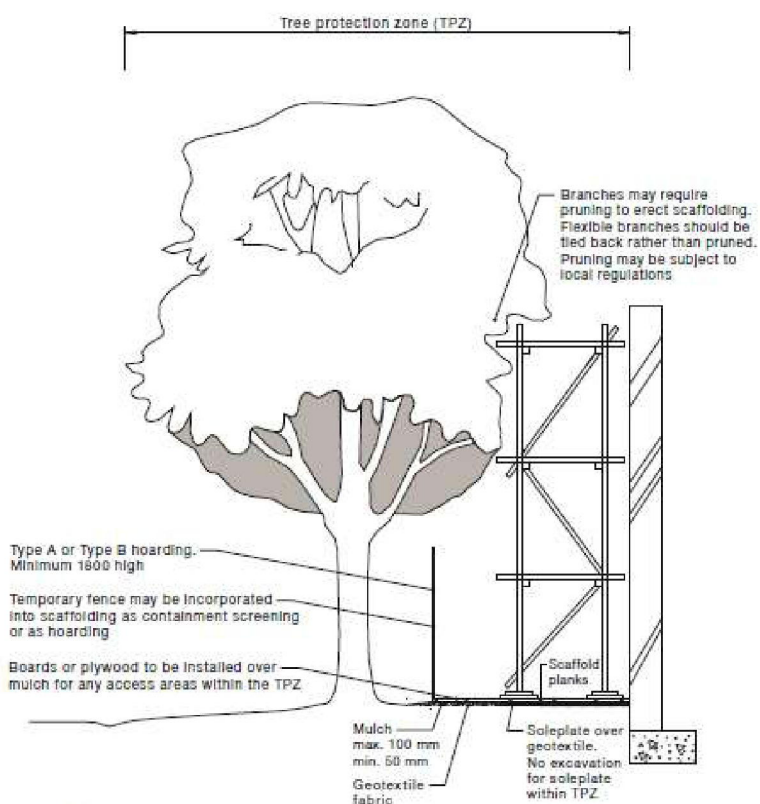
Where scaffolding is required, it should be erected outside the TPZ. Where it is essential for scaffolding to be erected within the TPZ, branch removal should be minimized. This can be achieved by designing scaffolding to avoid branches or tying back branches. Where pruning is unavoidable it must be specified by the project arborist in accordance with AS 4970 and 4373.

NOTE: Pruning works may require approval by the determining authority.

Ground below the scaffolding should be protected by boarding (e.g. scaffold board or plywood sheeting) as shown in Trunk and Branch Protection earlier. Where access is required, a board walk, or other surface material should be installed to minimize soil compaction. Boarding should be placed over a layer of mulch and impervious sheeting to prevent soil contamination. The boarding should be left in place until the scaffolding is removed.

There is a risk of materials falling off the scaffold decking and into the TPZ, damaging the tree. Care must be exercised, and solid walls or mesh barriers be installed on any scaffolding over the TPZ.

Impervious membrane, mulch, boards or plywood must be used under the scaffold soleplates and no excavation is to be performed for the soleplates. It may be possible to erect secondary fencing inside the general TPZ fencing to further protect the tree from damage.



NOTE: Excavation required for the insertion of support posts for tree protection fencing should not involve the severance of any roots greater than 20 mm in diameter, without the prior approval of the project arborist.

FIGURE 5 INDICATIVE SCAFFOLDING WITHIN A TPZ

## Parameters – Used as required:

Condition, Vigour, Structure and Form - Each has four parameters: Excellent, Good, Average and Poor

SULE – Safe Useful Life Expectancy - Has four parameters – Long (40 + years), Medium (16 to 39 years), Short (5 to 15 years) and Removal

Significance - Has five parameters – Most, Highly, Less, Least and Hazardous

Age – Has four parameters:

Young – Less than one third of expected life span

Semi Mature – Into second third of expected life span

Mature – Into last third of expected life span

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**Over Mature** – Beyond normal life span or age-related state of decline

**Retention Value** – has nine parameters High, Moderate, Low, Weed, Neighbouring, Owners Choice, Damaging, Council and Hazardous when required following another parameter. Generally Neighbouring Trees must be retained and protected unless suitable arrangements can be made for their removal with the owner, and that removal is legal. Council trees to streets or neighbouring parks are that Council's responsibility. After a tree report is submitted that includes Council trees, it is suggested that council should inspect their trees to ensure they are safe and worthy of retention.

## Definitions - Terms:

**Acute Branch Crotch** – Angle on the inner side of the branch crotch is less than 90 degrees.

## Definitions - Terms:

**Acute Branch Crotch** – Angle on the inner side of the branch crotch is less than 90 degrees.

**Apical Dominance** - the main central stem of the plant is dominant over the other branches.

**Bacterial Wet Wood** - is a bacterial disease of certain trees, primarily elm, cottonwood, poplar, boxelder, ash, aspen, fruitless mulberry and oak.

**Branch Union** – point where a branch originates from the trunk or another branch; may be referred to as a crotch.

**Bracket Fungi or Shelf Fungi** - are the fruiting structures of many different fungi that cause heartwood decay in standing trees.

**Co-dominant Stems** – 'Co-dominant stems are two stems or trunks of equal size that develop from 2 apical buds at the tip of the same stem. Each co-dominant stem is a direct extension of the stem below its origin. There are no branch collars or trunk collars at the base of co-dominant stems' (Dr Alex Shigo) – Similar to **Bi-furcated** meaning two, **Tri-furcated** meaning three and **Quadrifurcated** meaning four.

**Compartmentalise** – (CODIT: Compartmentalization of Decay in Trees. Dr Alex Shigo) natural process of defence in trees by which they wall off decay in wood and heal wounds.

**Crown Gall** - plant disease probably caused by the bacteria or invasion of some sort into the tree

**Dead Wooding** Removal of dead, dying and diseased branches throughout the crown.

**De-current** – growth habit developing a more rounded form with multiple scaffold branches

**Determining Authority** – Usually refers to the Council responsible for the property being assessed but includes any government or semi-governmental authority that has control or liability under common law, and the role to encourage and enforce the developmental process including legislation relating to trees and plants.

**Epicormic Shoots** - An epicormic shoot is a shoot growing from an epicormic bud which lies underneath the bark of a trunk, stem, or branch of a plant. In older wood, epicormic shoots can result from severe defoliation or radical pruning.

**Etoliation** is a process in plants grown in partial or complete absence of light. It is characterized by long, weak stems; smaller, sparser leaves due to longer internodes; and a pale-yellow colour (chlorosis).

**Ex-current** - growth habit with pyramidal crown and a central leader

**Fall Zone** – area under a tree or adjacent to it where if it failed it could impact upon.

**Frass** – Granular wood particles produced by borer insects that can be fine, medium or coarse depending on the type of insect.

**Flush Cut** - Pruning technique in which both branch and stem tissue are removed; generally considered poor practice. Flush cuts can allow decay to enter back into the main trunk or branch.

**Gall** - abnormal outgrowth of tissues and can be caused by various parasites, from fungi and bacteria, to insects and mites. Sometimes called a burl.

**Ground Heaving** – ground lifting or heaving as the root plate of a trees moves.

**Hedges** – Are not assessed as trees; therefore, a canopy dimension is represented in drawings not the TPZ.

**Included Bark** - bark that becomes embedded in a crotch between branch and trunk or Co-Dominant Stems and causes a weak structure.

**Indigenous** – a plant occurring naturally in the area or region of the subject site.

**Kino Sap** oozing from a tree caused by structural damage and / or disease or pests.

**Later Growth** – growth formed later in a tree's life cycle with perhaps poor attachment.

**Obtuse Branch Crotch** – where the angle on the inner side of the union is greater than 90 degrees.

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Phototropism or Phototropic Lean - is the phenomenon in which plants follow or grow towards a light source, most commonly the sun.

Picus Tomograph - used for tree risk assessments in order to measure the thickness of the residual wall of trees with internal defects such as cavities or decay non-invasively with sound waves sent through the tree.

Reaction Wood - tree wood formed as a result of mechanical stress helping to provide strength to affected areas as in leaning trees, wind exposure, over weighting, compartmentalisation of decay etc. A sign a tree could fail.

Scaffold Branch - the permanent or structural branches of a tree

Senescence - the condition or process of growing old especially the condition resulting from the transitions and accumulations of the deleterious aging process. Senescent

Torsional Loading - When a tree generally by the wind has had part of its structure twisted as it grows.

?? - After a tree's name means identity of species may not be exact.

Tree - As defined by AS 4970: A long lived woody perennial plant greater than (or usually greater than) 3 m in height with one or relatively few main stems or trunks (or as defined by the determining authority). Landscapes by Design believes that the definition is too loose and too general to include all the plants that we would include in the definition of a tree, however it serves to encompass most plants that we assess. We also assess where required, neighbouring plants other than trees.

## Disclaimer etc

No examination of any sort has been carried out to the root systems of these trees. Given factors like environmental, vegetative and other overlays and local or other planning controls it is difficult to accommodate or satisfy all parties when assessing trees and other vegetation. It is very difficult to establish clear outcomes and impossible to determine that a tree can be deemed safe under all circumstances. No guarantee can be given that a tree is totally safe or will remain healthy given short-term adverse weather conditions or long term climatic conditions or other environmental and physical factors. No guarantees can be given for any part of a trees current or future stability. The writer and Landscapes by Design Pty Ltd does not accept any responsibility for any tree or part of it assessed, with regard to its ongoing stability and safety, or its capacity to damage property, other assets or people.

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Page 175 of 175