



# Application for a Planning Permit

Lodgement Date: **17 June 2025**  
 Application Number: **PLA0105/25**  
 Lodgement Method: **Online**  
 Original Permit Number: **Not Applicable**

- ◆ Original Permit Number only relates to Amendment Applications
- ◆ All information in this form was submitted by the Applicant at the time of Lodgement.

## The Land

Property Address\* **36 Contingent Street TRAFALGAR VIC 3824**  
 Land Legal Description\* **V 8297 F 938 Lot 1 TP 232892 Trafalgar Township**  
 Other Related Property  
 Other Related Land

## The Proposal

Category\* **Extension to an existing dwelling/ancillary bldg**  
 Proposal\* **The Trafalgar Uniting Church has an existing toilet block at the rear (east) of the building. These toilets are old, difficult to maintain and not very accessible for people with disabilities. The proposed extension is to add new toilets to the rear of the Church including a meeting room. The property is covered by Heritage Overlay HO329. The attachments include the proposed design including elevations, the Heritage Impact Statement and title plans etc.**  
 Estimated Cost\* **\$300000.00**

## Application Information

Pre-Application Meeting\* **Yes**  
 Existing Land Use\* **Place of Assembly**  
 Encumbrances on Title\* **No**

## Applicant and Owner Details

Applicant Details\*

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Surname/Company:

First Name:

Postal Address:

Mobile Phone:

Work Phone:

Home Phone:

Email Address:

Advertised

### Agent/Contact Details

Surname/Company:

First Name:

Postal Address:

Mobile Phone:

Work Phone:

Home Phone:

Email Address:

### Owner Details\*

Surname/Company:

First Name:

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### Attachment Details

Planning Application Covering Letter (DOC-25-61136)

00770191960182025060523430001 (DOC-25-61137)

00770191960012025060523430001 (DOC-25-61138)

Missing Attachments (DOC-25-61139)

Page 1 of plans (DOC-25-61140)

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### Applicant Declaration

I understand and declare that:

- I am the Applicant;
- all information provided within this application is true and correct;
- the property/land owner (if not myself) has been notified of the application.

*I agree to the declaration terms\**

Yes

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The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application.

These third parties generally include, but are not limited to:

Transport Infrastructure Agencies such as VicRoads and VLine

Energy/Utilities Providers

Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

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## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 08297 FOLIO 938

Security no : 124125124400V  
Produced 06/06/2025 09:43 AM

### LAND DESCRIPTION

Lot 1 on Title Plan 232892A (formerly known as part of Crown Allotment 6  
Section 11 Township of Trafalgar Parish of Moe).  
PARENT TITLE Volume 01125 Folio 872  
Created by instrument B104241 18/11/1960

### REGISTERED PROPRIETOR

Estate Fee Simple

### ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section  
24 Subdivision Act 1988 and any other encumbrances shown or entered on the  
plan set out under DIAGRAM LOCATION below.

### DIAGRAM LOCATION

SEE TP232892A FOR FURTHER DETAILS AND BOUNDARIES

### ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 36 CONTINGENT STREET TRAFALGAR VIC 3824

DOCUMENT END

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Document Type	<b>Plan</b>
Document Identification	<b>TP232892A</b>
Number of Pages (excluding this cover sheet)	<b>1</b>
Document Assembled	<b>06/06/2025 09:43</b>

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TITLE PLAN		EDITION 1		TP 232892A						
Location of Land			Notations							
Parish: MOE										
Township: TRAFALGAR										
Section: 11										
Crown Allotment: 6 (PT)										
Crown Portion:										
Last Plan Reference:										
Derived From: VOL 8297 FOL 938			ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN							
Depth Limitation: NIL										
Description of Land / Easement Information			THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED: 01/12/1999 VERIFIED: CL							
<p>This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.</p> <p>By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited</p>										
<table><tr><td colspan="2">TABLE OF PARCEL IDENTIFIERS</td></tr><tr><td colspan="2">WARNING: Where multiple parcels are identified on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962</td></tr><tr><td colspan="2">PARCEL 1 = CA 6 (PT)</td></tr></table>					TABLE OF PARCEL IDENTIFIERS		WARNING: Where multiple parcels are identified on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962		PARCEL 1 = CA 6 (PT)	
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WARNING: Where multiple parcels are identified on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962										
PARCEL 1 = CA 6 (PT)										
LENGTHS ARE IN LINKS		Metres = 0.3048 x Feet Metres = 0.201168 x Links								
Page 6 of 21				Sheet 1 of 1 sheets						

# Planning Application Covering Letter

**Scope** – Extension of the Trafalgar Uniting Church to add toilets and a meeting room

**Location** – 36 Contingent Street Trafalgar (TP232892A)

**Applicable Heritage Overlay** – HO329

**Project Purpose** – The current 1950's era toilet block behind the Church (east side) are becoming difficult to maintain and not consistent with modern standards or expectations. Being separate from the Church requires able bodied people and people with disabilities to exit the Church in sometimes hostile weather conditions to use the facilities. The proposed extension will provide direct access at the same floor level to toilets without the need to leave the building bringing both safety and comfort to the public.

## Pre-Planning Activities

The following actions have been taken to support this Planning Application.

- Prepared a detailed design of the proposed extension (attached)
- Conducted a site survey
- Conducted soil testing
- Prepared Engineering design for footing/flooring
- Engaged Extent Heritage to prepare a Heritage Impact Statement (attached)
- Held a pre-planning meeting with [redacted] of BBSC on 11<sup>th</sup> June 2025

## Response to Heritage Overlay 43.01-8 Decision Guidelines

The BBSC is required to consider the following Decision Guidelines. Our response to these guidelines is detailed below and much of the response is based on the Heritage Impact Statement (HIS) provided. The 43.01-8 clauses are:

- The Municipal Planning Strategy and the Planning Policy Framework  
*BBSC will assess this proposal within the Planning Policy Framework*
- The significance of the heritage place and whether the proposal will adversely affect the natural or cultural significance of the place.  
*The Trafalgar Uniting Church was built in 1958 by architect Keith Reid. This building and surrounding building are included in HO329 as detailed in the HIS. The proposed project will not alter the form of the building or impact the natural/cultural significance of the place. The building will continue to function as a place of Worship and in fact is likely to be used more by other community groups because of the upgraded facilities. Page 23 and 24 of the HIS details the consultants response.*
- Any applicable statement of significance (whether or not specified in the schedule to this overlay), heritage study and any applicable conservation policy.  
*Refer to the Statement of Significance in Section 4 of the HIS and page 24.*
- Any applicable heritage design guideline specified in the schedule to this overlay.  
*Section 3 of the HIS details the relevant Heritage Designations and Controls.*

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- Whether the location, bulk, form or appearance of the proposed building will adversely affect the significance of the heritage place.  
*The proposed extension is at the rear of the building (east) so it has minimal impact on the front/street view of the existing building. Section 6 of the HIS provides the detailed Physical Description of the current building and section 8 provides the Assessment of the Heritage Impact which is minimal. This is addressed on page 25 of the HIS.*
- Whether the location, bulk, form and appearance of the proposed building is in keeping with the character and appearance of adjacent buildings and the heritage place.  
*The proposed design and exterior of the extension was guided by our HIS consultants who applied the guidelines to ensure the new build appears as such and does not try to replicate or overtake the existing building façade or style. Refer page 25 of the HIS.*
- Whether the demolition, removal or external alteration will adversely affect the significance of the heritage place.  
*Minimal demolition is required which is at the rear of the building, refer page 25 of the HIS.*
- Whether the proposed works will adversely affect the significance, character or appearance of the heritage place.  
*As previously stated, the extension is at the rear of the building and will have minimal impact on the existing building thus not altering the appearance of significance of the building. Section 9 the Conclusion in the HIS summarises the findings.*
- Whether the proposed subdivision will adversely affect the significance of the heritage place.  
*Not applicable*
- Whether the proposed subdivision may result in development which will adversely affect the significance, character or appearance of the heritage place.  
*Not applicable*
- Whether the proposed sign will adversely affect the significance, character or appearance of the heritage place.  
*No signage included so not applicable.*
- Whether the lopping or development will adversely affect the health, appearance or significance of the tree.  
*No tree removal or lopping involved in the extension*
- Whether the location, style, size, colour and materials of the proposed solar energy  
*The current scope doesn't include solar panel but if they were to be included they'd be horizontally mounting on the flat roof so not visible from the street or sides.*

## Material Schedule

Materials and colours are detailed on page 11 of the attached Plan.

*Peter Kingwill, Treasurer, Trafalgar District Uniting Church*

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*The Uniting Church in Australia*  
**TRAFALGAR DISTRICT**

22<sup>nd</sup> July 2025

Attention:                   , Senior Statutory Planning Officer

**Re: Request for further information re PLA0105/25 (Dated: 14/07/2025)**

**Planning Report**

1. The place of assembly (36 Contingent Street Trafalgar) is currently used as a place of Worship by Uniting Church members. The proposed works are primarily designed to improve the safety and amenity for existing Church members and visitors. There is no planned or foreseen increase in patrons as a result of having new toilets. Therefore, no increase in car parking requirements is needed. The Church is also now only used once per fortnight whereas previously it was weekly.

**Amended Plans Required**

2. An amended site plan (A102) is included in the attached revised Plans [TUC(244800)\_2023lt-OI].
3. An amended block plan (A105) is included in the attached revised Plans.
4. The attached revised plans (A109) now include the site AHD levels from our site survey.
5. The elevations and dimensions have been amended in the attached revised Plans.

**Notes/Concerns**

- As described in item one above there is no change to the number of patrons using the site.
- A102 and A105 now include the new extension in a different colour and the location of the old toilet block.
- Elevation E on A106 now includes the existing toilet block, dimensions are on A109, A110 & A111.

Please feel free to contact me for any further clarifications.

Regards

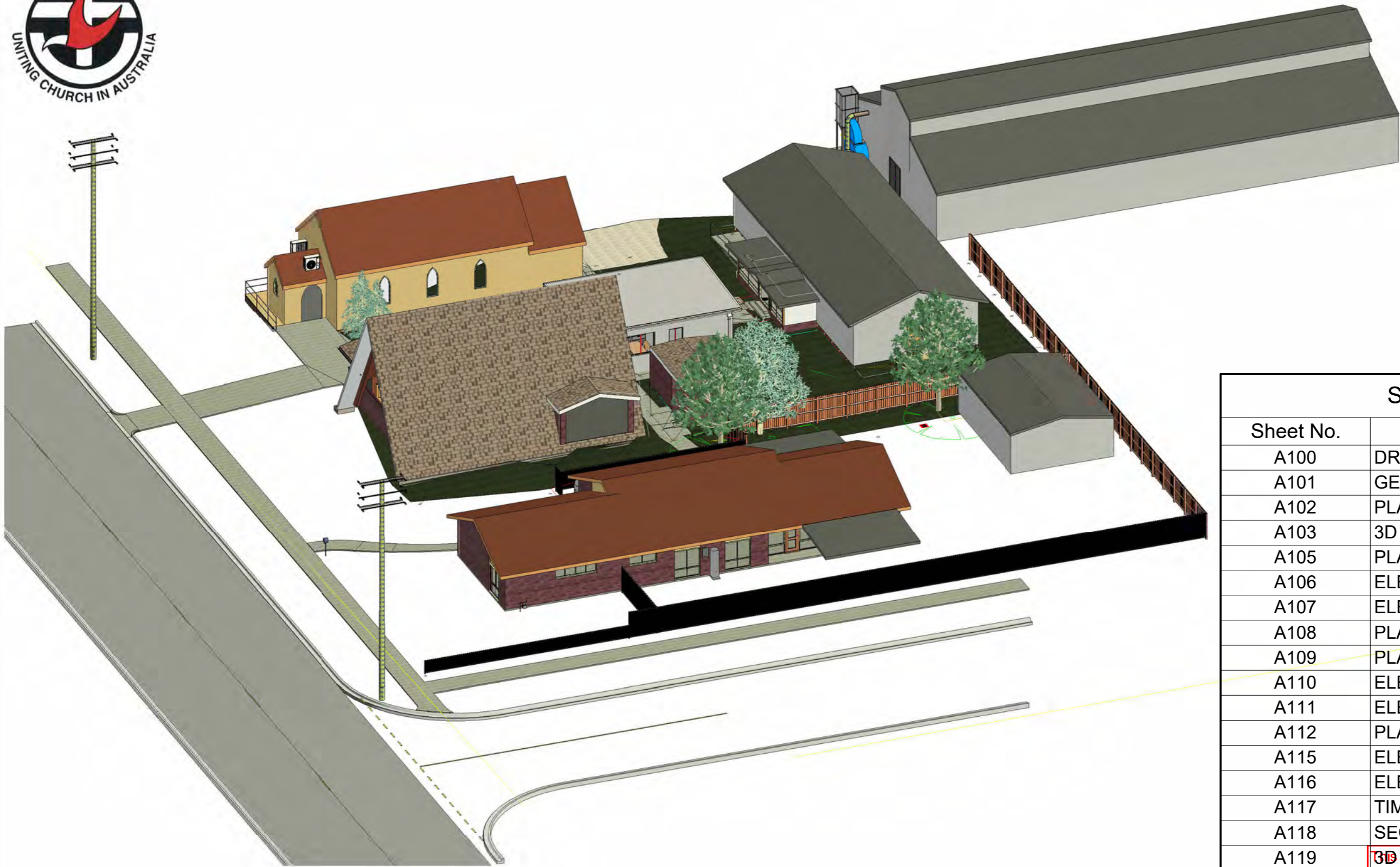
Treasurer, Trafalgar District Uniting Church

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Sheet List

Sheet No.	Sheet Name
A100	DRG INDEX
A101	GENERAL NOTES
A102	PLAN - SITE
A103	3D CONCEPT (Exist Conditions)
A105	PLAN - BLOCK
A106	ELEVATIONS Ex. - SHT 1 OF 2
A107	ELEVATIONS Ex. - SHT 2 OF 2
A108	PLAN - DEMO
A109	PLAN - PROPOSED
A110	ELEVATIONS - PROP.
A111	ELEVATIONS - PLANNING
A112	PLAN - FACILITIES
A115	ELEVATIONS - INTERNAL
A116	ELEVATIONS - OFFICE (INT)
A117	TIMBER - NOMINAL FIXINGS
A118	SECTION - LONG (TYP.)
A119	3D VIEWS

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No.	Description	Date

**Trafalgar Uniting Church**  
**36 - 38 Contingent Street**  
**Trafalgar, VIC 3824**

Prop. Ext'n to Ex. Worship Complex (Class 9b) Heritage

**DRG INDEX**

Project number	244800
Date	Jan 2025
Drawn by	
Checked by	
Scale	

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SITE NOTES

WATER SUPPLY:

Contract allows for water tapping for house supply to be taken from existing main in front of property not more than 9.0m away. The owner is required to provide such extension of water main as necessary to provide main in front of property. Where water supply main cannot be made available, a rainwater tank system may be included in contract as a variation.  
NOTE - The owner is to supply temporary water facilities for building purposes where house supply will be by tanks or where water supply is not available prior to commencement.

GAS SUPPLY:

The contract allows for the gas main of the Local Supply to be available at the site. Where gas is not available, special equipment and reticulation may be included as a variation to the Contract at the Owner's request, this will not include actual connection or "bottled gas" facilities.

ELECTRICITY SUPPLY:

The contract allows for the power supply to be connected to the dwelling directly from the authorities supply pole not more than 18m away. Any further extension costs or heavier cable requirements due to low voltage areas are to be carried out at the expense of the Owner.

SEPTIC SYSTEM/SEWER:

The Contract allows for septic sewer system to be provided subject to the conditions stipulated by the Municipal Health inspector in regard to type size and method of installation. Pumps or filter bed systems not included in contract Sewer where main is existing to be carried out to M.M.B.W. or Local Authority's requirements.

ACCESS/OBSTRUCTIONS:

The Contract allows for the site to be clear of obstructions likely to interfere with building operation, and to be satisfactorily accessible for vehicles to deliver materials. This is to be made available by Owner at his expense where required, prior to the commencement of building operations.

CHECK SURVEY:

Where boundary survey pegs or defined boundaries do not exist, a check survey will be required to be provided by the Owner at his expense prior to commencement of building operations.

FENCING:

The site will be fenced as specified to those boundaries defined in the 'Sale of Land Act' - Section 32 Point 6. The owner is required to have removed all existing fencing or obstructions along boundaries required to have a new fence.

SITE CONDITIONS:

The owner should take care not to significantly alter the foundation soil moisture conditions e.g. by allowing trees to grow near the building walls. The position of sewerage and storm water drains as shown on site plan are indicative only.  
Subject to the approval of the local authority.  
Excess soil to be removed from site. All vegetation and organic materials to be scraped clear of slab area. Fill as required to slab area

GENERAL NOTES

1. GENERAL

- 1.1 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE, ALL DIMENSIONS & HEIGHTS ARE TO BE SITE CHECK & VERIFIED BY THE CLIENT & BUILDER BEFORE COMMENCEMENT OF CONSTRUCTION OR ORDERING SUPPLY'S FROM MANUFACTURERS.
- 1.2 MATERIALS & WORK PRACTICES SHALL COMPLY WITH THE BCA AND OTHER RELEVANT CODES REFERRED TO IN THE NCC.
- 1.3 THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY RELEVANT STRUCTURAL AND/OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS RELATING TO THIS PROJECT.
- 1.4 THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW & EXISTING STRUCTURES DURING ALL WORKS.

2. FOOTINGS

- 2.1 REFER GEOTECHNICAL ASSESSMENT REPORT.
- 2.2 CONCRETE TO BE Fc=20MPa GRADE UNLESS NOTED OTHERWISE.
- 2.3 DIMENSIONS & REINFORCEMENTS SHOWN ARE MINIMUM REQUIREMENTS OF AS2870.1.
- 2.4 OWNERS ATTENTION IS DRAWN TO APPENDIX A OF AS 2870.1 "PERFORMANCE REQUIREMENTS & FOUNDATION MAINTENANCE".
- 2.5 FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES.

3. TERMITE TREATMENT

- 3.1 WHERE REQUIRED TERMITE TREATMENT TO COMPLY WITH AS 3660.1

4. DRAINAGE

- 4.1 STORMWATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE.
- 4.2 SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY REQUIREMENTS.

5. BRICKWORK

- 5.1 PROVIDE WALL TIES TO BRICKWORK AT MAX. 600mm CTRS IN EACH DIRECTION & WITHIN 300mm OF ARTICULATION JOINTS.
- 5.2 SPACING OF WALL TIES TO TOP AND SIDES OF OPENING TO BE HALVED.
- 5.3 IN AREAS LESS THAN 1Km FROM THE SEA OR IN HEAVY INDUSTRIAL AREAS WALL TIES SHALL BE EITHER: GALVANIZED SHEET STEEL MIN. 600, OR GALVANIZED WIRE MIN. 470G/m2, OR GRADE 316 S/STEEL, OR ENGINEERED POLYMER TIES.

6. TIMBER

- 6.1 PROVIDE SUB-FLOOR VENTILATION TO TIMBER FLOORS TO ACHIEVE 7300mm2/METRE RUN OF PERIMETER WALL.
- 6.2 PROVIDE MINIMUM CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150mm FOR FLOOR WITH STRIP FLOORING OR 200mm FOR FLOORS WITH PARTICLEBOARD FLOORING.
- 6.3 DESIGN WIND SPEED: WIND REGION 'A' NORMAL-TERRAIN CATEGORY 2  
Vs=38m/s Vu=50m/s  
Mt=1.0 Mi=1.0 WIND CLASSIFICATION='N2'  
SUMMER EXTREME HIGH=42°C. WINTER EXTREME LOW=2°C.  
60% RELATIVE HUMIDITY OUTDOORS SUMMER  
RELATIVE HUMIDITY INDOORS YEAR ROUND=80% @ APPROX. 40C.  
ROOF LOAD: 1.1 kPa LIVE LOAD & ASSUMED 0.3 kPa DEAD LAOD

7. WET AREAS

- 7.1 ALL WET AREAS TO COMPLY WITH NCC VOL 2 PART 3.8. WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES AND 150mm ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75mm OF THE WALL.
- 7.2 ALL SANITARY COMPARTMENTS TO COMPLY WITH PART 3.8.3.3 OF ADMNT 3 OF NCC
- 7.3 PROVIDE TEMPERATURE CONTROL DEVICE TO REGULATE H.W.S. TO BATHROOM & ENSUITE TO CONFORM WITH PLUMBING & DRAINAGE CODE.

8. INSULATION

- 8.1 THERMAL INSULATION OF DWELLING TO COMPLY WITH AS2627.1 - 1993
- 8.2 R VALUES AS PER NCC VOL 2 VIC TABLE 2 EXTERNAL WALLS, ROOF OR CEILING (REF. 6 STAR ENERGY RATING FOR VALVES)
- 8.3 SARKING MUST HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 5.

9. GLAZING

- 9.1 ALL GLASS TO CONFORM WITH AS1288 - 1994 & WINDOWS IN BUILDING AS2047.

10. SMOKE DETECTORS

- 10.1 SMOKE DETECTORS TO BE INSTALLED AS PER NCC VOL 2 PART 3.7.2 AND TO COMPLY WITH AS3786

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No.	Description	Date

Trafalgar Uniting Church  
36 - 38 Contingent Street  
Trafalgar, VIC 3824

Prop. Ext'n to Ex. Worship Complex (Class 9b) Heritage

GENERAL NOTES

Project number	244800
Date	Jan 2025
Drawn by	
Checked by	- Scale

TRUE  
NORTH

MGA 94 Co-ordinates  
Zone 55

SITE INDEX

Existing Buildings

Existing Pathways

Proposed Building

Proposed Pathways

Note:

LANDATA®, Land Use Victoria

No works including excavations, footings, drainage, eaves, etc to encroach over title boundary. Owner to confirm prior to commencement.

Certificate of Title Details

Advertised

Volume :-Folio :-

36 Contingent Street (2 Parcels)

Standard Parcel Identifier (SPI): 1\TP232892

Refer Title Plan No. TP232892A

Standard Parcel Identifier (SPI): 1\TP5677354

Refer Title Plan No. TP5677354L

Volume :-Folio :-

38 Contingent Street

Standard Parcel Identifier (SPI): 1\TP080400

Refer Title Plan No. TP080400U

for Land Property Data

LANDATA®, Land Use Victoria



- 36 Contingent Street Trafalgar VIC 3824 :-
1. Shire of BAW BAW Council Property No. 2567

2. This Property has two Parcels

3. Land Includes :-  
Commercial 1 Zone (C1Z)  
General Residential Zone (GRZ) One (1)

4. Planning Overlays found :-  
Development Contributions Plan Overlay (DCPO) One (1)  
Heritage Overlay (HO) -  
Heritage Overlay Schedule (HO329)  
Heritage Overlay Schedule (HO335)
- 38 Contingent Street Trafalgar VIC 3824 :-
1. Shire of BAW BAW Council Property No. 27397

2. This Property Land Includes :-  
General Residential Zone (GRZ) One (1)

3. Planning Overlays found :-  
Development Contributions Plan Overlay (DCPO) One (1)  
Heritage Overlay (HO) -  
Heritage Overlay Schedule (HO329)  
Heritage Overlay Schedule (HO335)

4. If Damaged during Construction Period, Make Good Drive Way Crossover as per Council Std Engr. Drawings

01 | Site Plan

1 : 500

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PLAN - SITE

Project number

Date

Drawn by

Checked by

244800

Jan 2025

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As indicated

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Trafalgar Uniting Church

36 - 38 Contingent Street

Trafalgar, VIC 3824

Prop. Ext'n to Ex. Worship Complex (Class 9b) Heritage

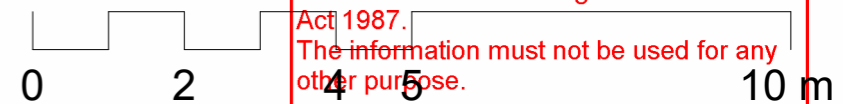
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Plot Date:- 7/08/2025 1:32:50 AM



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No.	Description	Date

**Trafalgar Uniting Church**  
**36 - 38 Contingent Street**  
**Trafalgar, VIC 3824**  
Prop. Ext'n to Ex. Worship Complex (Class 9b) Heritage

3D CONCEPT (Exist Conditions)	
Project number	244800
Date	Jan 2025
Drawn by	93
Checked by	-
Scale	A103

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Page 93 of 21



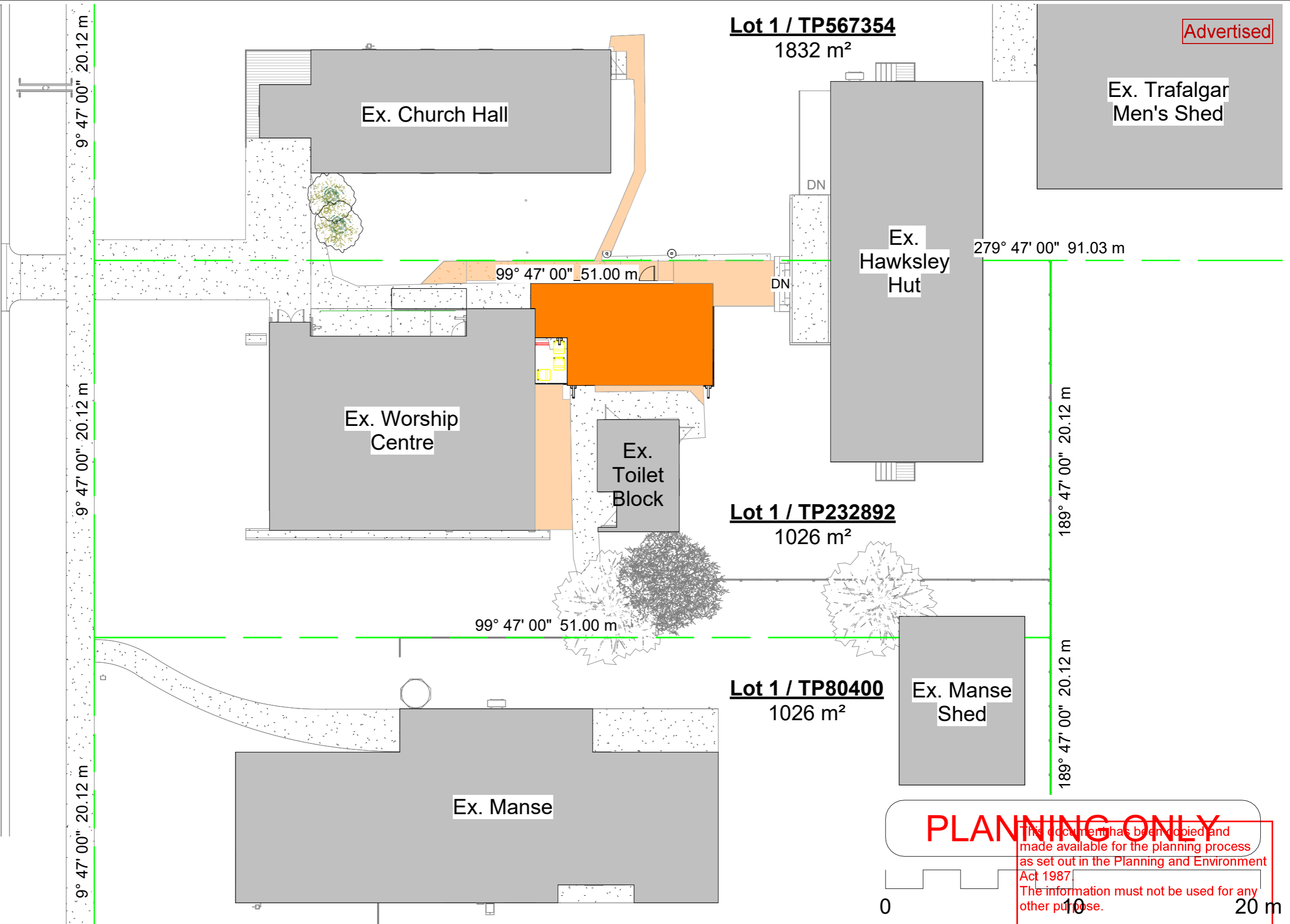
MGA Co-ordinates

SITE INDEX

- Existing Buildings
- Existing Pathways
- Proposed Building
- Proposed Pathways

Contingent Street

01 Site Block  
1 : 200



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PLAN - BLOCK

Project number	244800
Date	Jan 2025
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Checked by	-
Scale	As indicated



01 **Elevation N**  
1 : 100



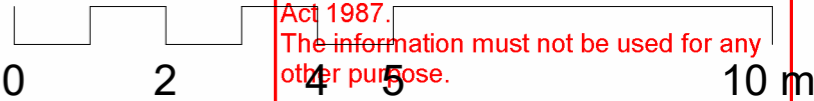
02 **Elevation E**  
1 : 100



03 **Elevation W**  
1 : 100

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No.	Description	Date

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Prop. Ext'n to Ex. Worship Complex (Class 9b) Heritage

**ELEVATIONS EX - SHT 1 OF 2**

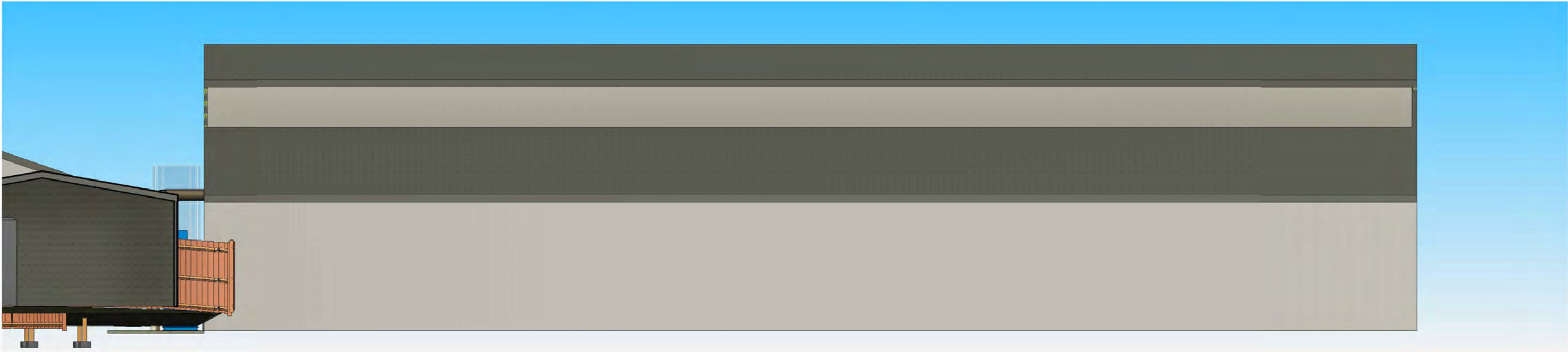
Project number	244800
Date	Jan 2025
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Scale	1 : 100

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Page 15 of 21  
A106



01 | Elevation S.1  
1 : 100

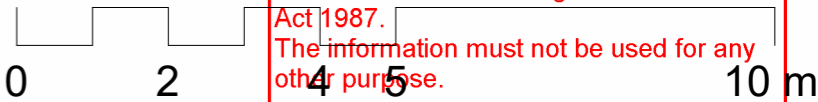
For Continuation Refer Above



02 | Elevation S.2  
1 : 100

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No.	Description	Date

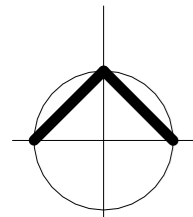
**Trafalgar Uniting Church**  
**36 - 38 Contingent Street**  
**Trafalgar, VIC 3824**

Prop. Ext'n to Ex. Worship Complex (Class 9b) Heritage

**ELEVATIONS EX - SHT 2 OF 2**

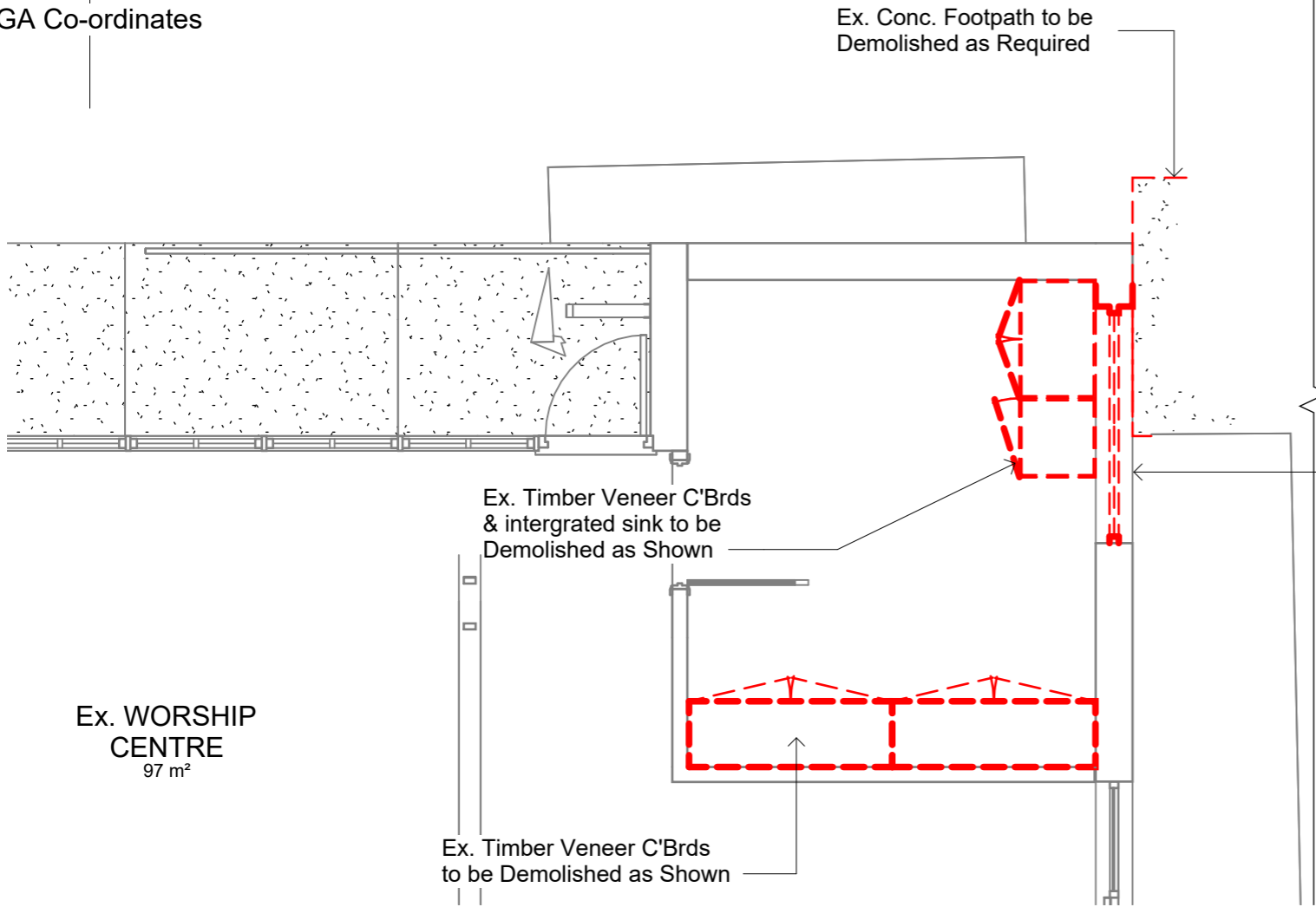
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Date	Jan 2025
Drawn by	98
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Scale	1 : 100

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PROJECT  
NORTH

MGA Co-ordinates



DEMOLITION NOTES

Advertised

- 1. Make Good All Affected Surfaces, Joinery, Walls, Ceilings & Floors By Demolition Works.
- 2. Remove All Water Damaged, Broken And Discoloured Ceiling Or Wall Tiles And Replace.
- 3. Terminate And Strip-Out Existing Services As Required Prior To Demolition.
- 4. Provide All Neccessary Hoarding & Dust Protection To Existing Residence During Demolition.
- 5. Demolition Contractor Shall Allow For Disconnecting, Sealing Off, Redirection, Relocation & Make Safe All Services Encountered In Demolition That Are Not Documented.
- 6. Demolition Contractor Shall Comply With The Following Australian Standards AS2436 1981 Guide To Noise Control ... And Demolition Sites AS2601 1991 The Demolition Of Structures.
- 7. Demolition Contractor Shall At All Times Take All Reasonable Steps To Minimise Noise, Dust, Debris And Obstructions, Arising From The Demolition Works.
- 8. Demolition Contractor Shall Be Responsible For Ensuring Adequate Support, Temporary Or Otherwise Is Provided For All Existing Walls, Beams, Columns Etc. During All Of The Demolition.
- 9. Contractors Shall Leave Site In An Entirely Clean Condition, Ready For Work Of Other Trades.
- 10. In The Event Of The Discovery Of Asbestos Material Or The Like, Work To Cease Immediately & Client Notified. Workers And Any Other Occupancies Are To Be Kept Away From The Area Until Appropriate Actions Are Taken.

LEGEND

RED DASHED LINES or SOLID AREAS INDICATE ELEMENTS TO BE DEMOLISHED / REMOVED / RELOCATED

Existing Services - ev, dp, sd, ga, cd, etc to be Removed, Stored & Exposed Piping Capped until New Proposed Building Structure Installed

STRUCTURAL STABILITY

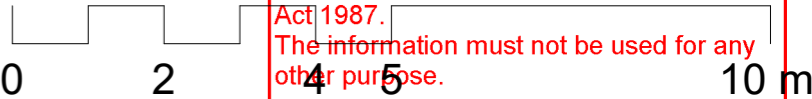
The Stability of the Structure during Construction is the Sole Responsibility of the Builder/Owner Builder. This Includes the Installation of Temporary Bracing/Propping Elements & Equipment to Stabilize the Structural Elements until Completion of the Project Construction Phase is Complete.

Note:-  
Abbreviations:- Ex. - Existing  
ev - Effluent Vent Pipe  
dp - Down Pipe  
sp - Spreader Pipe  
gm - Gas Meter  
sew - Sewerage Pipe

01 | Plan - Demo  
1 : 50



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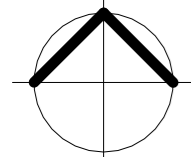
No.	Description	Date

Trafalgar Uniting Church  
36 - 38 Contingent Street  
Trafalgar, VIC 3824

Prop. Ext'n to Ex. Worship Complex (Class 9b) Heritage

PLAN - DEMO

Project number	244800
Date	Jan 2025
Drawn by	Author
Checked by	Checker
Scale	1 : 50

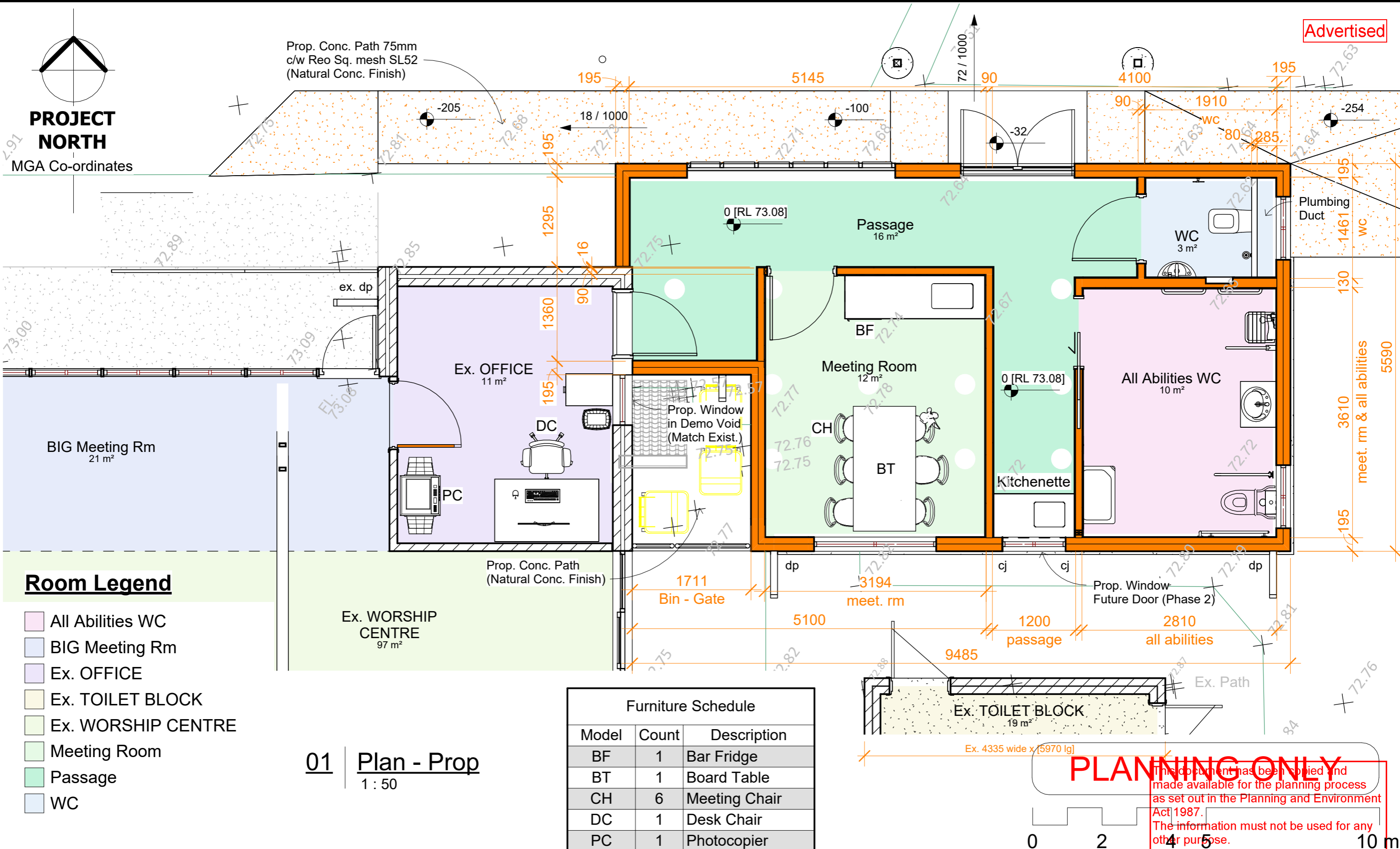


PROJECT  
NORTH

MGA Co-ordinates

Prop. Conc. Path 75mm  
c/w Reo Sq. mesh SL52  
(Natural Conc. Finish)

Advertised



Room Legend

- All Abilities WC
- BIG Meeting Rm
- Ex. OFFICE
- Ex. TOILET BLOCK
- Ex. WORSHIP CENTRE
- Meeting Room
- Passage
- WC

01 | Plan - Prop  
1 : 50

Furniture Schedule

Model	Count	Description
BF	1	Bar Fridge
BT	1	Board Table
CH	6	Meeting Chair
DC	1	Desk Chair
PC	1	Photocopier

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Prop. Ext'n to Ex. Worship Complex (Class 9b) Heritage

PLAN - PROPOSED

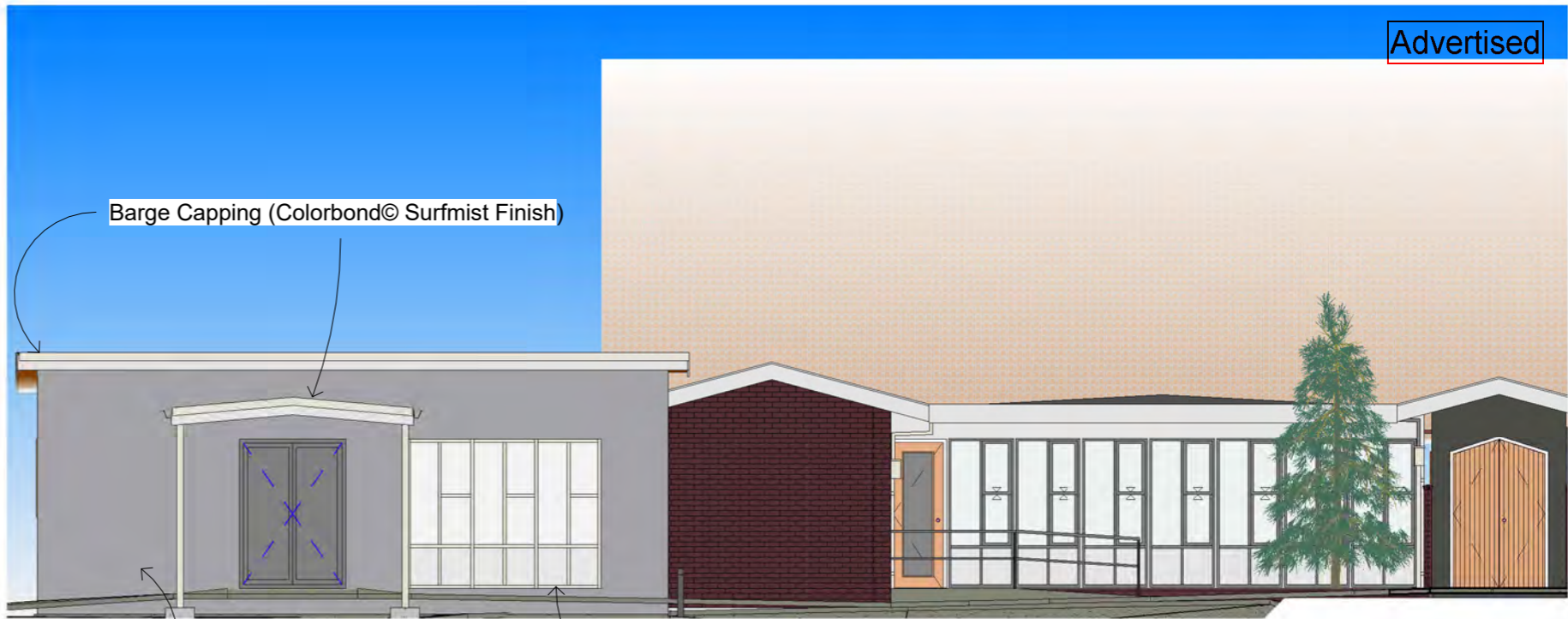
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Date  
Drawn by  
Checked by

Scale

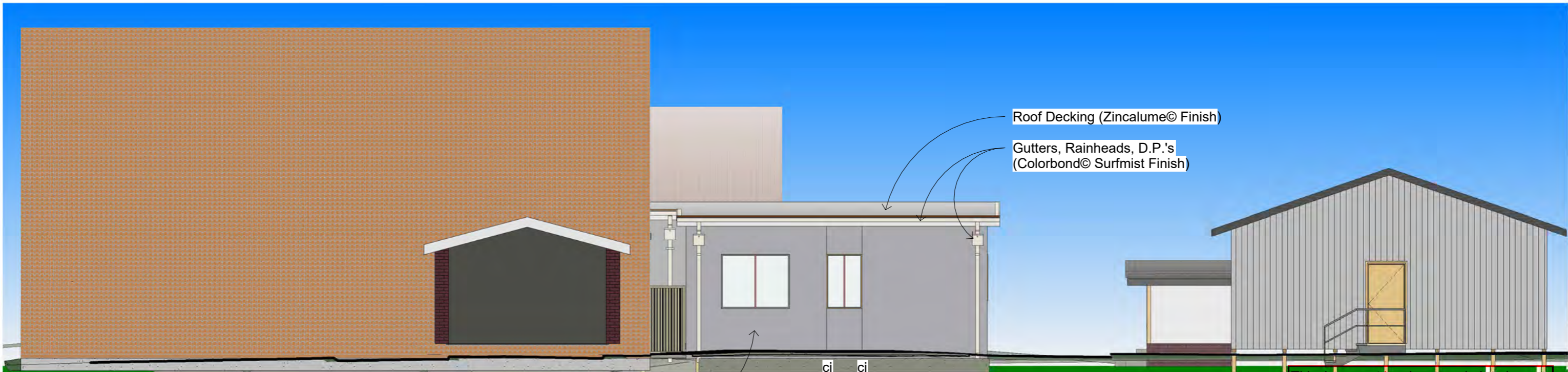
1 : 50



01 Elevation - East  
1 : 100



02 Elevation - North  
1 : 100



03 Elevation - South  
1 : 100

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**ELEVATIONS - PROP**

Project number

Date

Drawn by

Checked by

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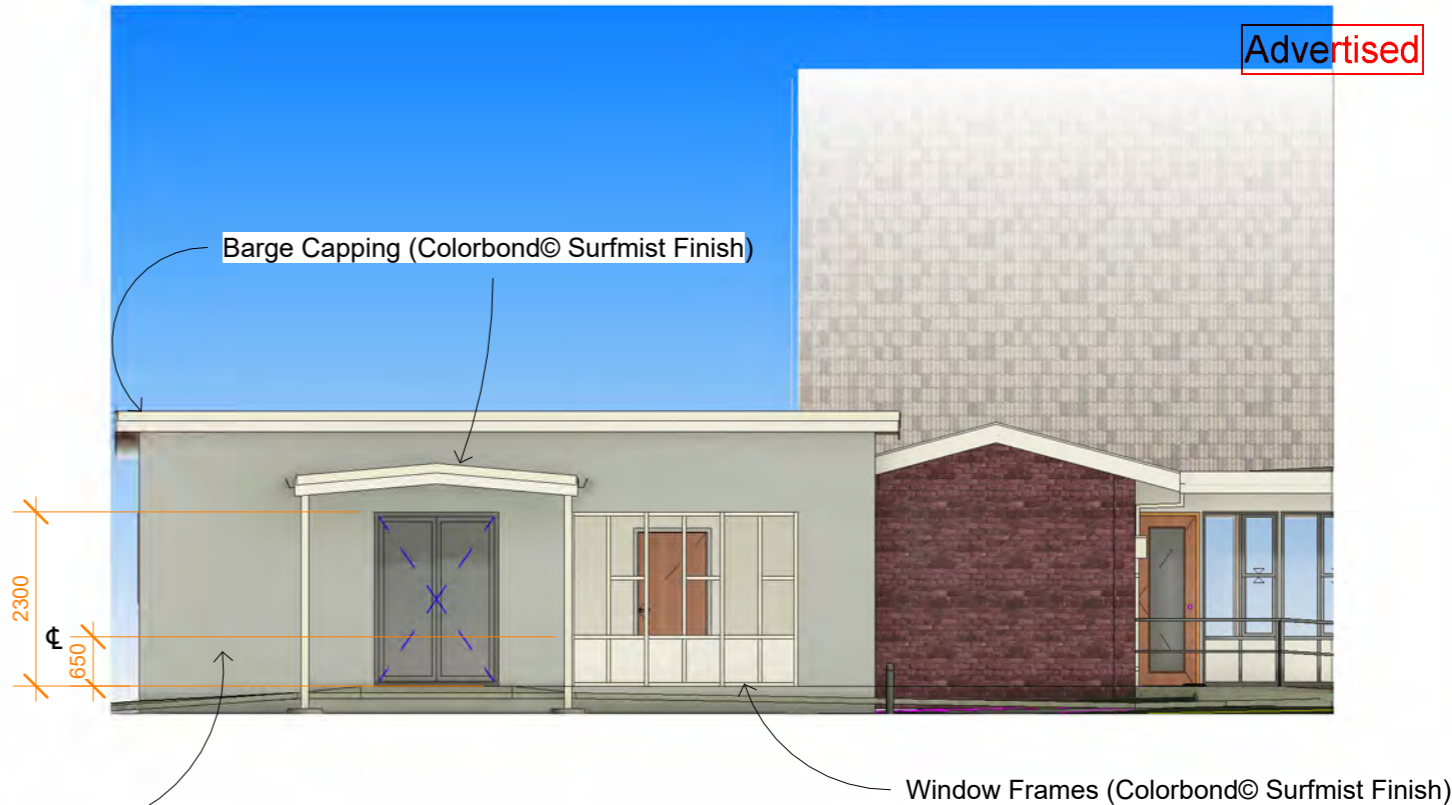
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Scale

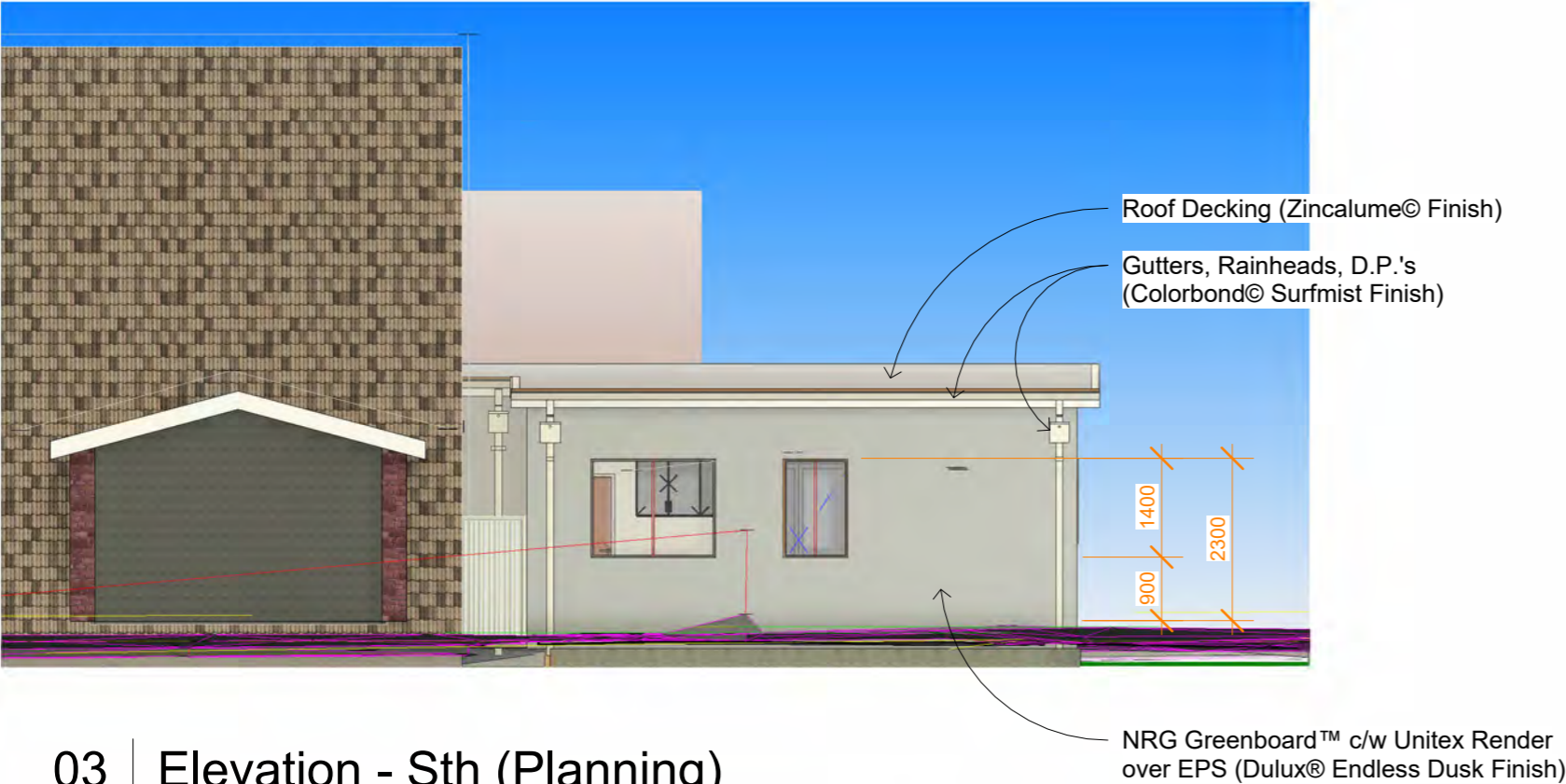
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01 Elevation - East (Planning)  
1 : 100



02 Elevation - Nth (Planning)  
1 : 100

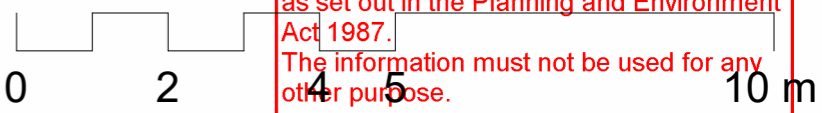


03 Elevation - Sth (Planning)  
1 : 100

MATERIAL SCHEDULE

	Exterior Wall Finish	Dulux® Endless Dusk
	Gutter, DP, Rainhead	Colorbond® Surfmist®
	Roof Decking	Colorbond® Zincalume®

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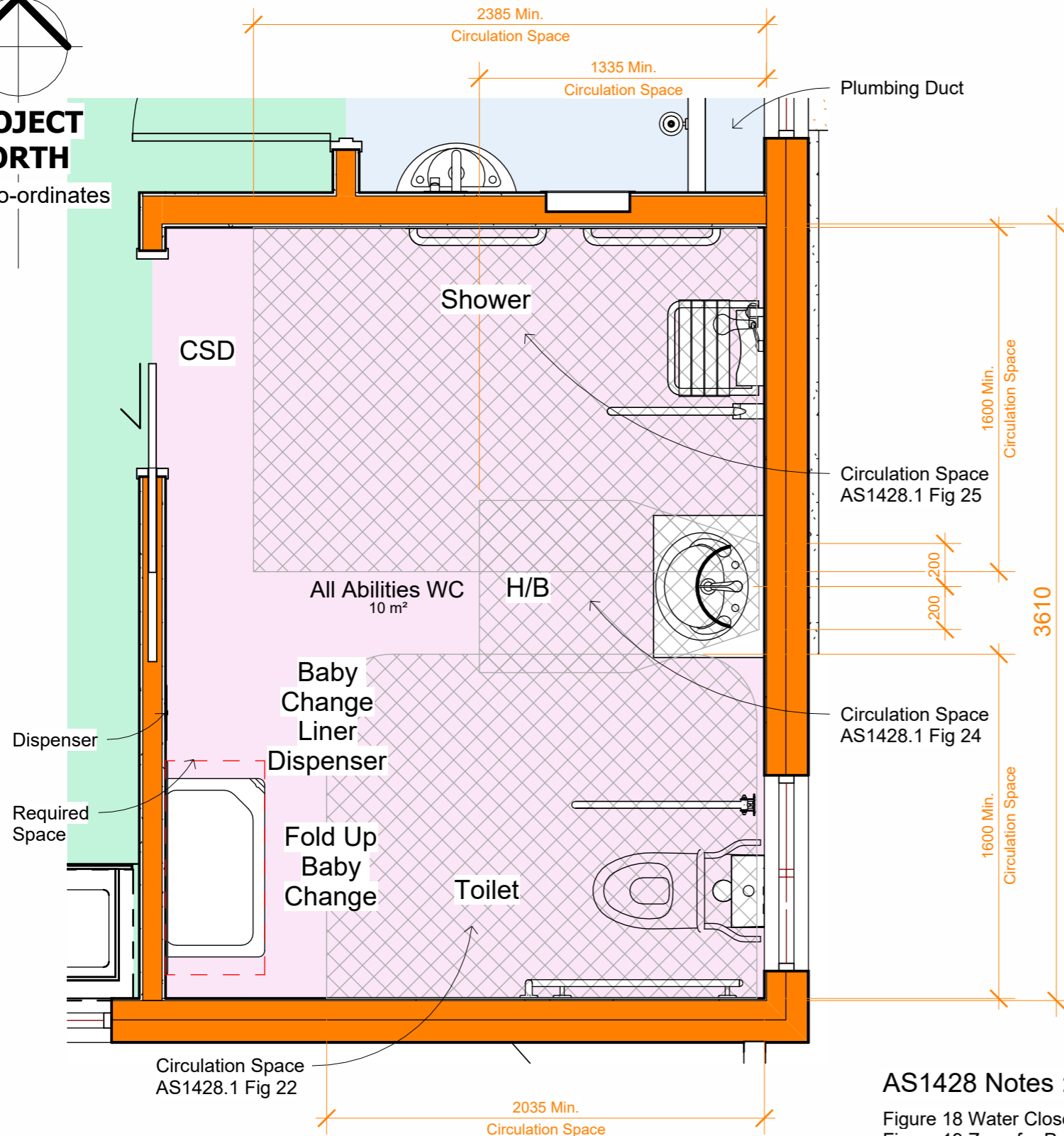
ELEVATIONS - PLANNING

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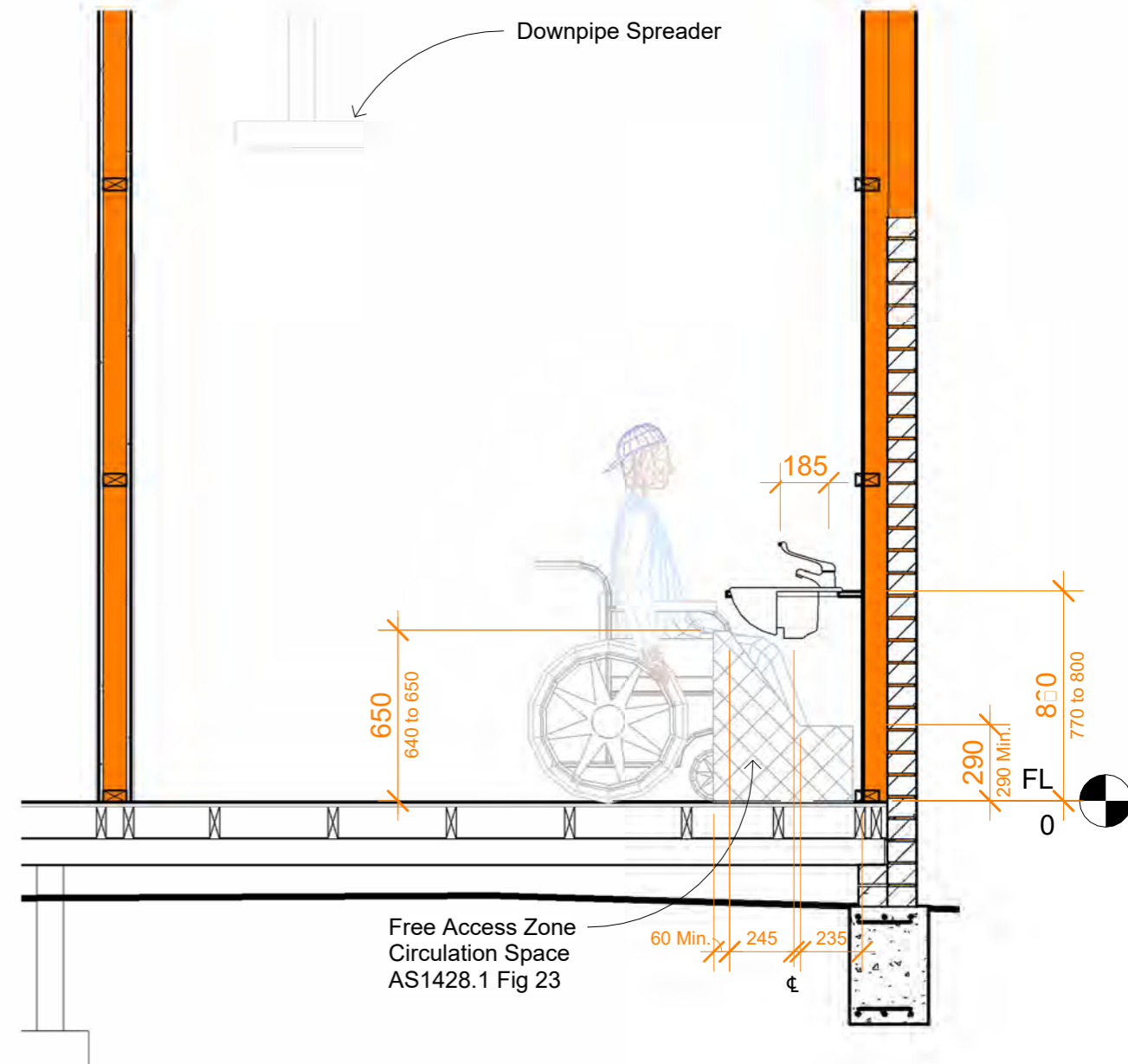
PROJECT  
NORTH  
MGA Co-ordinates



01 Plan - Prop Copy 2  
1 : 25

AS1428 Notes : -

- Figure 18 Water Closet Pan Clearances, Seat Height & Seat Width
- Figure 19 Zone for Position of Flushing Control
- Figure 20 Zone for Position of Toilet Paper Outlet
- Figure 21 Positions of Grabrails in Water Closets (Wc's)
- Figure 22 Circulation Space in Water Closets (Wc's)
- Figure 24 Circulation Space of Washbasins
- Figure 25 Shower Recess & Circulation Spaces (2 Wall Enclosure)



02 Typ. Long Section Copy 1  
1 : 25

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0 0.5 1 1.25 2.5 m

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PLAN - FACILITIES

Project number	244800
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