

Application for a Planning Permit

Section 1: LAND DETAILS

Unit Number:	Street Number: 300	Street Name: Korumburra - Warragul Road
Town: Warragul		Postcode: 38201

FORMAL LAND DESCRIPTION (Please complete either A or B – this information can be found on the Certificate of Title)

Option A:

Lot No:	1
Type of Plan: Please tick ✓	Lodge Plan <input type="checkbox"/> Title Plan <input type="checkbox"/> Plan of Subdivision <input checked="" type="checkbox"/>
Plan Number:	142366

Option B:

Crown Allotment Number:	
Section Number:	
Parish/Township Name:	

Section 2: PERMIT APPLICANT

Name:	
Business:	c/ Planning Central Pty Ltd
Postal Address:	
Telephone No. (H)	
Email Address:	

Section 3: OWNER DETAILS (If different to the Applicant)

Name(s):	
Postal Address:	
Telephone No. (H)	
Email Address:	

Section 4: DEVELOPMENT COST - Estimated Cost of development for which the permit is required

\$750K

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Section 5: PROPOSAL You must give full details of the proposal being applied for. Insufficient or unclear information will delay your application..

For what use, development or other matter do you require a permit?

Development:

<input type="checkbox"/> Advertising Signage	<input type="checkbox"/> Development of 2 or more dwellings Qty: <input type="text"/>
<input type="checkbox"/> Agricultural Outbuildings	<input type="checkbox"/> Mixed Use Development and Reduction of Carparking
<input type="checkbox"/> Buildings and Works and Reduction in Carparking	<input type="checkbox"/> Residential Outbuildings
<input type="checkbox"/> Commercial or Industrial Buildings and Works	<input type="checkbox"/> Single Dwelling
<input type="checkbox"/> Extension / Alteration to Dwelling	<input type="checkbox"/> Telecommunications

Use:

<input checked="" type="checkbox"/> Buildings and Works and Change of Use	<input type="checkbox"/> Home Based Business
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Sale and Consumption of Liquor
<input type="checkbox"/> Change of Use and Single Dwelling	

Subdivision:

<input type="checkbox"/> Boundary Realignment	<input type="checkbox"/> 3 or more Lot Subdivison Qty: <input type="text"/>
<input type="checkbox"/> Variation/ Removal of Restriction	<input type="checkbox"/> Create an easement
<input type="checkbox"/> 2 Lot Subdivision	<input type="checkbox"/> 100 or more Lot Subdivision Qty: <input type="text"/>

Subdivision / Vegetation Removal:

<input type="checkbox"/> Native Vegetation Removal or Lopping	<input type="checkbox"/> Non Native Vegetation Removal or Lopping (ESO4)
<input type="checkbox"/> Subdivision Qty: <input type="text"/>	<input type="checkbox"/> Alteration of access RDZ1

Other:

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, Section 173 agreement or other obligation such as an easement or building envelope?

☐ Yes ☐ No ☐ Not Applicable (no such covenant, section 173 agreement or restriction applies)

If yes, you should contact Council for advice as to how to proceed with the application.

FURTHER DETAILS OF PROPOSAL (optional)

Use and development of a dwelling & associated works in association with an agricultural use.

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2/4

Section 6: EXISTING CONDITIONS Describe how the land is used and developed now.

Provide a plan of the existing conditions. Photos are also helpful.

Vacant farming zoned land

Section 7: PRE-APPLICATION MEETING Has there been a Pre-Application meeting with a Council Planning Officer?

No <input type="checkbox"/>		
Yes <input checked="" type="checkbox"/>	If yes, with whom?	Applicant and Council Planning Counter Staff
	Date of this meeting	February 2025

Section 8: DECLARATION This form must be signed. ** PLEASE COMPLETE EITHER box A or B

A. I declare that I am the Applicant and owner of this land and that all information given is true and correct.	Owner Applicant signature:	Date: 20/5/2025
B. I/We the Applicant declare that I/We have notified the owner about this application and that all information given is true and correct.	Applicant Signature:	Date: 20/5/2025

CHECK LIST Please ensure you have included the following items with your application form. *Failure to provide all the information above may result in a delay in the processing of the application.*

- ☒ A fully completed and signed copy of this form.

REFER TO COVER LETTER

- ☐ Most applications require a fee to be paid. *Please make payment at time of lodgement if submitting at Councils Customer Service Centre or submitting through our on-line portal. If emailing your application, a payment link will be sent to your nominated email once registered on the system.*

Contact Council to determine the appropriate fee.

- ☒ Full and current copy of title and title plan (no older than 60 days) for each individual parcel of land forming the subject site. The title includes: the covering register search statement, the title plan and the associated title documents (known as instruments).

- ☒ Provided plans showing the layout and details of the proposal

- ☒ Provided any information required by the planning scheme, requested by Council

- ☒ Provided a description of the likely effect of the proposal (if required)

- ☒ Completed the declaration in Section 8

- ☒ Provided a contact phone number and e-mail address

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PLEASE FORWARD THIS APPLICATION TO

E-mail:	planning@bawbawshire.vic.gov.au	Mail:	Planning Department, Baw Baw Shire Council PO Box 304 Warragul VIC 3820
Phone:	5624 2411		
In Person:	Customer Service Centre: 33 Young Street Drouin		

The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application.

These third parties generally include, but are not limited to:

Transport Infrastructure Agencies such as VicRoads and VLine

Energy/Utilities Providers

Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

All information collected and held by Council is managed in accordance with Councils Privacy Policy which is available on our website. If you choose not to supply the requested information it may impair the ability of Council to consider your application or prevent Council from communicating with you in relation to your application.

If you have any concerns or require access to the information held by Council, please contact us on 5624 2411.

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Application to Amend Advertised a Planning Application S50/S57A

Section 1: PERMIT DETAILS

Planning Application No:	PLA0086/25
Address:	300 Korumburra - Warragul Road, Warragul

Section 2: PERMIT APPLICANT

Name:	
Business:	c/ Planning Central Pty Ltd
Postal Address:	
Telephone No. (H)	
Email Address:	

Section 3: OWNER DETAILS (If different to the Applicant)

Name(s):	
Postal Address:	
Telephone No. (H)	
Email Address:	

Section 4: AMENDMENT CATEGORY Please tick ✓

Section 50 – Amendment to the application at request of the applicant before notice	<input checked="" type="checkbox"/>
Section 57A – Amendment to the application after notice of application is given (please note, this will incur a fee)	<input type="checkbox"/>

AMENDMENT DETAILS List the changes being applied for and highlight changes on corresponding plans if applicable. A copy of the plans must be submitted with this application. If you need more space, please attach these details separately.

increase altered access adjacent pursuant to Calase 52.24 (Land Adjacent to the Principal Road Network) - as detailed in cover email.

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Section 5: DEVELOPMENT COST

State the estimated total cost of the proposed development, including amendment.	<input type="checkbox"/> Unchanged from initial application Or total cost \$ \$5K
Does the amendment proposal introduce any additional Permit Triggers? (eg: creation of easement, parking reduction) If yes, an additional application fee may be required.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Section 6: DECLARATION This form must be signed. ****PLEASE COMPLETE EITHER box A or B**

A. I declare that I am the Applicant and Owner of this land and that all information given is true and correct.	Owner/ Applicant signature:	Date: 25/06/2025
B. I/We the Applicant declare that I/We have notified the owner about this application and that all information given is true and correct.	Applicant Signature:	Date: 25/06/2025

Advertised

PLEASE FORWARD THIS APPLICATION TO

E-mail: planning@bawbawshire.vic.gov.au Phone: 5624 2411 In Person: Customer Service Centre: 33 Young Street Drouin	Mail: Planning Department, Baw Baw Shire Council PO Box 304 Warragul VIC 3820
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- Energy/Utilities Providers
- Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies.

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 09509 FOLIO 811

Security no : 124124557434N
Produced 19/05/2025 11:23 AM

LAND DESCRIPTION

Lot 1 on Plan of Subdivision 142366.

PARENT TITLES :

Volume 08266 Folio 369 Volume 09463 Folio 191

Created by instrument LP142366 26/04/1983

REGISTERED PROPRIETOR

Estate Fee Simple

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP142366 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 300 KORUMBURRA-WARRAGUL ROAD WARRAGUL VIC 3820

DOCUMENT END

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Page 7 of 109

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Document Type	Plan
Document Identification	LP142366
Number of Pages (excluding this cover sheet)	1
Document Assembled	19/05/2025 11:23

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PLANNING PROPERTY REPORT

From www.planning.vic.gov.au at 16 February 2025 10:25 PM

PROPERTY DETAILS

Address: **300 KORUMBURRA-WARRAGUL ROAD WARRAGUL 3820**
Lot and Plan Number: **Lot 1 LP142366**
Standard Parcel Identifier (SPI): **1\LP142366**
Local Government Area (Council): **BAW BAW**
Council Property Number: **5353**
Planning Scheme: **Baw Baw**
Directory Reference: **Vicroads 96 G5**

www.bawbawshire.vic.gov.au

[Planning Scheme - Baw Baw](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**
Urban Water Corporation: **Gippsland Water**
Melbourne Water: **Outside drainage boundary**
Power Distributor: **AUSNET**

STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**
Legislative Assembly: **NARRACAN**

OTHER

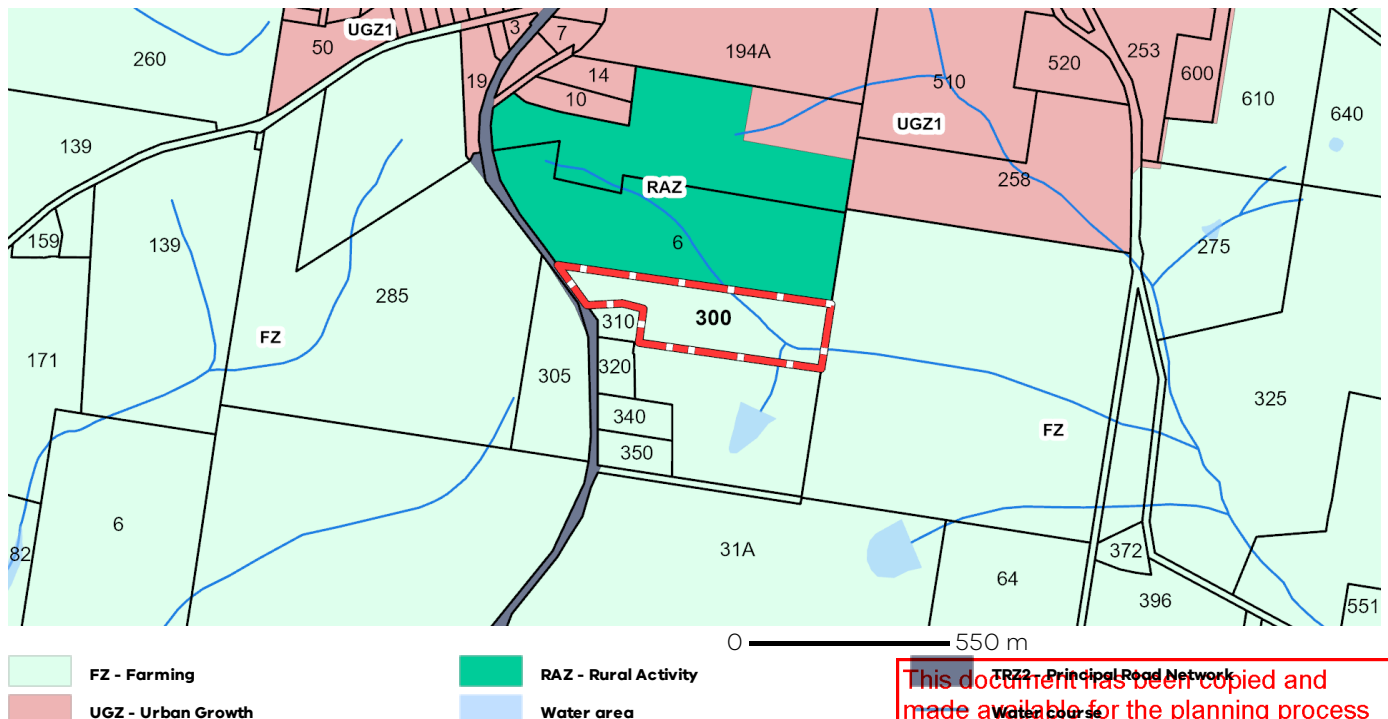
Registered Aboriginal Party: **Gunaikurnai Land and Waters
Aboriginal Corporation**

[View location in VicPlan](#)

Planning Zones

[FARMING ZONE \(FZ\)](#)

[SCHEDULE TO THE FARMING ZONE \(FZ\)](#)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is not bushfire-prone as required by section 32C (b) of the Sale of Land 1962 (Vic).

PLANNING PROPERTY REPORT: 300 KORUMBURRA-WARRAGUL ROAD WARRAGUL 3820

Page 1 of 4

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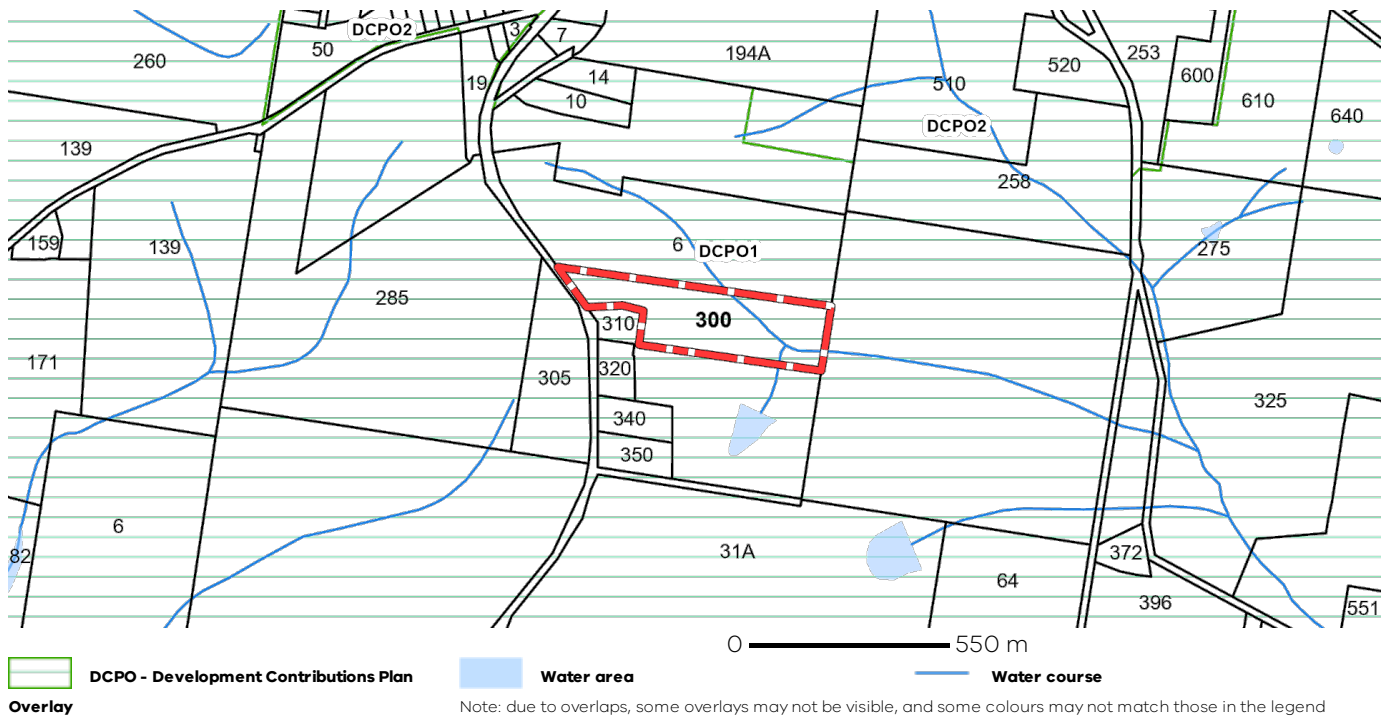
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Page 10 of 109

Planning Overlays

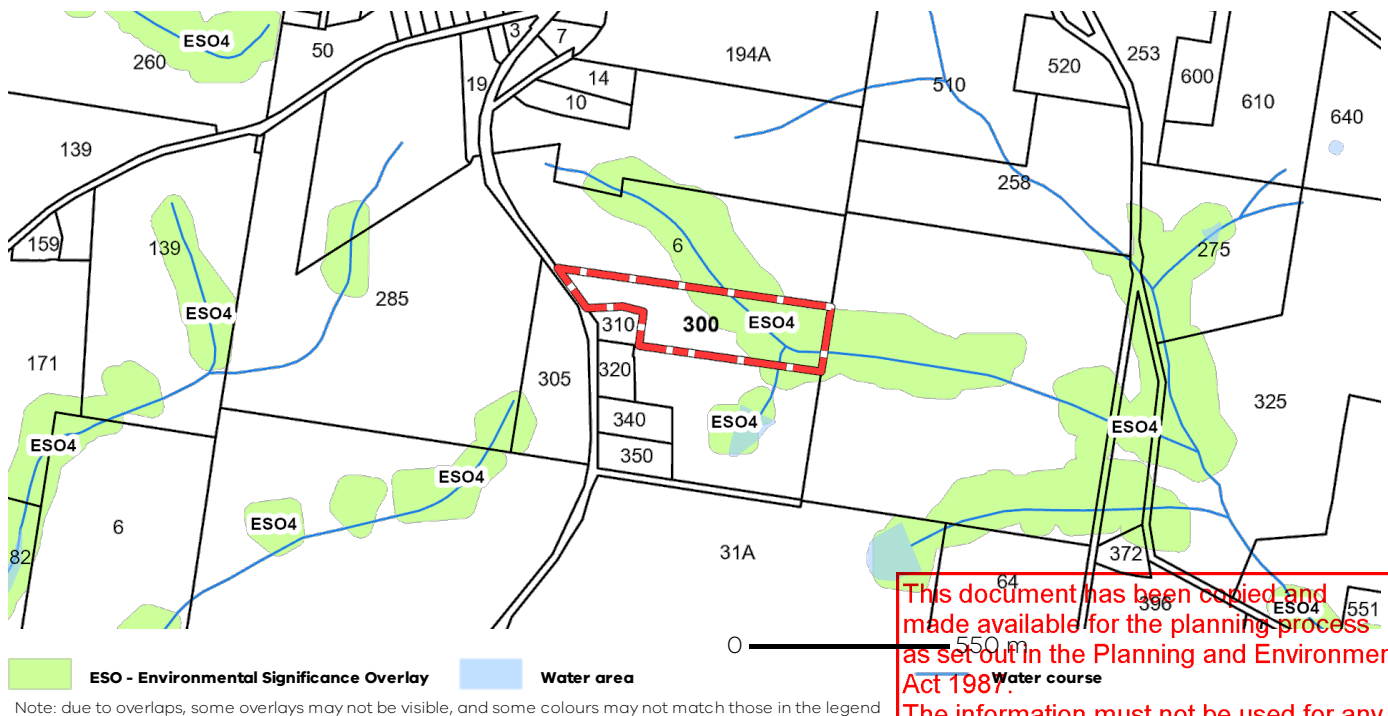
DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY (DCPO)

DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY - SCHEDULE 1 (DCPO1)



ENVIRONMENTAL SIGNIFICANCE OVERLAY (ESO)

ENVIRONMENTAL SIGNIFICANCE OVERLAY - SCHEDULE 4 (ESO4)



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Further Planning Information

Planning scheme data last updated on 14 February 2025.

A **planning scheme** sets out policies and requirements for the use, development and protection of land. This report provides information about the zone and overlay provisions that apply to the selected land. Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**. It does not include information about exhibited planning scheme amendments, or zonings that may affect the land. To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.maps.vic.gov.au/vicplan>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

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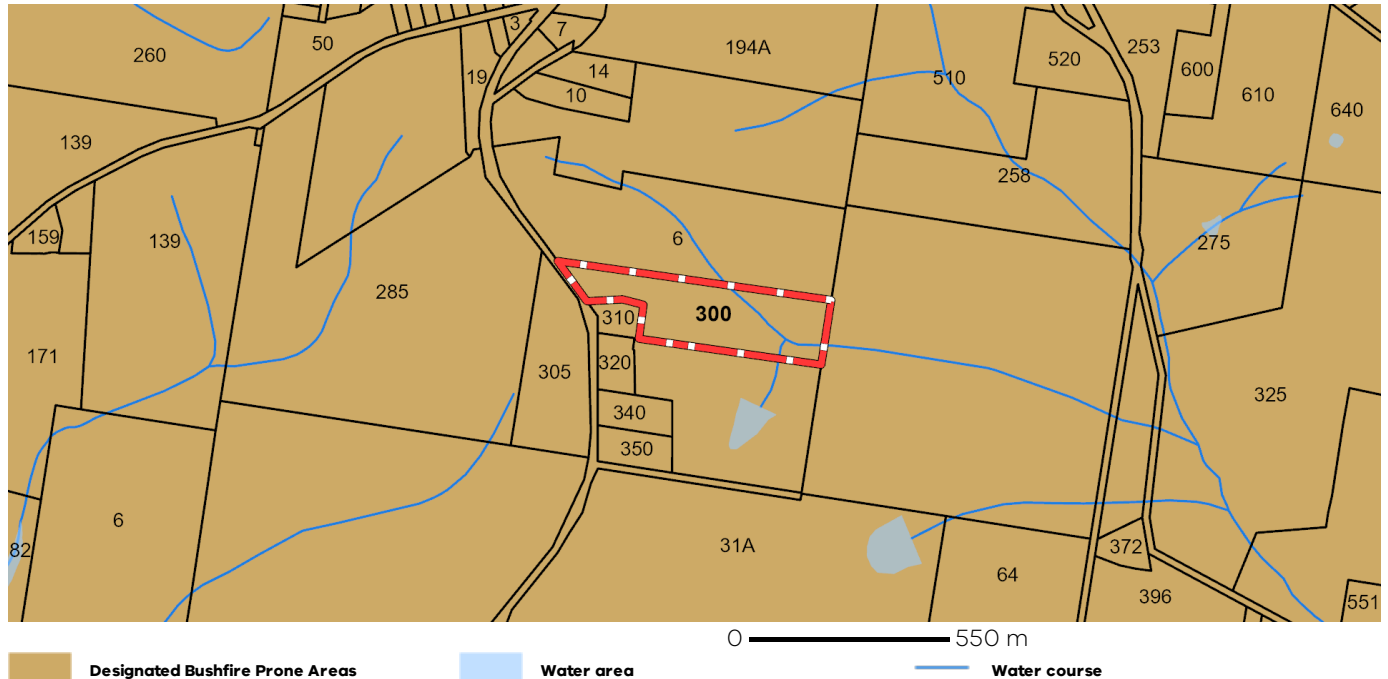
Page 12 of 109

Designated Bushfire Prone Areas

This property is in a designated bushfire prone area. Special bushfire construction requirements apply to the part of the property mapped as a designated bushfire prone area (BPA). Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.

Native Vegetation

Native plants that are indigenous to the region and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see [Native Vegetation \(Clause 52.17\)](#) with local variations in [Native Vegetation \(Clause 52.17\) Schedule](#)

To help identify native vegetation on this property and the application of Clause 52.17, please visit the Native Vegetation Information Management system <https://nvim.delwp.vic.gov.au/> and [Native vegetation \(environment.vic.gov.au\)](#) or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit [NatureKit \(environment.vic.gov.au\)](#)

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Ref: 25006 -



August 2025

**ACN 161 565 902
ABN 68 625 299 632**

**PO Box 2301
Oakleigh, Vic 3166**

Senior Statutory Planner
Baw Baw Shire Council

e. planning@bawbawshire.vic.gov.au

Dear Sir / Madam

**Re: PLA0086 – Response to Council RFI
300 Korumburra – Warragul Road, Warragul**

Planning Central Pty Ltd continues to act on behalf of

who are:

- looking to purchase the above land.
- seeking planning approval for the use and development of a dwelling in association with the agricultural use of the land and modified access arrangement pursuant to Clause 52.24 (Land Adjacent to the Principal Road Network).

In response to the Council RFI Letter (dated 17 June 2025), presented at Appendix A, we are pleased to present the follow:

Item 1 – Site Context Plan

Presented at Appendix B is A Site Context Plans that depicts amongst other things:

- Setbacks for nearby dwellings at 310 and 305 Korumburra – Warragul Road.
- Contours
- 30m vegetation buffer adjacent to the waterway.

Item 2 – Updated Site Development Plan

Present at Appendix C is an Updated Site Development Plan that depicts amongst other things:

- Matters details in Item 1 above.
- Location, dimension and characteristics of the internal driveway.
- Notation in relation to anticipated earthworks / retaining walls.
- Location of land application area for septic system.
- Indicative FFL for the dwelling.

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Item 3 – Updated Dwelling Plans

Presented at Appendix D are Updated Dwelling Plans provided by Metricon Homes.

These plans should be read in conjunction with the Site Context Plan and Site Development Plans detailed above including, but not limited to:

- the FFL for the dwelling being approximately 155m (ADH).
- no cut and fill / retaining walls exceeding 0.5m.
- waste disposal to be subject to LCA subject to condition on any planning permit to be issued.

It is noted that the overall height of the dwelling will be in the order of 7.5m.

In the event that additional notations are required on the plans, it is submitted that these can be readily accommodated subject to a condition on any planning permit to be issued.

Item 4 – Updated Farm Management Plan

Presented at Appendix E is an Updated Farm Management Plan prepared by Ag-Challenge Pty Ltd.

This has been prepared in direct response to concerns raised in the Council RFI and includes further background around the proposed farm use and justification for the dwelling including:

1. Expanded Enterprise Details

- Increased AI program from 1 cow to 2 cows per fortnight.
- Calf management altered: weaning at 6 months (instead of 12–13), with a supervised month at Warragul before moving to Lardner.
- Stronger focus on reducing calf and cow mortalities, citing dystocia risks and the importance of colostrum intake.

2. New Risk Management Sections

- Stock Transport: Clearer process for moving cows/calves between Warragul and Lardner.
- Biosecurity Risks: Closed herd strategy, vaccination, fodder sourcing, trailer hygiene, visitor controls.
- Security Risks: Theft data for Warragul presented; onsite dwelling justified as deterrent and protection.
- Oestrus Detection: Reliance on visual detection (tail paint, heat detectors) without hormones; stresses breeding program viability.

3. Environmental Enhancements

- Plan to revegetate waterways with indigenous species for biodiversity, fauna habitat, erosion and water quality protection.

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4. Carrying Capacity Clarification

- Still ~14 cow/calf units on Warragul block, but clarified use of lease blocks, bringing total to ~26 cow/calf units annually.

5. More Detailed Timeline

- AI and calving cycle described in greater detail.
- Appendix IV spreadsheet adds month-by-month breakdown of activities for each cow/calf unit.

6. Council-Driven Additions

- Appendix III: Direct responses to council concerns (stocking rates, stock movement, biosecurity, oestrus detection).
- Dwelling justification expanded to not only for pasture and calving, but also for early intervention in births, colostrum monitoring, weaned calf supervision, heat detection, and security

Item 5 – DTP Referral Response

It is noted that the Department of Transport & Planning (DTP) have sought further information in relation to use to the existing / modified accessway and sight lines.

A response, under separate cover, has been provided directly to DTP and cc'd to Council.

Based on the information presented within the original application and this RFI Response, it is submitted that the proposed dwelling in association with the submitted / updated Farm Management Plan:

- is consistent with the intent or provisions of the Farming Zone and associated Schedule.
- will generate development contributions in line with the Development Contributions Plan Overlay (Schedule 1 – Baw Baw Shire Development Contributions Plan).
- does not trigger the need for a planning permit under the Environmental Significance Overlay (Schedule 4 – Giant Gippsland Earthworm and Habitat Areas) on the basis that all buildings and works will be outside the overlay area.
- responds appropriately to Municipal Planning Strategy (MPS) and Planning Policy Framework (PPF). given the proposal:
 - supports the productive and sustainable agricultural use of the land consistent with Farm Management Plan prepared by Ag-Challenge Consulting Pty Ltd.
 - supports economic development and investment in farming and primary production.

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- has been sited and designed in a manner that is sensitive to the neighbouring properties and proposed farming use of the land.
- does not compromise or impact on the environmental or landscape values and will in fact enhance the environmental features by reinforcing the 30m waterway setback.
- is in keeping with similar smaller farming zoned allotments with dwellings located in close proximity to the Warragul Township
- utilizes existing infrastructure available to the land.

We trust that this RFI Response is favourably received and we look forward to advancing this matter with Council support.

To discuss any aspect, do not hesitate to contact me directly or

Yours sincerely,

Director, Planning Central Pty Ltd

e

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Page 4 of 9

Appendix A

Council RFI Letter

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Appendix B

Site Context Plan

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Appendix C

Updated Site Development Plan

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Appendix D

Updated Dwelling Plans

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Appendix E

Updated Farm Management Plan

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Ref: 25006 -



Advertised
**Planning
Central**
LAND USE AND DEVELOPMENT

1 September 2025

**ACN 161 565 902
ABN 68 625 299 632**

**PO Box 2301
Oakleigh, Vic 3166**

Senior Statutory Planner
Baw Baw Shire Council

e. planning@bawbawshire.vic.gov.au

Dear Sir / Madam

**Re: PLA0086 – Further Information
300 Korumburra – Warragul Road, Warragul**

Planning Central Pty Ltd continues to act on behalf of _____ who are:

- looking to purchase the above land.
- seeking planning approval for the use and development of a dwelling in association with the agricultural use of the land and modified access arrangement pursuant to Clause 52.24 (Land Adjacent to the Principal Road Network).

Further to our recent phone conversation, we provide this additional information to further support the application.

This follows:

1. Planning Application comprising, amongst other things:

- Submission
- Site Development Plans
- Dwelling Layout Plans
- Farm Management Plan prepared by Ag-Challenge Pty Ltd

2. RFI Response comprising amongst other things:

- Site Context Plan
- Updated Site Development Plan
- More Details Dwelling Plans
- Updated Farm Management Plan.

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Page 1 of 4

Page 23 of 109

Presented at Appendix A is a Statement of Applicant Intent from .

This presents further below with regard to their background and intent for the property ... in support of the application.

It is submitted this Statement together with the materials submitted represents a genuine and bona-fide intent to utilise the dwelling in conjunction with an agricultural / farming enterprise.

As detailed within, the Family are well versed in farming and are absolutely committed to residing an operating / expending their business interests in the Baw Baw Shire.

The are keen to establish their business similar to the at 222 Williamson Road in Nilma North - who were issued with similar Planning Permit (PLA0221/20) for a dwelling associated with the similar agricultural use.

Based on my experience with similar applications across regional Victoria (including Baw Baw Shire), it is noted that:

- The land is not within an area characterised by large rural properties that are used for intensive / extensive farming activities such as those established agricultural districts to the north and south of the municipality.
- The land is located in close proximity to the Warragul Urban Growth boundary within an area that is characterised by lots significantly less than 40ha and occupied by dwellings. Many of these properties incorporate agricultural and / or hobby farms activities. It is highly unlikely that the subject site will be consolidated with neighbouring landholdings to form part of a larger and more intensive agricultural farming operation.
- The proposal is supported by a detailed and independent Farm Management Plan prepared by Ag-Challenge Pty Ltd – who are experienced and well known to Council.
- The proposal does not result in removal of any native vegetation.
- The proposal utilises existing on-site farming infrastructure.
- The proposal incorporates environment improvements as recommended in the Farm Management Plan likely to be endorsed as part of any planning permit to be issued.

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- Referral authority comments can be readily accommodated.

Based on the above, we continue to commend this application to Council for the issue of a planning permit..

We trust that this additional information is favourably received and we look forward to advancing this matter to public notice.

To discuss any aspect, do not hesitate to contact me directly on

Yours sincerely,

Director, Planning Central Pty Ltd

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Page 3 of 4



Appendix A

Statement of Client Intent

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Page 4 of 4

Ref: 25006 - Marshall



20 May 2025

Statutory Planning
Baw Baw Shire Council

ACN 161 565 902
ABN 68 625 299 632

PO Box 2301
Oakleigh, Vic 3166

e. planning@bawbawshire.vic.gov.au

Dear Sir / Madam

Re: Planning Application
300 Korumburra – Warragul Road, Warragul

1. Introduction

Planning Central Pty Ltd acts on behalf of _____ who are:

- looking to purchase the above land.
- seeking Council approval for the use and development of a dwelling in association with the agricultural use of the land.

The continued and productive agricultural use of and land is supported by a Farm Management Plan prepared by Ag- Challenge Consulting Pty Ltd – as presented within.

Under the Baw Baw Planning Scheme, a planning permit is required for:

- Use of a dwelling on a lot less than 40ha.
- Buildings and works associated with a planning permit required use.

It is noted that the dwelling will be located within:

- 50m of a Transport Zone 2.
- 100m of a dwelling not in the same ownership.

Presented within is:

- Description of the site and surrounds.
- Proposal details including:
 - Site Development Plans.
 - Dwelling Plans.
 - Farm Management Plan.
- Assessment against relevant planning controls.

To confirm the amount and arrange payment of the Council Application Fee, please contact the undersigned directly.

This proposal is commended to Council for the issue of a planning permit and we look forward to advancing this matter with Council support.

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Page 1 of 27

2. Site and Surrounds

2.1 Subject Site

The subject site is located on the east side Korumburra – Warragul Road, Warragul approximately:

- 3.5km south of the Warragul Town Centre.
- 200m south of the Warragul Urban Growth Boundary.
- Immediately south of Wild Dog Winery which includes Hogget Kitchen / Restaurant.

Presented at **Appendix B** is the Certificate of Title.

The land has:

- an irregular shape with:
 - a frontage in the order of 136m.
 - depth in the order of 758m.
 - area in the order of 10.9ha.
- a 20.2m wide electricity easement (E1 Blue) that traverses north-south across the site. The proposed dwelling will be located approximately 70m to the west and will not impact or be impacted by this easement.
- a 3m wide water supply easement that runs between the watercourse that the neighboring property to the south. The proposed dwelling will be located over 100m to the west and will not impact or be impacted by this easement.
- no agreements or other restrictions on title that will be compromised by the proposal.
- a topography that falls west to east (approx 158m to 118m).
- an existing access / farm gate adjacent to the cattle loading yard.
- a small agricultural outbuilding approximately 140m from the frontage.
- a watercourse towards the eastern extent.
- scattered and isolated vegetation across the site including adjacent to the watercourse - which not will be impacted by the proposal.

Presented at **Appendix B** are photos of the site that include:

- the existing access / farm gate and cattle loading yard (Photo 1 & 2)
- views across the property to the east, north and south (Photo 3 & 4)

A Site Development Plan (with an arial photo) depicting the above features forms part of **Appendix C**.

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2.2 Surrounding Area

The surrounding area is typical of a farming area adjacent to a regional town.

A succinct account follows.

North	<p>Immediately north is Wild Dog Winery that includes Hogget Kitchen / Restaurant which is zoned Rural Activity Zone.</p> <p>Further north is Urban Growth Zone (Schedule 1 – Warragul PSP) land that has been approved for conventional residential subdivision.</p>
East	<p>Immediately east are farming zoned lots in the order of 7.8ha (with a dwelling), 15ha (with a dwelling) and 23ha that are zoned farming and used for agricultural purposes.</p> <p>Further east is Bona Vista Road and farming properties beyond.</p>
South	<p>Immediately south adjacent to Korumburra – Warragul Road are four (4) farming zoned properties each with a dwelling and outbuildings on lots ranging between 1ha, 1.6ha, and 2.1ha.</p> <p>Beyond these smaller lots, to the east, is a larger 15ha lot that appears to be used for low level grazing.</p> <p>Further south is Matchetts Road.</p>
West	<p>Immediately west is Korumburra – Warragul Road which is a zoned Transport Road Zone 2 and is controlled by VicRoads.</p> <p>Beyond is a 8ha farming property with a dwelling and a 42ha farming property with a dwelling.</p>

Forming part of **Appendix B** are photos of the Surrounding Area including:

- views across toward Wild Dog Winery to the north (Photo 6).
- properties to the south (Photo 5, 10, 11 and 12).
- properties to the west (Photo 8 and 13).
- views along Korumburra – Warragul Road (Photo 7 & 9)

Based on the above, it is submitted that a dwelling on a 10ha property in this location would not be out of keeping with the area.

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3. Proposal

Following is a description of the proposal.

3.1 Siting and Development Plans

Presented at **Appendix D** are a range of plans, described as follows:

Site Development Plan

This depicts amongst of things:

- Site boundaries consistent with the Title Plan.
- Easements consistent with the Title Plan.
- Existing access that will be utilized.
- Location of the proposed dwelling appropriately:
 - 26m from the frontage.
 - 33m from the south boundary.
 - 27.5m from the north boundary.
- Balance of the land to be used for farming purposes consistent with the submitted Farm Management Plan presented at **Section 3.3** and **Appendix D**.

Dwelling Layout Plans

These depict the Ground Floor and First Floor elements of the proposed dwelling – as follows:

The Ground Floor elements will comprise:

- 37.5m x 20m footprint (approx).
- Four bedrooms with robes and one with ensuite.
- Open kitchen, dining and family area.
- Sitting room.
- Home Theatre.
- Outdoor Room. Bathroom amenities, laundry.
- Double garage.

The First Floor elements will comprise:

- 19m x 13.5m area (approx).
- Master bedroom with walk in robe and ensuite.
- Study.
- Leisure Room.

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Page 4 of 27

Dwelling Elevations

The proposed dwelling for which approval is being sought is the Metricon Highlander 68.

Details of this dwelling including an elevation perspective and indicative materials / colors are detailed within the specification / promotional brochure forming part of **Appendix D**.

It is noted that the Dwelling Layout Plans replicate the layouts in this brochure.

3.2 Servicing

Access

An all weather access adequate to accommodate emergency vehicles will be provided from the existing access / farm gate to the dwelling garage.

These details can be added to the Site Development Plan subject to a condition on any planning permit to be issued.

Waste disposal

There is sufficient area to the east or west of the dwelling to accommodate on-site waste disposal in line with the EPA and Council requirements.

The need for an appropriate waste disposal system can be accommodated subject to a condition on any planning permit to be issued.

Waste and Electricity

The dwelling will be connected to reticulated or alternative water / electricity services.

3.3 Farm Management Plan

Presented at **Appendix D** is a Farm Management Plan (FMP) prepared by Ag-Challenge Consulting Pty Ltd who are Warragul based.

This FMP has been prepared to describe the farm resources and how the enterprise would operate within the existing farm infrastructure.

Considered within are issues such as land capability and the sustainability of the proposed enterprise on this property and the need for a new dwelling to manage this enterprise.

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A succinct account from the FMP of the Applicant and their intent which has been re-produced below.

"The property is being purchased by _____, subject to the provision of a planning permit, with the intention of establishing the property as a cattle breeding and fattening operation for a secure source of local grass-fed beef, for their retail butcher business.

_____ have operated a retail butcher business in Langwarrin for over 14 years. They pride themselves on selling high-quality local meats and providing customers with trustworthy grass-fed options.

The _____ currently produce steers on a family lease block in Lardner, focusing on the production of pasture-based, Gippsland grown beef. Recognising there is a growing demand for this meat, a premium price can be sought in comparison to other beef options. Continuing to expand into this market is beneficial to the continuity, success and expansion of the business. In future they wish to expand their farming operation in addition to securing an additional retail butcher shop in Warragul or the surrounding region.

Once a house is built on the property at 300 Warragul-Korumburra Road, they will begin a fortnightly artificial insemination (AI) program to ensure they have a year-round secure, consistent quality and supply of cattle for their retail butcher business."

The FMP goes on to present, amongst other things:

- Property details include:
 - Climate.
 - Soils, landform and underlying geology.
 - Vegetation.
 - Farm infrastructure.
 - Water resources.
- Detailed account of the proposed enterprise.
- Carrying capacity and grazing management.
- Timeline.
- Planning Requirements.

Based on the information presented within, the FMP concludes that:

"The property at 300 Warragul – Korumburra Road, Warragul is well suited to a pasture-based cattle breeding and fattening operation, to support the owners retail butcher business

An occupied dwelling on the property is required for this year-round cattle operation planning process implemented. A dwelling will allow the property to be managed according to best practice grazing management guidelines outlined in this report, provide the required supervision for cows during calving, provide security to the inevitable escapee calves, and ensure cows that come on heat are detected, for a cost and time effective breeding program.

The breeding operation is planned to create a more profitable and branded meat product, and as a vertically integrated butcher business, allowing customers to only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

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Expansion of the retail butcher business is planned to occur into Warragul and/or the surrounds, after the recent closure of their Mornington branch. This will enable meat to be provided locally in addition to Langwarrin, and to support the local economy by employing local butchers and apprentices.”

It is envisaged that the Section 173 Agreement would be registered on title making reference to any planning permit to be issued and the associated Farm Management Plan – as it typically applied by Baw Baw Shire for other similar applications.

4. Planning Assessment

Presented at **Appendix E** is a Planning Property Report that identifies the land as being:

- Farming Zone.
- affected by a Development Contributions Overlay (Schedule 1 – Baw Baw Shire).
- affected in part (adjacent to the eastern watercourse) by an Environmental Significant Overlay (Schedule 4 – Giant Gippsland Earthworm and Habitat Areas).

Following is an assessment against relevant provisions of the Baw Baw Planning Scheme.

4.1 Farming Zone

The land is zoned Farming – as depicted on the following page.

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Page 7 of 27

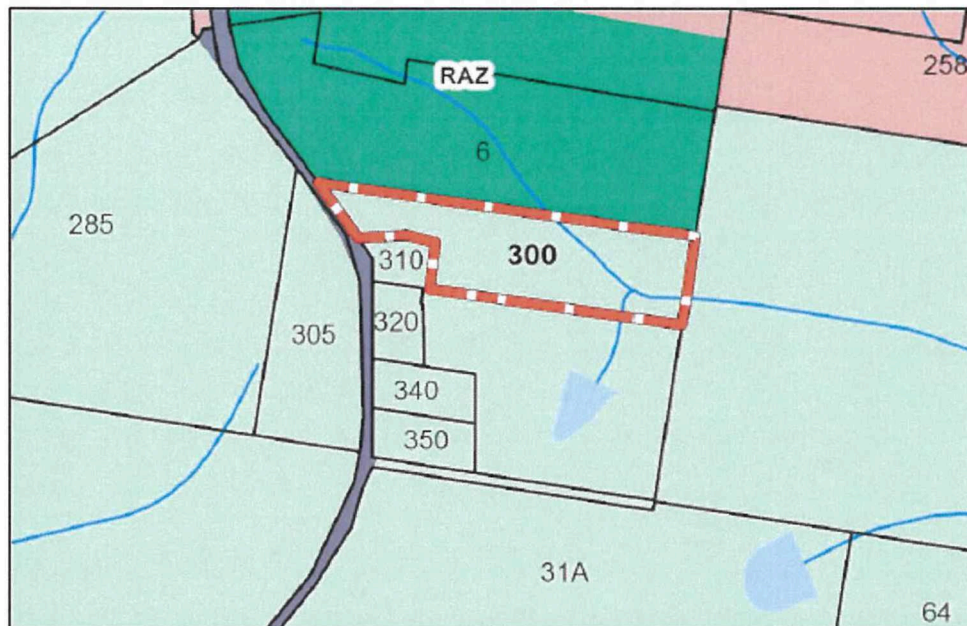


Figure 1 – Farming Zone Plan

Source: Planning Property Reports

The purpose of the Farming Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide for the use of land for agriculture.
- To encourage the retention of productive agricultural land.
- To ensure that non-agricultural uses, including dwellings, do not adversely affect the use of land for agriculture.
- To encourage the retention of employment and population to support rural communities.
- To encourage use and development of land based on comprehensive and sustainable land management practice and infrastructure provision.
- To provide for the use and development of land for the specific purposes identified in a schedule to this zone.

As detailed below, under the provisions of the Farming Zone, a planning permit is required for:

- Use of a dwelling on a lot less than 40ha.
- Buildings and works associated with a Section 2 (Permit Required Use).
- Dwelling within 50m of a Transport Zone 2.
- Dwelling within 100m of dwelling not in the same ownership.

Clause 35.07-2 states that the following requirements must be met:

- Access to the dwelling, small second dwelling or rural worker's dwelling and site that will be provided via an all-weather road with dimensions adequate to accommodate emergency vehicles.

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- Each dwelling, small second dwelling or rural worker accommodation must be connected to reticulated sewerage, if available. If reticulated sewerage is not available all wastewater from each dwelling must be treated and retained within the lot in accordance with the requirements of the Environment Protection Regulations under the Environment Protection Act 2017 for an on-site wastewater management system.
- The dwelling, small second dwelling or rural worker accommodation must be connected to a reticulated potable water supply or have an alternative potable water supply with adequate storage for domestic use as well as for fire fighting purposes.
- The dwelling, small second dwelling or rural worker accommodation must be connected to a reticulated electricity supply or have an alternative energy source.

As indicated in Section 3, these matters can be readily accommodated subject to conditions on any planning permit to be issued.

Clause 35.07.04 states that a planning permit is triggered for a building:

- Within 50m of a Transport Zone 2
The proposed dwelling will be approximately 26m from the frontage.
- Within 5m of a side boundary.
The proposed dwelling will be 27m and 33m respectively from side boundaries.
- Within 100m of a dwelling not in the same ownership.
The proposed dwelling will be approximately:
 - 65m from the dwelling to the south.
 - 65m from the dwelling to the west.

Clause 35.07-6 (Decision Guidelines) and responses follow.

Decision Guidelines	Response
The Municipal Planning Strategy and the Planning Policy Framework.	Satisfied Refer to Section 4.4 and 4.5 below.
Any Regional Catchment Strategy and associated plan applying to the land.	Satisfied The proposal does not compromise any Regional Catchment Strategy.
The capability of the land to accommodate the proposed use or development, including the disposal of effluent.	Satisfied The proposal can be readily accommodated on the land – as detailed within.
How the use or development relates to sustainable land management.	Satisfied The proposal is supported by a Farm Management Plan (FMP) prepared by Ag-Challenge Consultants Pty Ltd as presented in Section 3.3 and Appendix D .

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Decision Guidelines	Response	Advertised
Whether the site is suitable for the use or development and whether the proposal is compatible with adjoining and nearby land uses.	<p>Satisfied</p> <p>The proposal is consistent and compatible with adjoining and nearby land uses including lots small farming zoned land with dwellings to the south and west that are located in close proximity to the Warragul township.</p>	
How the use and development make use of existing infrastructure and services.	<p>Satisfied</p> <p>Existing infrastructure will be utilised as part of the proposal.</p> <p>No significant additional infrastructure is required to service the dwelling.</p>	
Agricultural issues and the impacts from non-agricultural uses		
Whether the use or development will support and enhance agricultural production.	<p>Satisfied</p> <p>The proposal is supported by a Farm Management Plan (FMP) prepared by Ag-Challenge Consulting Pty Ltd as presented Section 3.3 and Appendix D.</p>	
Whether the use or development will adversely affect soil quality or permanently remove land from agricultural production.	<p>Satisfied</p> <p>As above.</p>	
The potential for the use or development to limit the operation and expansion of adjoining and nearby agricultural uses.	<p>Satisfied</p> <p>As above.</p> <p>The proposal will not limit or impact on expansion opportunities for neighbouring or nearby agricultural uses.</p>	
The capacity of the site to sustain the agricultural use.	<p>Satisfied</p> <p>The proposal will support the continued and on-going use of the land for farming activities – as supported by the FMP.</p>	
The agricultural qualities of the land, such as soil quality, access to water and access to rural infrastructure.	<p>Satisfied</p> <p>As above</p>	
Any integrated land management plan prepared for the site.	<p>Satisfied</p> <p>The balance of the land will be used for productive agricultural use - as supported by the FMP.</p>	
Dwelling Issues		
Whether the dwelling will result in the loss or fragmentation of productive agricultural land.	<p>Satisfied</p> <p>The proposal will utilize the existing farmed zoned lot and a dwelling – as supported by the Farm Management Plan.</p> <p>The proposal will not contribute to the loss or fragmentation of productive agricultural land.</p>	<p>This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.</p> <p>By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p>

Decision Guidelines	Response	Advertised
Whether the dwelling will be adversely affected by agricultural activities on adjacent and nearby land due to dust, noise, odour, use of chemicals and farm machinery, traffic and hours of operation.	<p>Satisfied</p> <p>As above.</p> <p>The proposal will not be adversely impacted by any agricultural activities on adjacent or nearby properties.</p>	
Whether the dwelling will adversely affect the operation and expansion of adjoining and nearby agricultural uses.	<p>Satisfied</p> <p>As above.</p> <p>The proposal will not adversely impact on the expansion of agricultural activities on adjacent or nearby properties.</p>	
The potential for the proposal to lead to a concentration or proliferation of dwellings in the area and the impact of this on the use of the land for agriculture.	<p>Satisfied</p> <p>The land and wider precinct is characterized by small farming zoned lots with dwelling in proximity to the Warragul Township.</p> <p>The proposal will accommodate a dwelling ad support the continued use for the land for productive agricultural purposes, consistent with the intent and provisions of the Farming Zone, and as supported by the submitted Farm Management Plan prepared by Ag-Challenge Consulting Pty Ltd presented at Section 3.3 and Appendix D.</p>	
Environmental Issues		
The impact of the proposal on the natural physical features and resources of the area, in particular on soil and water quality.	<p>Satisfied</p> <p>The proposal will not have an adverse impact on environmental values.</p> <p>No vegetation removal or lopping is required.</p>	
The impact of the use or development on the flora and fauna on the site and its surrounds.	<p>Satisfied</p> <p>All buildings and works fall outside of the EXO4 extent.</p> <p>The proposal will not compromise flora or fauna values.</p>	
The need to protect and enhance the biodiversity of the area, including the retention of vegetation and faunal habitat and the need to revegetate land including riparian buffers along waterways, gullies, ridgelines, property boundaries and saline discharge and recharge area.	<p>Satisfied</p> <p>As above</p>	
The location of on-site effluent disposal areas to minimise the impact of nutrient loads on waterways and native vegetation.	<p>Satisfied</p> <p>Adequate area is available for on-site waste disposal subject on a condition on any planning permit to be issued – as detailed at Section 3.2.</p>	
Design and Siting Issues		
The need to locate buildings in one area to avoid any adverse impacts on surrounding agricultural uses and to minimise the loss of productive	<p>Satisfied</p> <p>The proposed buildings and works are located</p>	

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Page 11 of 27

Page 37 of 109

Decision Guidelines	Response	Advertised
agricultural land.	<p>adjacent to the property frontage to provide surveillance to the entry and wider property – whilst maintaining the balance of the land to be used for productive agricultural purposes consistent with the Farm Management Plan.</p> <p>The proposal will not impact on the expansion potential agricultural activities on adjacent to nearby properties.</p>	
The impact of the siting, design, height, bulk, colours and materials to be used, on the natural environment, major roads, vistas and water features and the measures to be undertaken to minimise any adverse impacts.	<p>Satisfied</p> <p>The proposed dwelling is modest in size and design.</p> <p>The proposed dwelling will not have a significant impact on the rural landscape.</p>	
The impact on the character and appearance of the area or features of architectural, historic or scientific significance or of natural scenic beauty or importance.	<p>Satisfied</p> <p>As above.</p> <p>The proposed dwelling will not have any significant impact on these matters.</p>	
The location and design of existing and proposed infrastructure including roads, gas, water, drainage, telecommunications and sewerage facilities.	<p>Satisfied</p> <p>The proposal will utilise existing infrastructure available to the site.</p>	
Whether the use and development will require traffic management measures.	<p>N/A</p> <p>Traffic management measures will not be required.</p>	

Response

The proposal is consistent with the intent and provisions of the Farming Zone and associated Schedule.

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Page 12 of 27

4.2 Development Contributions Plan Overlay (Schedule 1)

The land is affected by the Development Contribution Plan Overlay (Schedule 1) – as depicted below.



Figure 2 – DCPO1 Plan

Source: Planning Property Reports

The purpose of this Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas which require the preparation of a development contributions plan for the purpose of levying contributions for the provision of works, services and facilities before development can commence.

Schedule 1 presents contributions that apply across the Baw Baw Development Contribution Plan area.

Response

As required by the Overlay and subject to conditions on any planning permit to be issued, development contributions will be paid.

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4.3 Environmental Significance Overlay (Schedule 4)

The land is partially affected by the Environmental Significance Overlay (Schedule 4)– as depicted below.

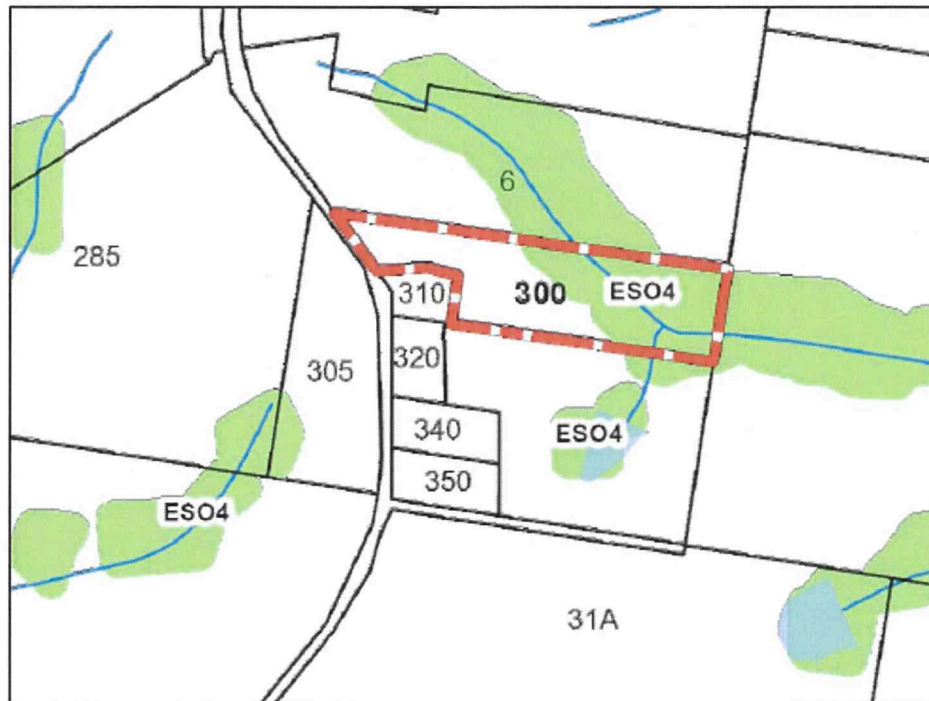


Figure 3 – ESO4 Plan

Source: Planning Property Reports

The purpose of this Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas where the development of land may be affected by environmental constraints.
- To ensure that development is compatible with identified environmental values.

A permit is required to, amongst other things:

- Construct a building or construct or carry out works.
- Remove, destroy or lop vegetation, including dead vegetation.

Schedule 4 (Protection of Giant Gippsland Earthworm and Habitat Areas) has the stated Environmental Objective as being:

"To protect and maintain populations and habitat of Giant Gippsland Earthworm by ensuring that the type, density, design and layout of works or development minimises adverse impacts on its individuals, colonies or the habitat requirements."

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Page 14 of 27

Response

No buildings, works or vegetation removal or lopping will be undertaken within the ESO1 area which is isolated to the eastern extent of the site adjacent to the waterway.

A planning permit is not triggered under this overlay.

4.4 Municipal Planning Strategy

Key MPP provisions and planning responses follow.

Clause 02.03-3 Natural resource management

Councils strategic direction include:

- Maintain the integrity of the land resource and its protection from unplanned urban and residential encroachment.
- Protect and develop the Shire's resources relating to dairying, horticulture, grazing, timber production, tourism and high quality water.
- Support the coal, sand and timber industries subject to protecting the rural environment and landscape.
- Protect agricultural uses by minimising land use conflicts between agricultural and sensitive uses.
- Restrict dwellings and small lots that would result in the loss of productive agricultural land or that prejudice agricultural production.
- Encourage the consolidation and restructuring of existing fragmented agricultural landholdings.
- Support the ecologically sustainable management of timber resources.

Clause 02.03-5 Economic development

Councils strategic direction include:

- Facilitate a strong economy and employment base by building on Baw Baw's natural strengths.
- Use Baw Baw's proximity to Melbourne and its transport infrastructure to promote it as a key processing and distribution hub for the metropolitan and Gippsland regions.
- Promote the natural resources of Baw Baw as being central to the region's industries sector.
- Attract investments into agri-business that supports farming and primary production.
- Facilitate diversification of the economy into new and innovative sectors.
- Promote the region as a tourist destination comprising high quality scenic landscapes and diverse attractions.
- Protect high quality agricultural land and its productive capacity.

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Response

The proposal responds appropriately to the Municipal Planning Strategy (MPS) given the proposal:

- supports the productive agricultural use of the land consistent with Farm Management Plan prepared by Ag-Challenge Consulting Pty Ltd.
- supports investment in farming and primary production.
- has been sited and designed in a manner that is sensitive to the neighbouring properties and proposed farming use of the land.
- does not compromise or impact on the environmental values.
- is in keeping with similar smaller farming zoned allotments with dwellings located in close proximity to the Warragul Township.

4.5 Planning Policy Framework

Key PPF provisions and planning responses follow.

Clause 11.03-5S – Distinctive areas and landscapes

This clause has the objective to recognise the importance of distinctive areas and landscapes to the people of Victoria and protect and enhance the valued attributes of identified or declared distinctive areas and landscapes.

Clause 12 – Environmental and Landscape Values

- Planning should help to protect the health of ecological systems and the biodiversity they support (including ecosystems, habitats, species and genetic diversity) and conserve areas with identified environmental and landscape values.
- Planning must implement environmental principles for ecologically sustainable development that have been established by international and national agreements. Foremost amongst the national agreements is the Intergovernmental Agreement on the Environment, which sets out key principles for environmental policy in Australia. Other agreements include the National Strategy for Ecologically Sustainable Development, National Greenhouse Strategy, the National Water Quality Management Strategy, Australia's Strategy for Nature 2019-2030, 1987 National Forest Policy Statement and National Environment Protection Measures.
- Planning should protect, restore and enhance sites and features of nature conservation, biodiversity, geological or landscape value.

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Page 16 of 27

Page 42 of 109

Clause 12.01-1S Protection of biodiversity

This clause has the objective to protect and enhance Victoria's biodiversity.

Clause 12.01-1L Protection of Baw Baw's biodiversity

This clause has the following strategies:

- Encourage protection of habitat for native fauna with an emphasis on threatened species, habitats and communities.
- Encourage and facilitate the development of biolinks or wildlife corridors across the Shire.
- Encourage establishment of native vegetation for new and emerging environmental markets (such as BushBroker, BushTender, EcoTender, carbon offsetting etc).

Clause 12.01-2S Native vegetation management

This clause as the objective to ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation.

Clause 12.03-1S River and riparian corridor, waterways, lakes, wetlands and billabongs

This clause has the objective to protect and enhance waterway systems including river and riparian corridors, waterways, lakes, wetlands and billabongs.

Clause 12.05 -1S Environmentally sensitive areas

This clause has the objective to protect and conserve environmentally sensitive areas.

Clause 12.05.2S Landscape

This clause has the objective to protect and enhance significant landscapes and open spaces that contribute to character, identity and sustainable environments.

Clause 14 – Natural Resource Management

Planning is to assist in the conservation and wise use of natural resources including the environment, water, land, stone and minerals to support both environmental quality and sustainable development.

Planning should ensure agricultural land is managed sustainably, while acknowledging the economic importance of agricultural production.

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Clause 14.01 - Agriculture

Clause 14.01-1S Protection of agricultural land

This clause has the objective to protect the State's agricultural based by preserving productive agricultural land.

Clause 14.01-1L Dwelling and subdivision in rural areas

The objectives of this clause are:

- To ensure that the development of dwellings and subdivision, including the creation of small lots for existing dwellings, minimises the loss of productive agricultural land and does not prejudice activities associated with agricultural production.
- To provide guidance for development of dwellings that are integral to the substantial commercial farming or tourism use of the land.

Strategies include:

- Discourage the development of a dwelling on land that is used for small-scale grazing animal production unless there are special management requirements relating to the grazing of stock.
- Discourage the development of a dwelling unless it is required for a commercial farming purpose or for an approved tourism business to the satisfaction of the Responsible Authority.
- Discourage dwellings on lots where wastewater cannot be retained and treated within the lot. Limit the area associated with a dwelling and ancillary buildings and facilities so that the area for agriculture or rural purposes is maximised.
- Discourage the development of dwellings close to a neighbouring dwelling or a farming activity node such as; stockyards, dairy shed or effluent treatment ponds.
- Encourage consolidation of vacant lots within the property (being lots in the same ownership which adjoin each other or are separated only by a stream, stream reserve, or unmade or unused government road or rail reserve) on which the dwelling is proposed.

Following are policy guidelines and a succinct response.

Guideline	Response
A business plan or farm management plan clearly demonstrates that a dwelling is required for a commercial farming purpose (including small scale grazing animal production) or an approved tourism business on the land.	<p>Satisfied</p> <p>The proposal is supported by a detailed Farm management Plan prepared by Warragul based consulting firm Ag Challenge Consulting Pty Ltd which considered the information on the site, site context, proposed farming operation and capacity of the farm to accommodate the proposed operation.</p>

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Guideline	Response	Advertised
Limiting a dwelling and ancillary buildings and facilities, to within a 2000 square metre envelope.	The proposed dwelling and ancillary buildings / works do not exceed 2000sqm in area.	
Setting dwellings back at least 100 metres from a neighbouring dwelling or a farming activity node.	<p>As detailed in Section 4.1, the proposed dwelling will be approximately:</p> <ul style="list-style-type: none"> - 65m from the dwelling to the south. - 65m from the dwelling to the west. <p>It is submitted that the dwelling will not impact on the neighbouring / nearby properties and is keeping with nearby dwellings on smaller farming zoned allotments (to the south and west) located in proximity to the Warragul Township.</p>	
An agreement under Section 173 of the Act, that ensures that the lot cannot be subdivided to create an additional lot and cannot be used for any further dwelling.	If and as required such an agreement could be readily accommodated subject to condition on any planning permit to be issued.	
That a proposal for a new dwelling adjacent to two or more existing dwellings constitutes a 'concentration' or 'proliferation' of dwellings in the area when considering the Dwelling Decision guidelines under clause 35.07.	<p>As detailed in Section 4.1, the proposed dwelling will be approximately:</p> <ul style="list-style-type: none"> - 65m from the dwelling to the south. - 65m from the dwelling to the west. <p>It is submitted that the dwelling will not impact on the neighbouring / nearby properties and is keeping with nearby dwellings on smaller farming zoned allotments (to the south and west) located in proximity to the Warragul Township.</p> <p>On this basis, it is submitted that the proposal does not represent a concentration or proliferation.</p>	

It is noted that this policy also seeks to supporting dwellings on existing lots within the Strzelecki Ranges that are close to main towns and have access to roads with an all-weather surface.

Clause 14.-1-2S – Sustainable agricultural land use

This clause has the objective to encourage sustainable agricultural land use.

Clause 14.01-2L-01 – Sustainable agricultural land use in Baw Baw

The objective of this clause is to maintain and strengthen agriculture as a major contributor to the Shire's economy.

It is a strategy to encourage a diverse range of agricultural enterprises that can use smaller landholdings.

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Clause 17 Economic Development

Planning is to provide for a strong and innovative economy, where all sectors are critical to economic prosperity.

Planning is to contribute to the economic wellbeing of the state and foster economic growth by providing land, facilitating decisions and resolving land use conflicts so that each region may build on its strengths and achieve its economic potential.

Clause 17.01-1S Diversified economy

This clause has the objective to strengthen and diversify the economy.

Strategies include but are not limited to:

- Improve access to jobs closer to where people live.
- Support rural economies to grow and diversify.

Clause 17.01-1L Baw Baw's Economy

The objective of this clause is to establish and maintain a strong, dynamic and future ready economy and employment base building on the Shire's competitive advantages for agriculture, timber, value-adding industries, tourism and land suitable for large scale business parks.

Clause 18.02-4S Roads

The objective of this clause is facilitate and efficient and safe road network that integrates all movement networks and makes best use of existing infrastructure.

Response

The proposal responds appropriately to the Municipal Planning Strategy (MPS) and Planning Policy Framework (PPF) given the proposal:

- supports the productive and sustainable agricultural use of the land consistent with Farm Management Plan prepared by Ag-Challenge Consulting Pty Ltd.
- supports economic development and investment in farming and primary production.
- has been sited and designed in a manner that is sensitive to the neighbouring properties and proposed farming use of the land.
- does not compromise or impact on the environmental and landscape values.
- is in keeping with similar smaller farming zoned allotments with dwellings located in close proximity to the Warragul Township
- utilizes existing infrastructure available to the land.

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4.6 Clause 52.29 Land Adjacent to the Principal Road Network

The purpose of this clause is:

- To ensure appropriate access to the Principal Road Network or land planned to form part of the Principal Road Network.
- To ensure appropriate subdivision of land adjacent to Principal Road Network or land planned to form part of the Principal Road Network.

Under Clause 52.29-2 a permit is required to:

- Create or alter access to:
 - A road in a Transport Zone 2.
 - Land in a Public Acquisition Overlay if a transport manager (other than a municipal council) is the acquiring authority and the acquisition is for the purpose of a road.

Response

The proposal utilizes an existing access / farm gate.

It is submitted that the proposal does not trigger the need for a planning permit under this clause on the basis that an existing access is being utilized.

5. Conclusion

Based on the information presented within, it is submitted that the proposed dwelling in association with the submitted Farm Management Plan:

- Is consistent with the intent or provisions of the Farming Zone and associated Schedule.
- Will generate development contributions in line with the Development Contributions Plan Overlay (Schedule 1 – Baw Baw Shire Development Contributions Plan).
- Does not trigger the need for a planning permit under the Environmental Significance Overlay (Schedule 4 – Giant Gippsland Earthworm and Habitat Areas) on the basis that all buildings and works will be outside the overlay area.
- Responds appropriately to Municipal Planning Strategy (MPS) and Planning Policy Framework (PPF). given the proposal:
 - Supports the productive and sustainable agricultural use of the land consistent with Farm Management Plan prepared by Ag-Challenge Consulting Pty Ltd.

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- Supports economic development and investment in farming and primary production.
- Has been sited and designed in a manner that is sensitive to the neighbouring properties and proposed farming use of the land.
- Does not compromise or impact on the environmental or landscape values.
- Is in keeping with similar smaller farming zoned allotments with dwellings located in close proximity to the Warragul Township
- Utilizes existing infrastructure available to the land.

Furthermore, it submitted that the proposal will not have a material detriment to nearby landowners / occupiers by way of visual amenity, noise, or traffic.

On this basis, this proposal is commended to Council for approval.

To discuss any aspect, do not hesitate to contact me directly on

Yours sincerely,

Director, Planning Central Pty Ltd

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Appendix B

Photos : Site & Surrounds

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Page 24 of 27

300 Korumburra – Warragul Road, Warragul

Photos : Site & Surrounds



Photo 1 – Site entrance as viewed from Korumburra – Warragul Road looking east

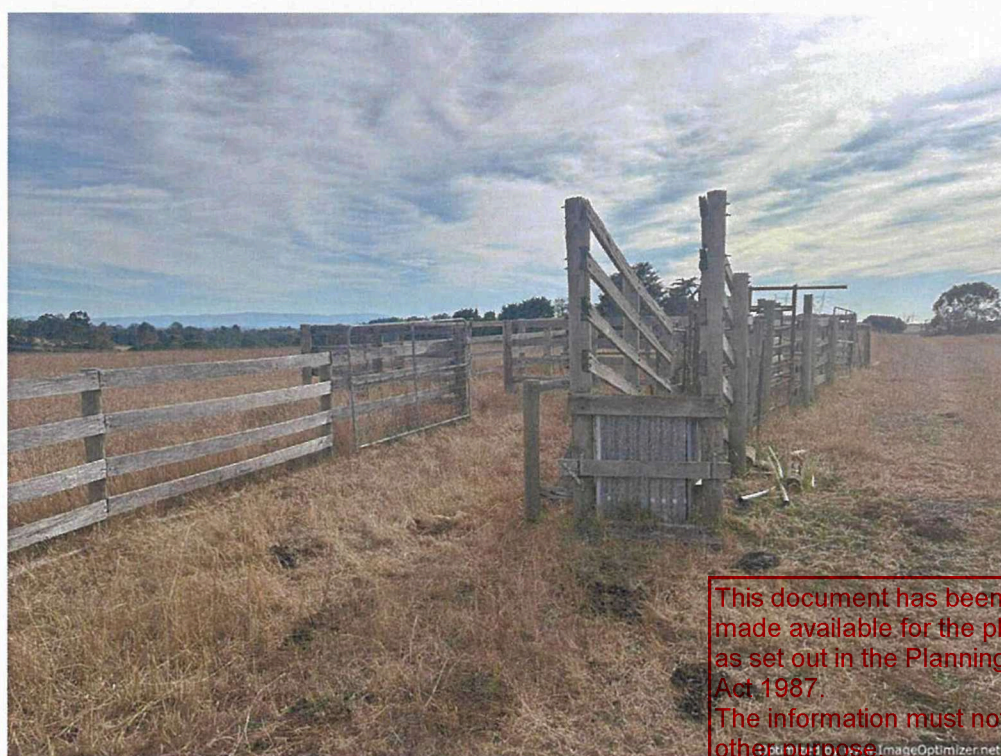


Photo 2 – Cattle Loading Yard adjacent to site entrance

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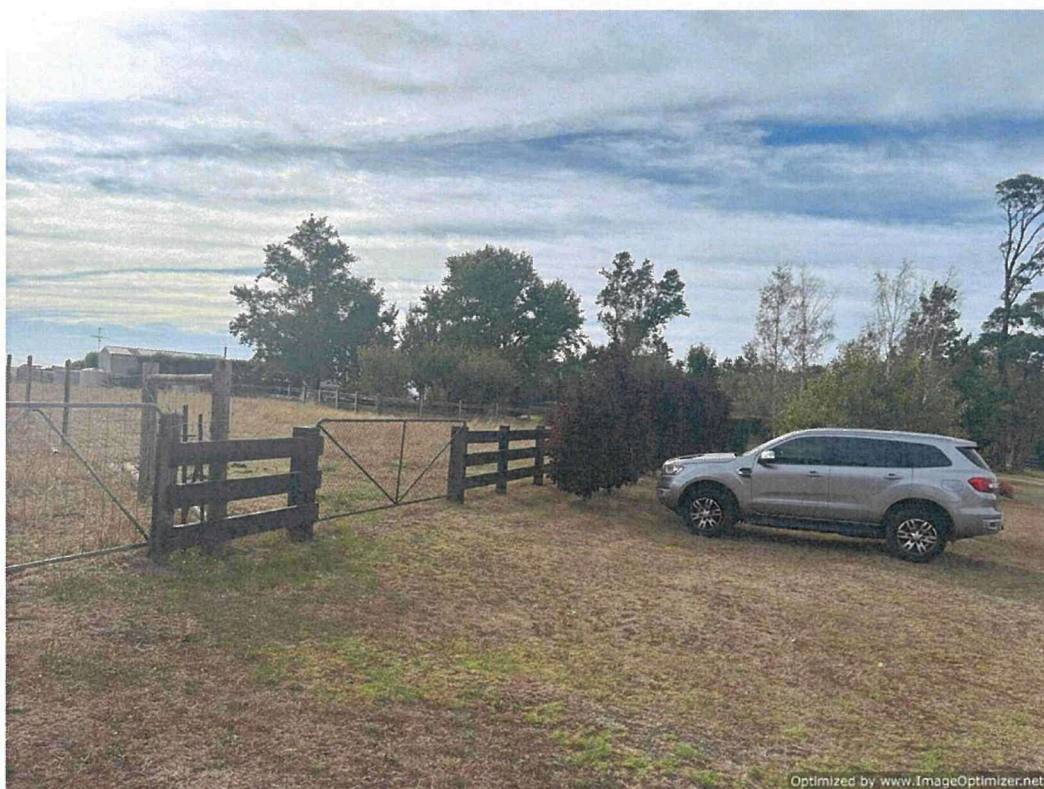


Photo 5 – Looking south-east toward neighbouring property with site access immediately left.

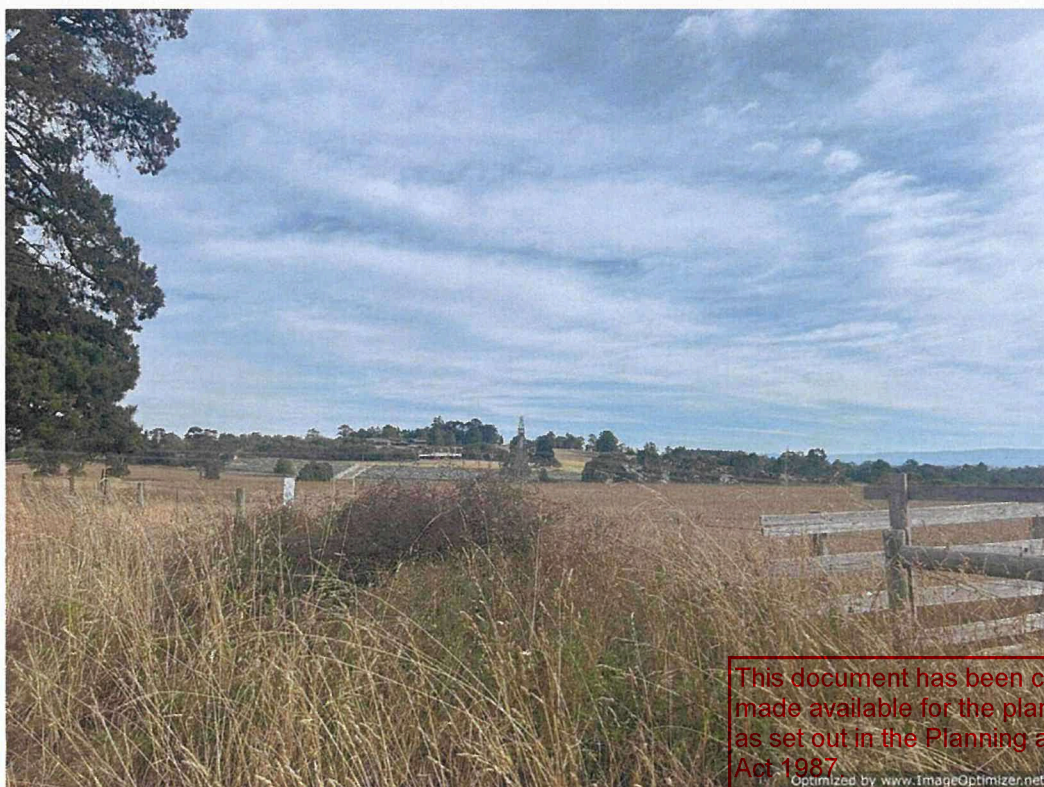
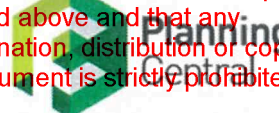


Photo 6 – Looking north-east toward Wild Dog Winery and Warragul Township beyond.

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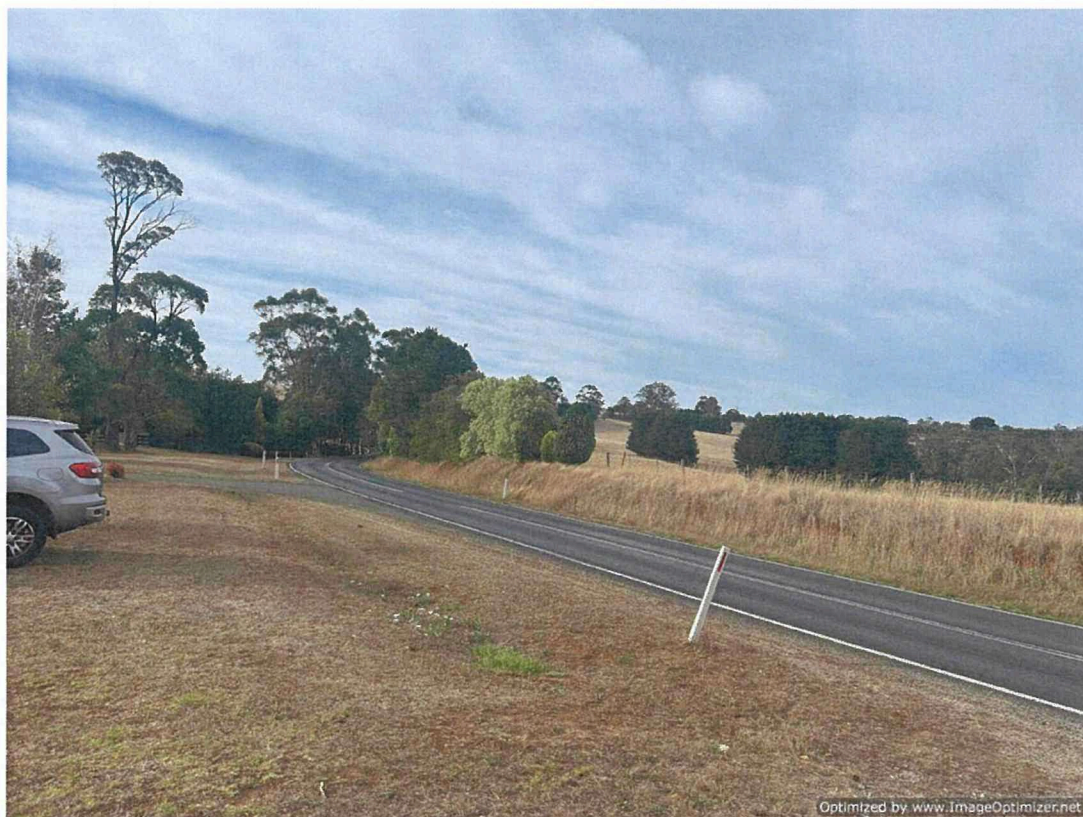


Photo 9 – Looking west across along Korumburra – Warragul Road from the site access.



Photo 10 – Residences to the south of the subject site

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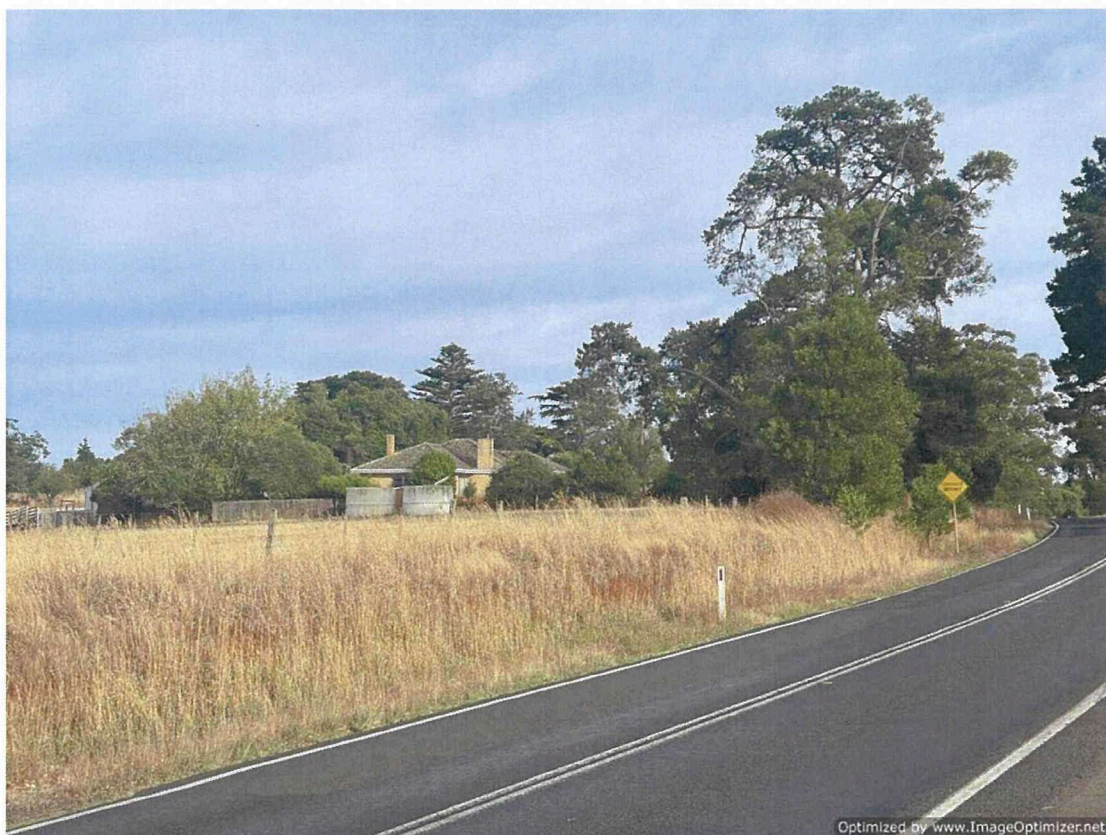
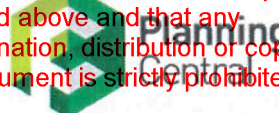


Photo 13 – Residence on Farming zoned land on west side of Korumburra – Warragul Road - opposite the subject site.

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Appendix C

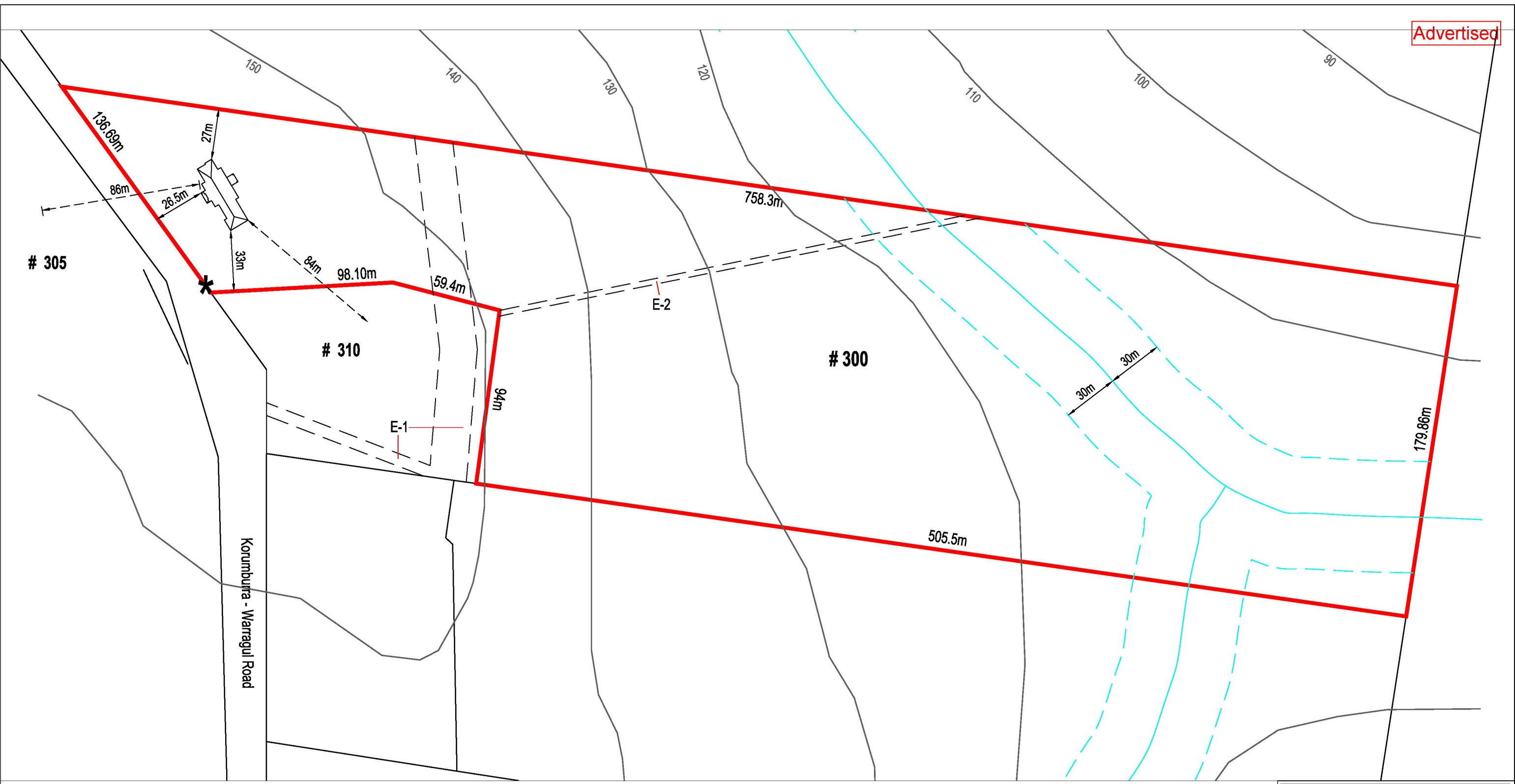
Proposed Development Plans

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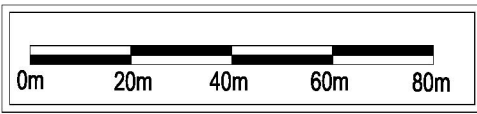
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Page 25 of 27



Scale: 1:2000



Legend	
Site Boundary	
Existing - Access	
Proposed - Dwelling	
Proposed - Accessway	
Waterway (and 30m Buffer)	
Contours	

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Page 55 of 109

Comments:
1- For planning purposes.
2- Not based on detailed survey.
3- Broader farming use in line with the Farm Management Plan prepared by Ag-Challenge P/L.
4- Updated access to DTP (VicRoads) Conditions.

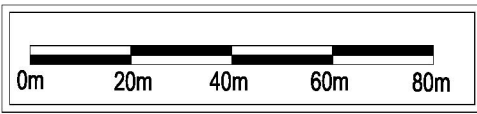
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Plotted: V1 - August 2025	Client:
Scale: A3 @ 1:2000	Land: 300 Korumburra - Warragul Road, Warragul





Advertised

Scale: 1:2000



Legend	
Site Boundary	
Existing - Access	
Proposed - Dwelling	
Proposed - Accessway	
Waterway (and 30m Buffer)	
Contours	

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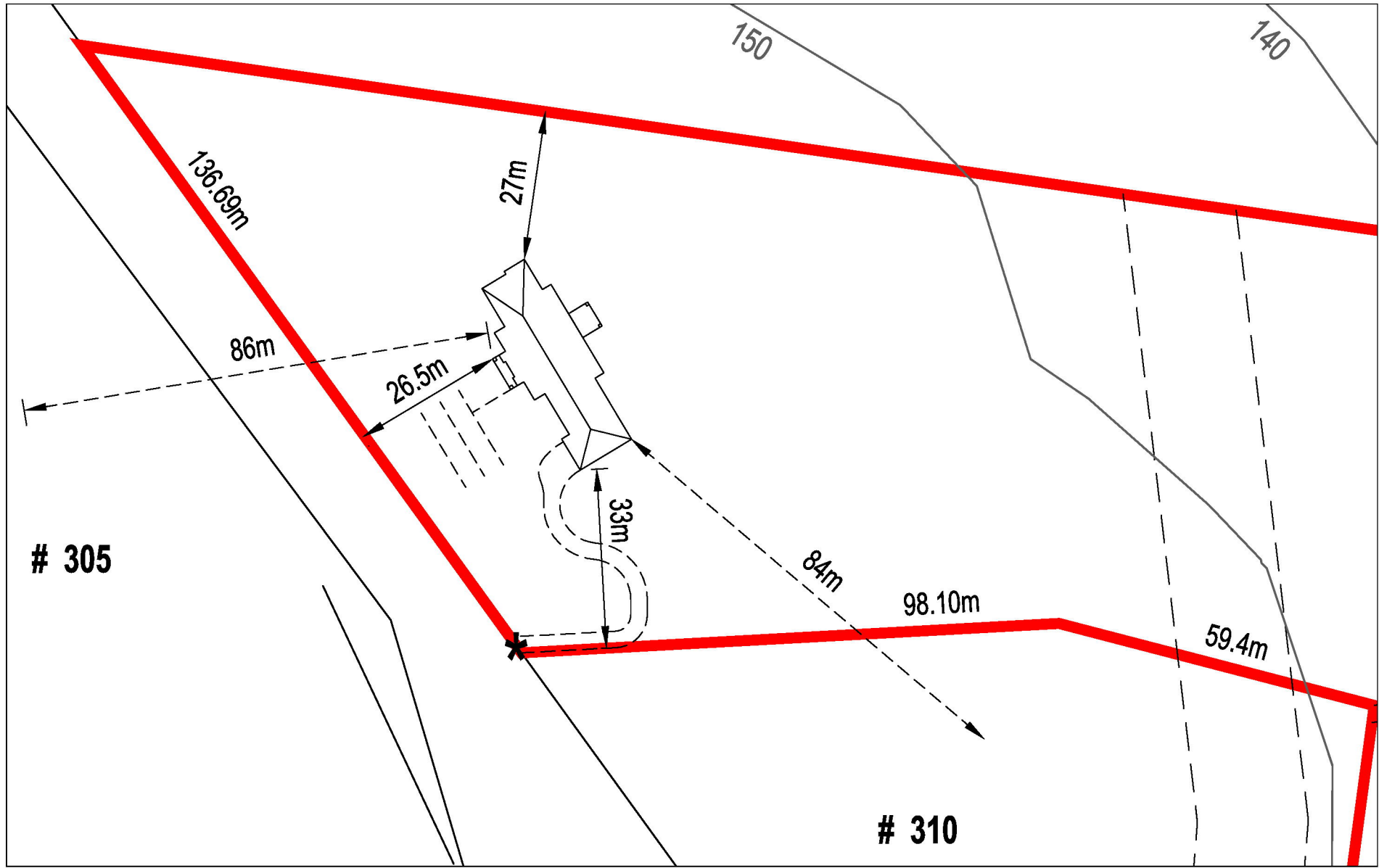
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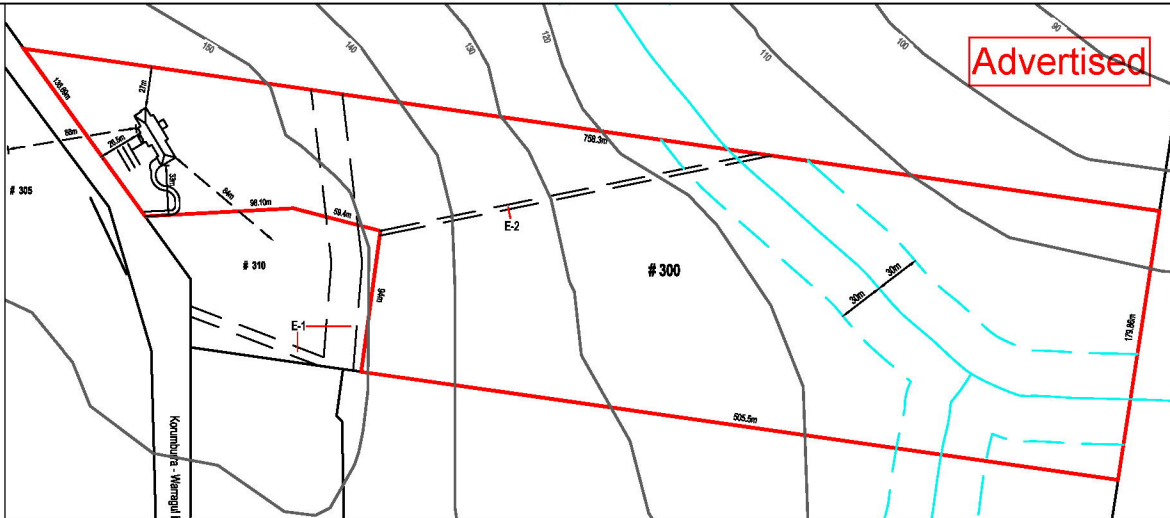
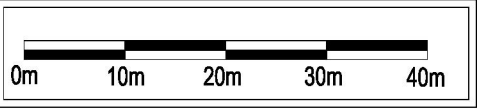
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Drawn: AA	Title: Site Context Development Plan
Plotted: V1 - August 2025	Client:
Scale: A3 @ 1:2000	Land: 300 Korumburra - Warragul Road, Warragul



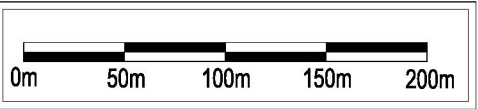


Scale: 1:1000



Advertised

Scale: 1:5000



Notes:

1. Vehicle access to be all weather accessible.
2. Waste disposal to be subject to LCA subject to condition on any planning permit to be issued.
3. No cut and fill / retaining walls exceeding 0.5m.
4. Finished Floor Level of Dwelling to be approximately 155m(AHD).

Legend	
Site Boundary	
Existing - Access	
Proposed - Dwelling	
Proposed - Accessway (3m)	
Waterway (and 30m Buffer)	
Contours	
Water Disposal Area	

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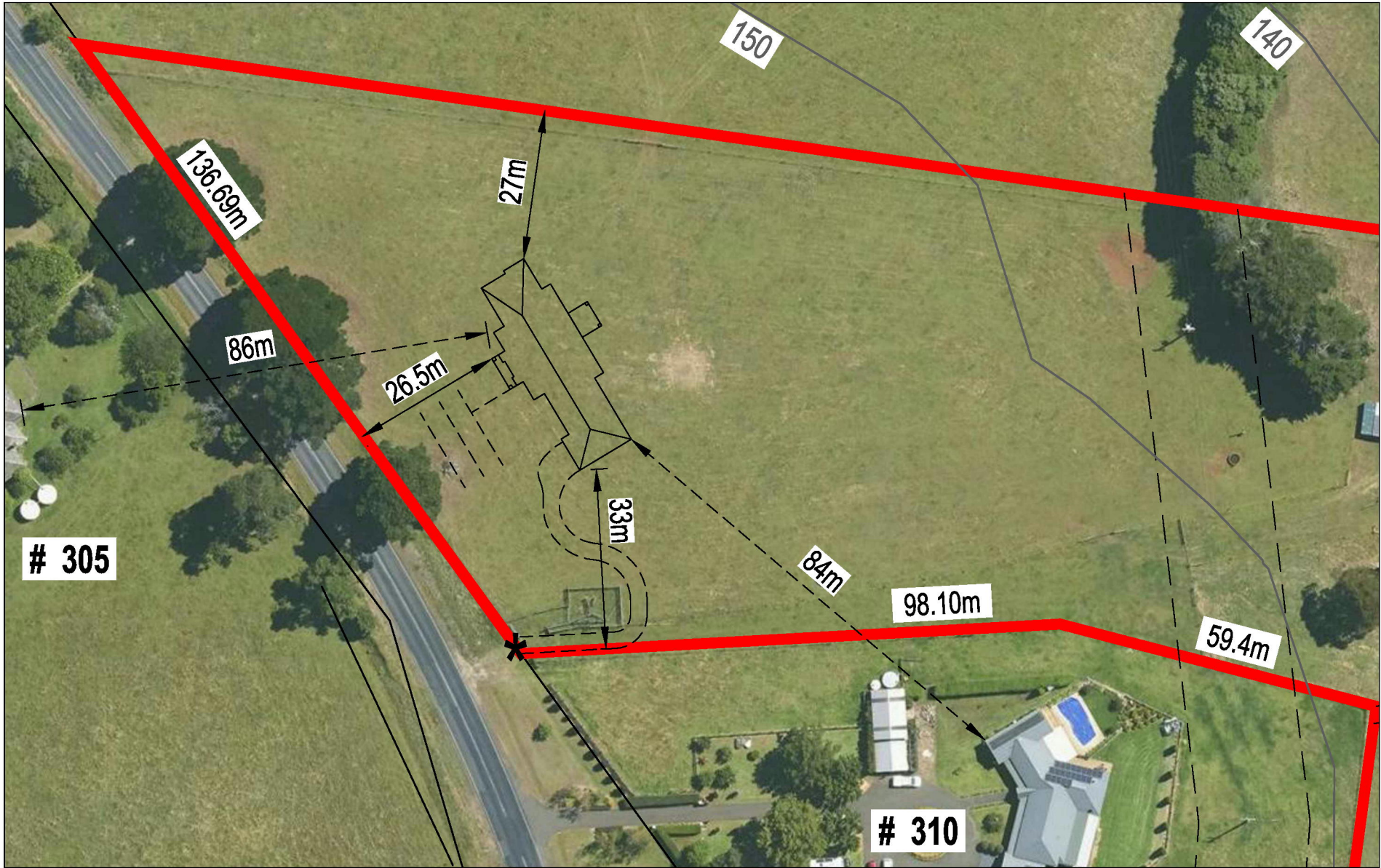
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Page 57 of 109

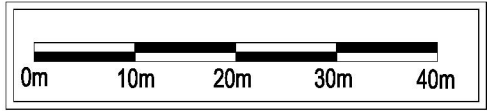
Comments:
1- For planning purposes.
2- Not based on detailed survey.
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4- Updated access to DTP (VicRoads) Conditions.

Drawn: AA	Title: Site Development Plan
Plotted: V3 - August 2025	Client:
Scale: A3 @ 1:2000	Land: 300 Korumburra - Warragul Road, Warragul



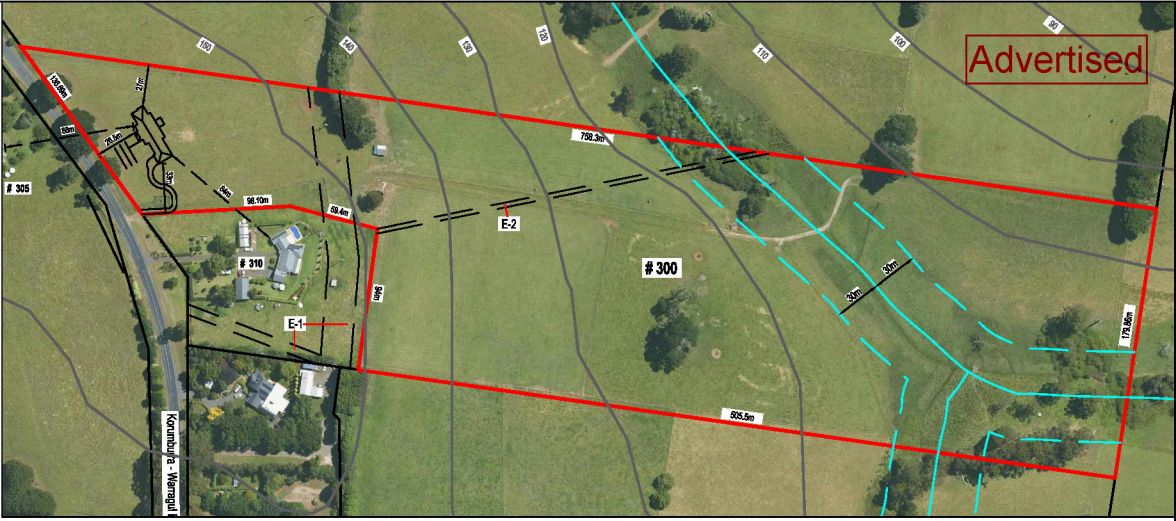


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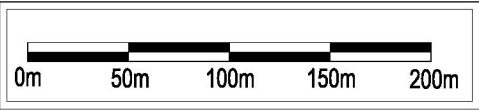


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4- Updated access to DTP (VicRoads) Conditions.

Drawn: AA	Title: Site Development Plan
Plotted: V3 - August 2025	Client:
Scale: A3 @ 1:2000	Land: 300 Korumburra - Warragul Road, Warragul



Scale: 1:5000



- Notes:
1. Vehicle access to be all weather accessible.
 2. Waste disposal to be subject to LCA subject to condition on any planning permit to be issued.
 3. No cut and fill / retaining walls exceeding 0.5m.
 4. Finished Floor Level of Dwelling to be approximately 155m(AHD).

Legend	
Site Boundary	
Existing - Access	
Proposed - Dwelling	
Proposed - Accessway (3m)	
Waterway (and 30m Buffer)	
Contours	
Water Disposal Area	

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Page 58 of 109





HIGHLANDER 68

PINDARI

DRAWING LIST

SHEET No.	SHEET NAME
F04-00	COVER SHEET
F04-01	GENERAL NOTES
F04-02	SITE PLAN
F04-03	GROUND FLOOR PLAN
F04-03A	GROUND FLOOR PLAN LEFT
F04-03B	GROUND FLOOR PLAN RIGHT
F04-04	FIRST FLOOR PLAN
F04-05	ROOF PLAN
F04-06	ELEVATIONS
F04-07	ELEVATIONS
F04-08	ELEVATIONS
F04-09	ELEVATIONS
F04-10	SECTION
F04-11	GROUND FLOOR FLOOR COVERINGS
F04-12	FIRST FLOOR FLOOR COVERINGS

SHEET No.	SHEET NAME
F04-13	GROUND FLOOR ELECTRICAL PLAN
F04-14	FIRST FLOOR ELECTRICAL PLAN
F04-21	SLAB PLAN
F04-A3	WINDOW SCHEDULE
F04-A4	DOOR SCHEDULE

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REVISIONS				
REV.	DESCRIPTION	DATE	DRAWN	CHECKED

REVISIONS				

DRAWING TITLE:
COVER SHEET

Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. *If in doubt, ASK.*

DESIGNER
SPEC: BASE

DESIGN:
HIGHLANDER 68

FACADE:
PINDARI

PRODUCT CODE:
VD3HIG68PIND

CEILING:
25G, 24F

OWNER:
METRICON HOMES

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JOB N°: TBC
WIND SPEED: TBC
DRAWN: TP,PP
CHECKED: BM, CE
DATE: 03/03/2023

PERMIT N°: TBC
MASTER ISSUED: 01/04/2023
SHEET: F04-00/21

Page 59 of 105

MASTER PLAN

NOTE: SHADOWS SHOWN HERE ARE NOT SITE SPECIFIC. THEY ARE ADDED TO HELP UNDERSTAND THE VOLUME AND SHAPE OF HOME.

STANDARD NOTES:

AS PER NCC 2022

Advertised

GENERAL

- REFER TO ALL ASSOCIATED ENGINEERING DRAWINGS FOR DESIGN AND CONSTRUCTION REQUIREMENTS OF STRUCTURAL, SLAB & HYDRAULIC ELEMENTS (where applicable).
- WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE.
- FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
- INTERNAL ELEVATION DIMENSIONS ARE TO PLASTER.
- ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE.

FRAMING

- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH AS1684.2-2021 NATIONAL TIMBER FRAMING CODE & OR ENGINEERS STRUCTURAL COMPUTATIONS.
- PREFABRICATED ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS & LAYOUTS.
- WALL BRACING, FIXING, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQ. TO BE AS PER ENGINEERS DETAIL
- SPECIFIED EAVE WIDTH, MEASURED FROM FACE OF BRICK (UNO).
- PROVIDE 2No. JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAILS-TYP-DOOR-01N.
- ENSURE RETURN AIR GRILLE & AC VOIDS ARE CLEAR OF TRUSS &/OR FRAMING CONSTRUCTION.

CEILING/WALL - GENERAL

- PROVIDE PLASTER LINED CEILINGS TO ALL AREAS (UNO).
- SOFFITS 4.5mm FC SHEET (UNO).
- ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING/FLASHING (50mm MIN' LAP TO ALL JOINS WITH CONTINUOUS SILICON SEAL BETWEEN & 50mm MIN' VERTICAL OVERHANG.)
- PROVIDE CAVITY FLASHING & WEEPHOLES AS PER NCC 2022 H1D5 HOUSING PROVISIONS 5.7.5
- WATERPROOFING FOR EXTERNAL ABOVE GROUND USE TO COMPLY WITH AS4654.1-2012 & AS4654.2-2012.

STEPS/STAIRS & BALUSTRADES

- ALL STEPS MUST COMPLY WITH NCC 2022 H5D2 HOUSING PROVISIONS 11.2.2
- BARRIERS & HANDRAILS MUST COMPLY WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3
- BALUSTRADE IN ACCORDANCE WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.3 TO BE INSTALLED WHERE VOIDS, OR INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE FINISHED GROUND/FLOOR LEVEL.
- PROVIDE SLIP RESISTANCE IN ACCORDANCE WITH NCC 2022 H5D2 HOUSING PROVISIONS 11.2.4 & AS4586-2013.
- STAIRS ARE INDICATIVE ONLY. REFER TO DETAILS, SPECIFICATIONS & SELECTION DOCUMENTS.

WET AREAS

- WATERPROOFING OF WET AREAS TO COMPLY WITH NCC 2022 H4D2 HOUSING PROVISIONS 10.2 INCLUDING STATE VARIATIONS AND ADDITIONS.
- WALL LINING TO WET AREAS TO BE APPROVED WET AREA BOARD (UNO).
- ALL INWARD SWING HINGED WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH NCC 2022 H4D5 HOUSING PROVISIONS 10.4.2

WINDOWS & DOORS

- CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM (UNO).
- SIZES NOMINATED AS A GENERIC CODE (UNO). FIRST 2 NUMBERS REFER TO HEIGHT & SECOND 2 RELATE TO WIDTH.
- EXTERNAL WINDOWS & DOORS TO COMPLY WITH NCC 2022 H6D1 HOUSING PROVISIONS 13.4.4.
- WINDOWS TO COMPLY WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.7 & NCC 2022 H1D8 HOUSING PROVISIONS 8.4.6.
- ALL GLAZING TO COMPLY WITH AS1288-2021 & AS2047-2014, & WITH AS4055-2021 FOR WIND LOADING (UNO).
- WINDOWS SHALL BE PROTECTED IN ACCORDANCE WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.7 & 11.3.8
- WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS (UNO).
- PROVIDE LIGHTWEIGHT CLADDING ABOVE ALL CORNER WINDOWS & CORNER DOORS (UNO).
- SAFETY GLAZING IN HUMAN IMPACT AREAS INCLUDING ADJACENT TO BATHS OR SHOWERS TO BE IN ACCORDANCE WITH NCC 2022 H1D8 HOUSING PROVISIONS 8.4.6

ENERGY EFFICIENCY NOTES

- NOTE: DESIGN MODIFICATIONS MAY BE NECESSARY TO ACHIEVE REQUIRED ENERGY RATING, BASED ON SPECIFIC SITING. REFER TO SPECIFICATION & CONTRACT DOCUMENTATION.
- PROVIDE BULK CEILING INSULATION & EXTERNAL WALL INSULATION AS PER STD SPECIFICATIONS (UNO).
 - PROVIDE WEATHER STRIPPING TO WINDOWS & ALL EXTERNAL HINGED DOORS.
 - PROVIDE DRAFT PREVENTION TO EXHAUST FANS, AS PER RELEVANT BUILDING CODES.
 - SEALED GAPS AROUND WINDOWS & EXTERNAL DOORS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 H1D7 HOUSING PROVISIONS 7.5.6 & AS/NZS 2904-1995.
 - INSULATION OF SERVICES AS PER NCC 2022 H6D2 HOUSING PROVISIONS 13.7.2
 - HEATING AND COOLING DUCTWORK AS PER NCC 2022 HOUSING PROVISIONS H6D2 13.7.4 & SEALING PER AS4254-2021.
 - ARTIFICIAL LIGHTING AS PER NCC 2022 H6D2 HOUSING PROVISIONS 13.7.6
 - WHERE APPLICABLE, PROVIDE SUB-FLOOR VENTILATION IN ACCORDANCE WITH NCC 2022 H2D5 HOUSING PROVISIONS 6.2.1 TO SUSPENDED TIMBER FLOORS.

MISCELLANEOUS

- PROVIDE CAVITY FLASHING & WEEPHOLES AS PER NCC 2022 H1D5 HOUSING PROVISIONS 5.7.5.
- PLIABLE BUILDING MEMBRANES TO COMPLY WITH NCC 2022 H4D9 HOUSING PROVISIONS 10.8.1 & AS4200.1-2017 & BE INSTALLED IN ACCORDANCE WITH AS4200.2-2017.
- ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH THE PLUMBING CODE OF AUSTRALIA, NCC 2022 H2D2 HOUSING PROVISIONS 3.3 & AS/NZS 3500.3-2021.
- PROVIDE MINIMUM 115mm SLOTTED GUTTERS WITH APPROVED OVERFLOW PROVISIONS AS REQUIRED.
- ALL EXHAUST FANS TO COMPLY WITH NCC 2022 H4D9 HOUSING PROVISIONS 10.8.2
- WHERE REQUIRED, BATHROOM AND SANITARY COMPARTMENT EXHAUST FANS TO ACHIEVE A MINIMUM FLOW RATE OF 25 L/s, & 40 L/s FOR A KITCHEN OR LAUNDRY.
- PROVIDE TERMITE MGT. SYSTEM AS PER AS3660.1-2014.
- ALL SMOKE ALARMS TO COMPLY WITH AS3786-2014, CONNECTED TO MAINS POWER, AND INTERCONNECTED WHERE APPLICABLE. INSTALLATION TO BE IN ACCORDANCE WITH NCC 2022 H3D6 HOUSING PROVISIONS 9.5.4
- LOCATIONS OF ELECTRICAL COMPONENTS & VENTS SHOWN ARE INDICATIVE ONLY, AND MUST BE INSTALLED TO REQUIRED DISTANCES FROM WALL & CEILING JUNCTIONS.
- BUILDINGS IN BUSHFIRE PRONE AREAS TO COMPLY WITH AS3959-2018.
- DWELLINGS WITHIN 1km OF A BAY/10km OF A SURF COAST MUST HAVE ALL STEEL & MORTAR IN ACCORDANCE WITH SECTION 5 OF AS3700-2018.
- TEMPORARY DOWNPIPES TO BE INSTALLED DURING CONSTRUCTION TO PREVENT WATER PONDING NEAR THE FOOTINGS.

STEEL FRAMING REQUIREMENTS (WHERE APPLICABLE):

- STEEL FRAME & TRUSSES REQUIRING THE ISSUE OF A SIGNED COMPLIANCE CERTIFICATE FOR THE BUILDING DESIGN - FORM 15 UPON COMPLETION AND PRIOR TO FINAL CERTIFICATION
- STEEL FRAMES AND TRUSSES TO COMPLY WITH:
 - AS/NZS 1170.0-2002 STRUCTURAL DESIGN ACTIONS: PART 0: GENERAL PRINCIPLES
 - AS/NZS 1170.1-2002 STRUCTURAL DESIGN ACTIONS: PART 1: PERMANENT, IMPOSED AND OTHER ACTIONS
 - AS/NZS 4600-2018 COLD-FORMED STEEL STRUCTURES
 - AS4055-2021 WIND LOADS FOR HOUSING
 - AS4100-2020 STEEL STRUCTURES CODE
 - AS3623-1993 DOMESTIC METAL FRAMING
 - AS3566.1-2002 SELF DRILLING SCREWS
 - NASH STANDARDS

STEEL FRAMING SUPPLIER TO PROVIDE DESIGN, CONNECTORS AND FIXING HARDWARE FOR ALL STEEL TO STRUCTURAL TIMBER MEMBERS (UNO BY ENGINEER).

FACADE DETAIL

S-TYP-TBA

NOTES:

- REFER TO "METRICON - WINDOW AND DOOR CODE SIZE GUIDE"

DRAWING TITLE:

GENERAL NOTES



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DESIGNER

SPEC: BASE

DESIGN:

HIGHLANDER 68

FACADE:

PINDARI

PRODUCT CODE:

VD3HIG68PIND

CEILING:

25G, 24F

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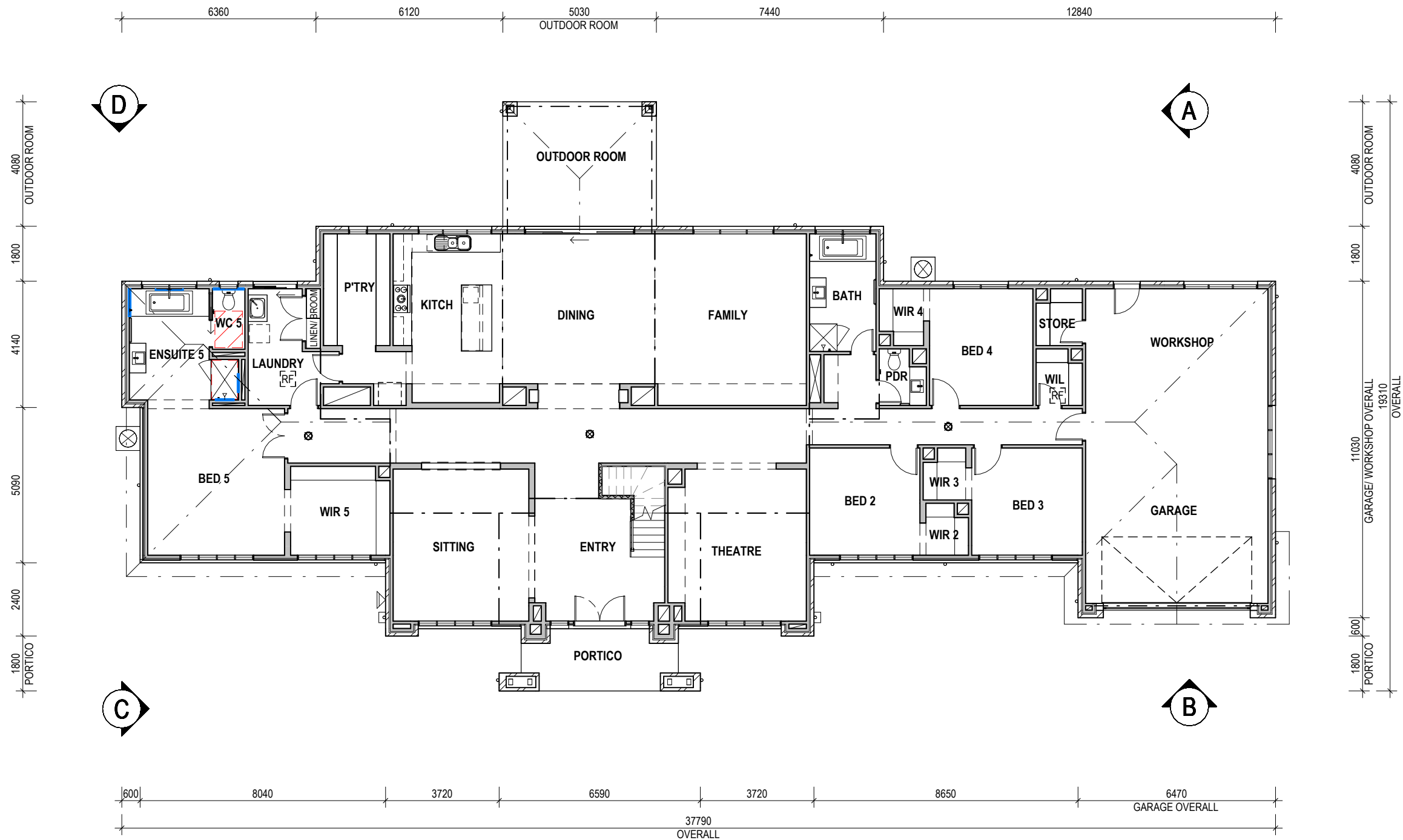
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Page 60 of MASTER PLAN



NOTES:

- CENTRE ALL WINDOWS & EXTERNAL DOORS INTERNALLY TO ROOM (UNO) INTERNAL HINGED DOORS TO BE CENTRED TO THE HALLWAY
- 245D. BULKHEAD TO GROUND FLOOR (U.N.O)
- 200D. BULKHEAD TO FIRST FLOOR (U.N.O)

900W. x 1200D. CIRCULATION SPACE TO FRONT EDGE OF TOILET PAN

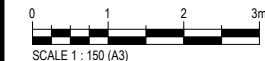
IN WALL REINFORCING REFER DETAIL

LEGEND:

- UNDER STAIR WALLS (WHERE APPLICABLE) - TO BE BUILT AFTER STAIR
- 70MM STUD WALLS
- V (Noted on INTERNAL DOOR size) = 20mm MAX. UNDERCUT
- RF ROOF ACCESS
- SMOKE ALARM

AREA	m ²	SQR
GROUND FLOOR	353.44 m ²	38.04
FIRST FLOOR	181.84 m ²	19.57
TOTAL LIVING	535.28 m ²	57.62
PORTICO	10.44 m ²	1.12
OUTDOOR ROOM	20.52 m ²	2.21
GARAGE	67.99 m ²	7.32
TOTAL OTHER	98.96 m ²	10.65
TOTAL	634.24 m ²	68.27

DRAWING TITLE:
GROUND FLOOR PLAN



metricon DESIGNER

SPEC: BASE

DESIGN:
HIGHLANDER 68

FACADE:
PINDARI

PRODUCT CODE:
VD3HIG68PIND

CEILING:
25G, 24F

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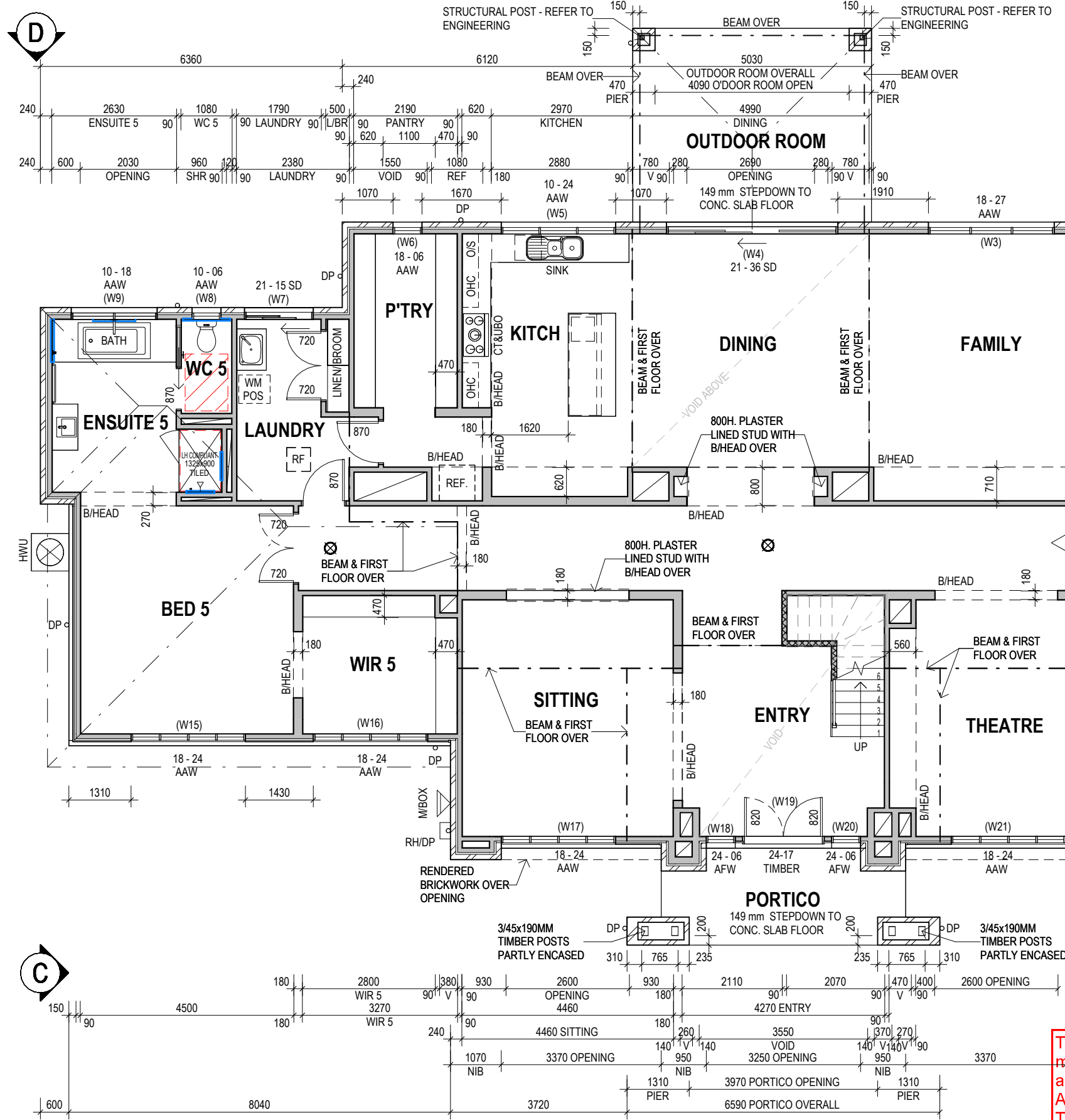
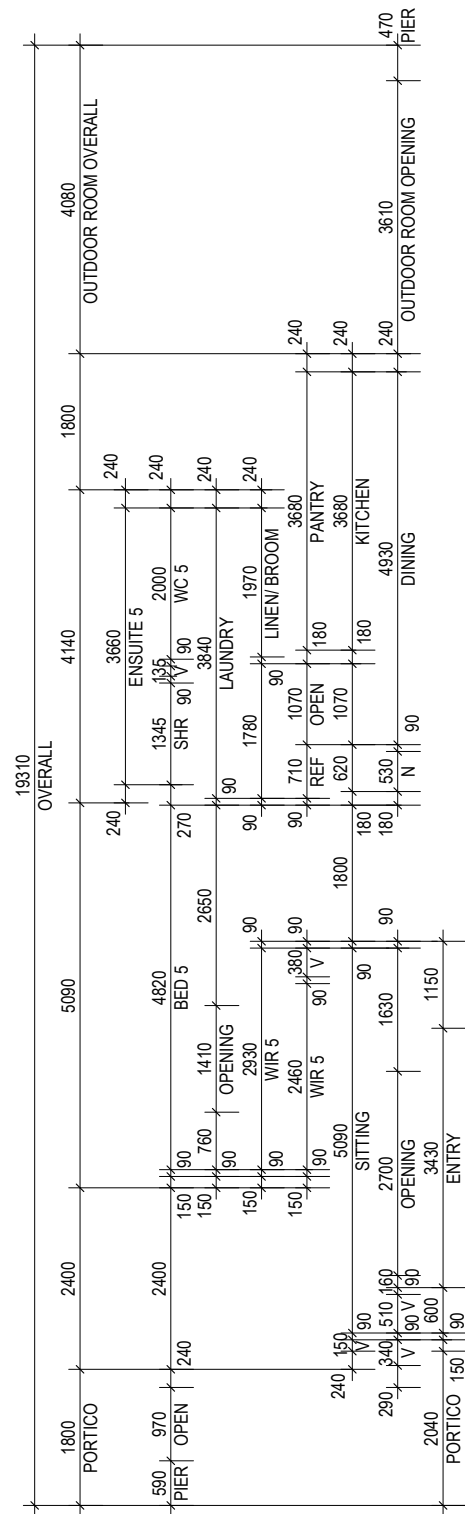
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DATE: 03/03/2023



NOTES:

- CENTRE ALL WINDOWS & EXTERNAL DOORS INTERNALLY TO ROOM (UNO) INTERNAL HINGED DOORS TO BE CENTRED TO THE HALLWAY
- 245D. BULKHEAD TO GROUND FLOOR (U.N.O)
- 200D. BULKHEAD TO FIRST FLOOR (U.N.O)

- 900W. x 1200D. CIRCULATION SPACE TO FRONT EDGE OF TOILET PAN
- IN WALL REINFORCING REFER DETAIL

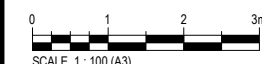
LEGEND:

- UNDER STAIR WALLS (WHERE APPLICABLE) - TO BE BUILT AFTER STAIR
- 70MM STUD WALLS
- (Noted on INTERNAL DOOR size) = 20mm MAX. UNDERCUT
- RF ROOF ACCESS
- SMOKE ALARM

AREA	m ²	SQR
GROUND FLOOR	353.44 m ²	38.04
FIRST FLOOR	181.84 m ²	19.57
TOTAL LIVING	535.28 m ²	57.62
PORTICO	10.44 m ²	1.12
OUTDOOR ROOM	20.52 m ²	2.21
GARAGE	67.99 m ²	7.32
TOTAL OTHER	98.96 m ²	10.65
TOTAL	634.24 m ²	68.27

DRAWING TITLE:

GROUND FLOOR PLAN LEFT



DESIGNER

SPEC: BASE

DESIGN:

HIGHLANDER 68

FACADE:
PINDARI

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PRODUCT CODE:

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CEILING:
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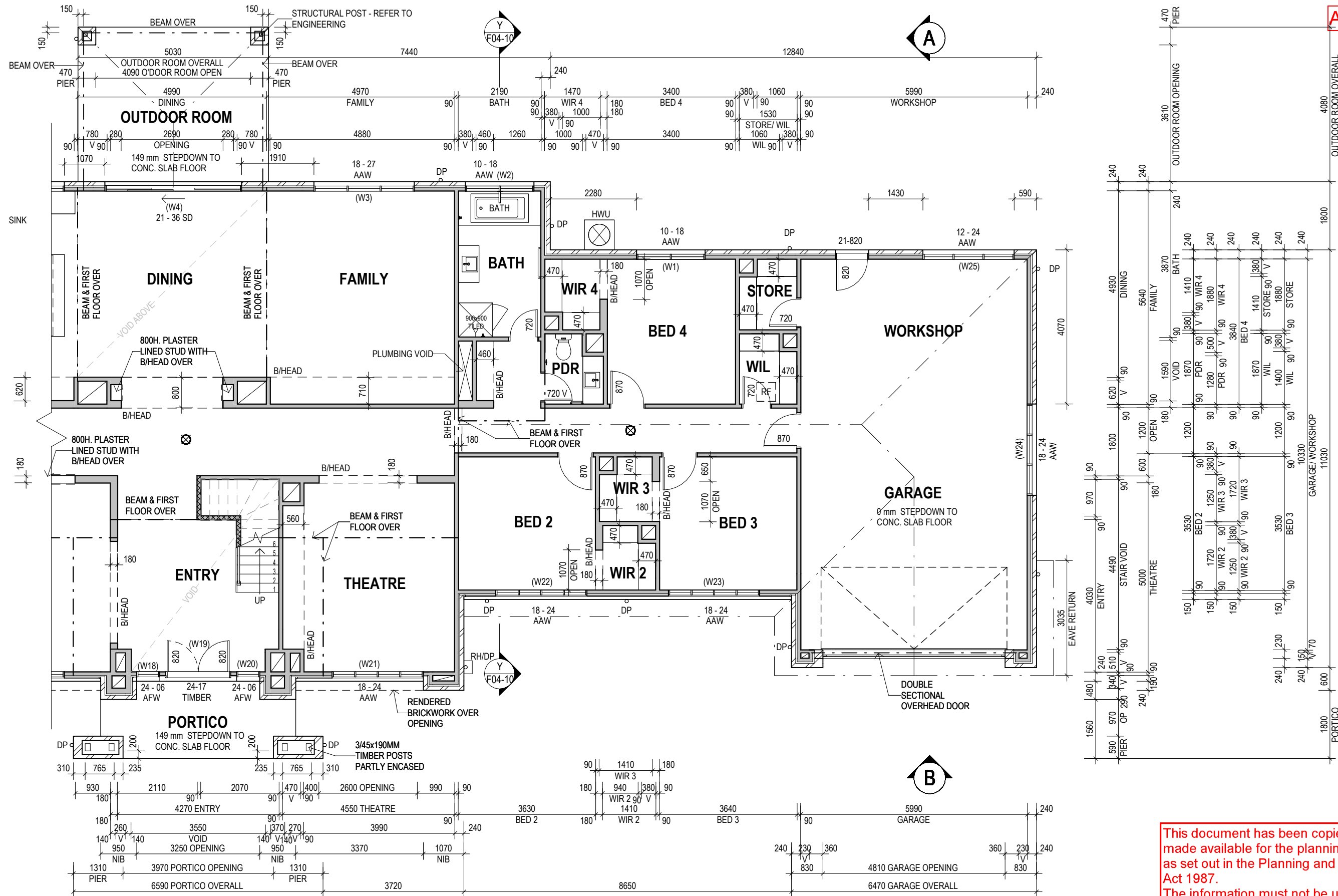
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- NOTES:**
- CENTRE ALL WINDOWS & EXTERNAL DOORS INTERNALLY TO ROOM (UNO) INTERNAL HINGED DOORS TO BE CENTRED TO THE HALLWAY
 - 24SD. BULKHEAD TO GROUND FLOOR (U.N.O)
 - 200D. BULKHEAD TO FIRST FLOOR (U.N.O)

- LEGEND:**
- UNDER STAIR WALLS (WHERE APPLICABLE) - TO BE BUILT AFTER STAIR
 - 70MM STUD WALLS
 - V (Noted on INTERNAL DOOR size) = 20mm MAX. UNDERCUT
 - RF ROOF ACCESS
 - SMOKE ALARM

AREA	m ²	SQR
GROUND FLOOR	353.44 m ²	38.04
FIRST FLOOR	181.84 m ²	19.57
TOTAL LIVING	535.28 m ²	57.62
PORTICO	10.44 m ²	1.12
OUTDOOR ROOM	20.52 m ²	2.21
GARAGE	67.99 m ²	7.32
TOTAL OTHER	98.96 m ²	10.65
TOTAL	634.24 m ²	68.27

DRAWING TITLE:
GROUND FLOOR PLAN RIGHT

0 1 2 3m
SCALE 1: 100 (A3)

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DESIGNER
metricon

SPEC: BASE

DESIGN:
HIGHLANDER 68

FACADE:
PINDARI

PRODUCT CODE:
VD3HIG68PIND

CEILING:
25G, 24F

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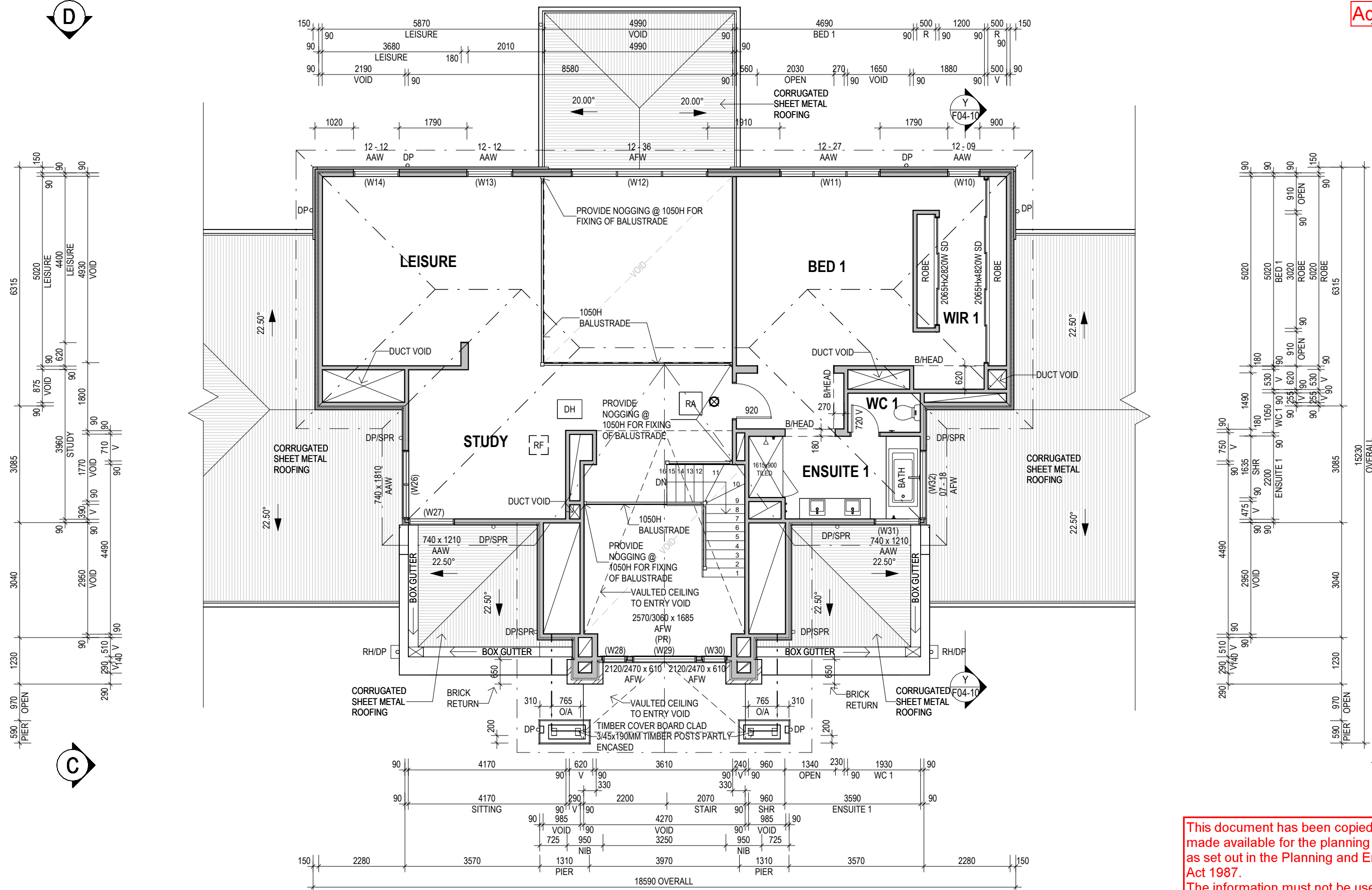
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NOTES:

- CENTRE ALL WINDOWS & EXTERNAL DOORS INTERNALLY TO ROOM (UNO) INTERNAL HINGED DOORS TO BE CENTRED TO THE HALLWAY
- 245D. BULKHEAD TO GROUND FLOOR (U.N.O)
- 200D. BULKHEAD TO FIRST FLOOR (U.N.O)

LEGEND:

UNDER STAIR WALLS (WHERE APPLICABLE) - TO BE BUILT AFTER STAIR
70MM STUD WALLS

V (Noted on INTERNAL DOOR size) = 20mm MAX. UNDERCUT

DH DUCTED HEATING UNIT LOCATION

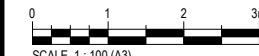
RA DUCTED RETURN AIR

RF ROOF ACCESS

○ SMOKE ALARM

DRAWING TITLE:

FIRST FLOOR PLAN



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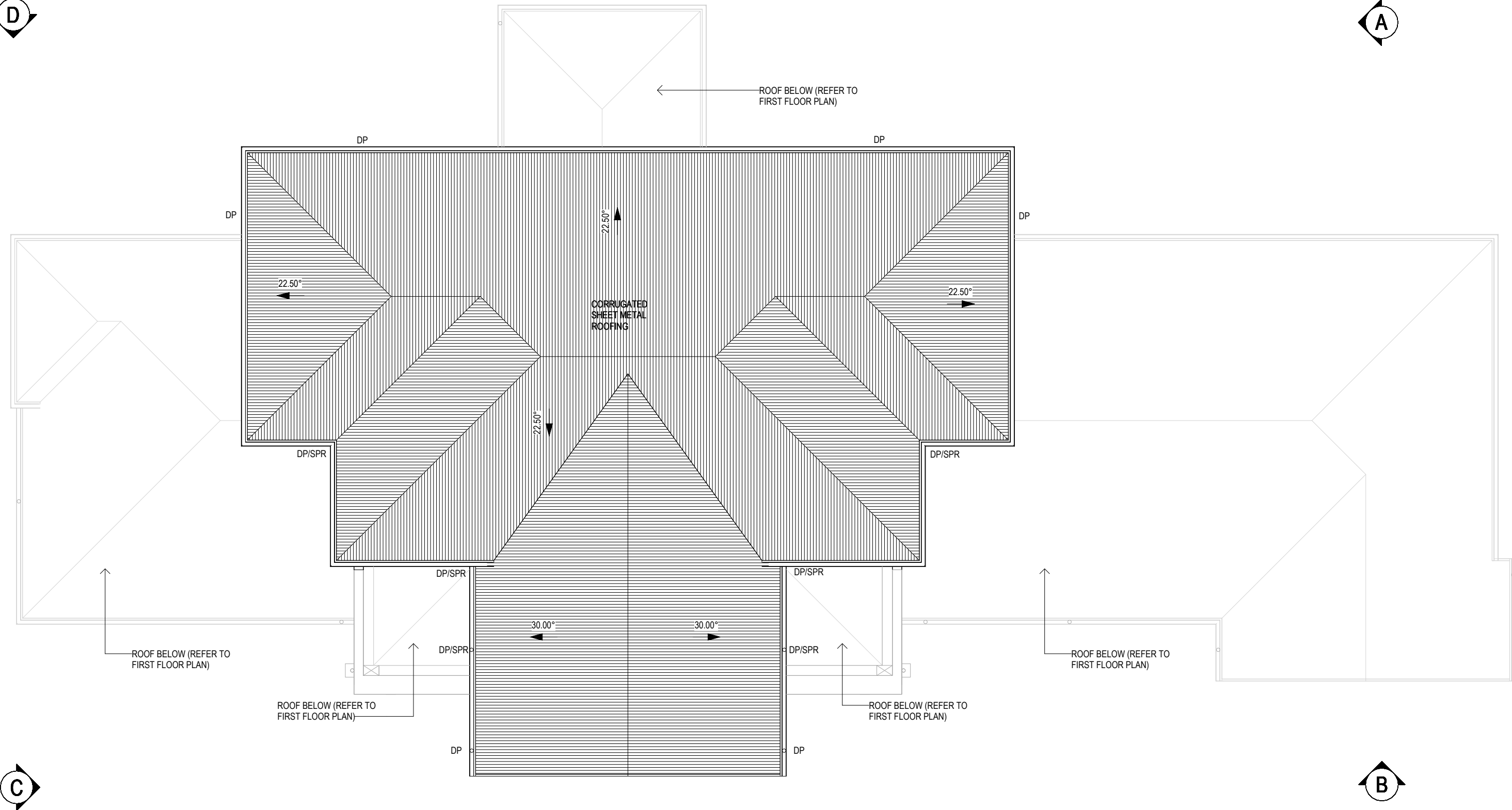
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ROOF PLAN

0 1 2 3m
SCALE 1: 100 (A3)

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FACADE: **PINDARI**

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Page 65 of 105

HOUSE SLAB
REBATE

PORTICO
STEPDOWN

2430
OVERPLATES
2580
OVERPLATES
2550 MIN.
FLR-CEILING
2400 MIN.
FLR-CEILING



2180
GAR DOOR
OPENING

B ELEVATION
1 : 150

HOUSE SLAB
REBATE

PORTICO
STEPDOWN

2430
OVERPLATES
2580
OVERPLATES
2550 MIN.
FLR-CEILING
2400 MIN.
FLR-CEILING



A ELEVATION
1 : 150



PORTICO
STEPDOWN

HOUSE SLAB
REBATE

2430
OVERPLATES
2580
OVERPLATES
2550 MIN.
FLR-CEILING
2400 MIN.
FLR-CEILING

C ELEVATION
1 : 150

HOUSE SLAB
REBATE

OUTDOOR ROOM
STEPDOWN

2430
OVERPLATES
2580
OVERPLATES
2550 MIN.
FLR-CEILING
2400 MIN.
FLR-CEILING



D ELEVATION
1 : 150

NOTES:

- PROVIDE BRICKWORK ABOVE ALL SIDE & REAR GROUND FLOOR ELEVATION WINDOWS & DOORS AS REQUIRED UNLESS NOTED OTHERWISE.
- PROVIDE BRICKWORK ABOVE FRONT ELEVATION WINDOWS, F.C INFILL ABOVE FRONT ENTRY DOOR FRAME & ABOVE GARAGE DOOR OPENING UNLESS NOTED OTHERWISE.

DRAWING TITLE:
ELEVATIONS



DESIGNER

SPEC: BASE

DESIGN:
HIGHLANDER 68

FACADE:
PINDARI

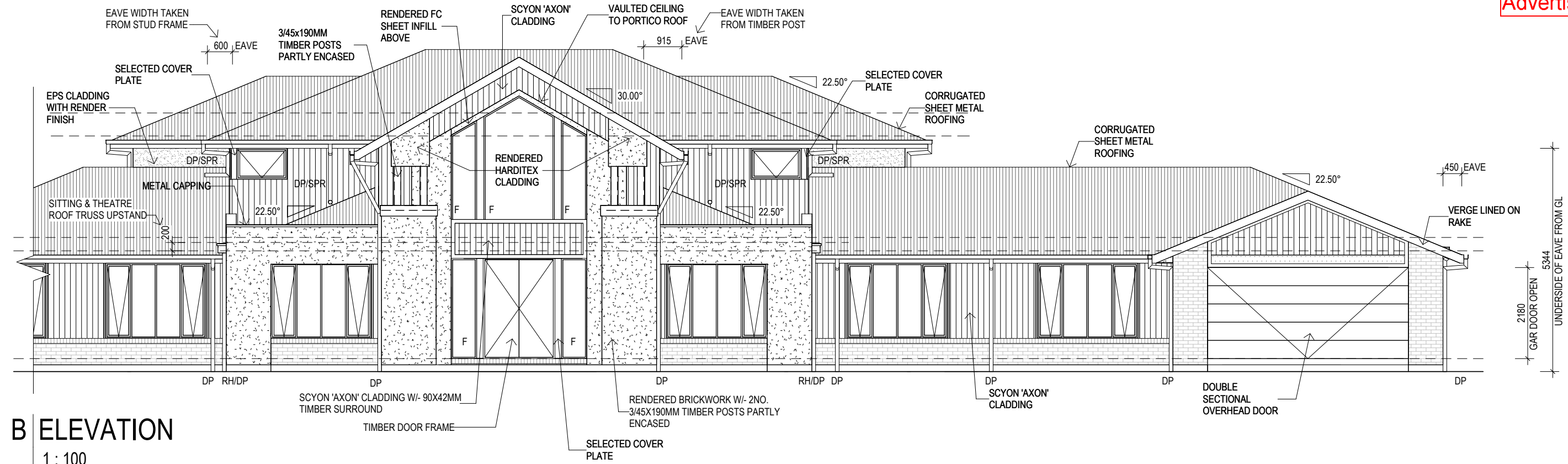
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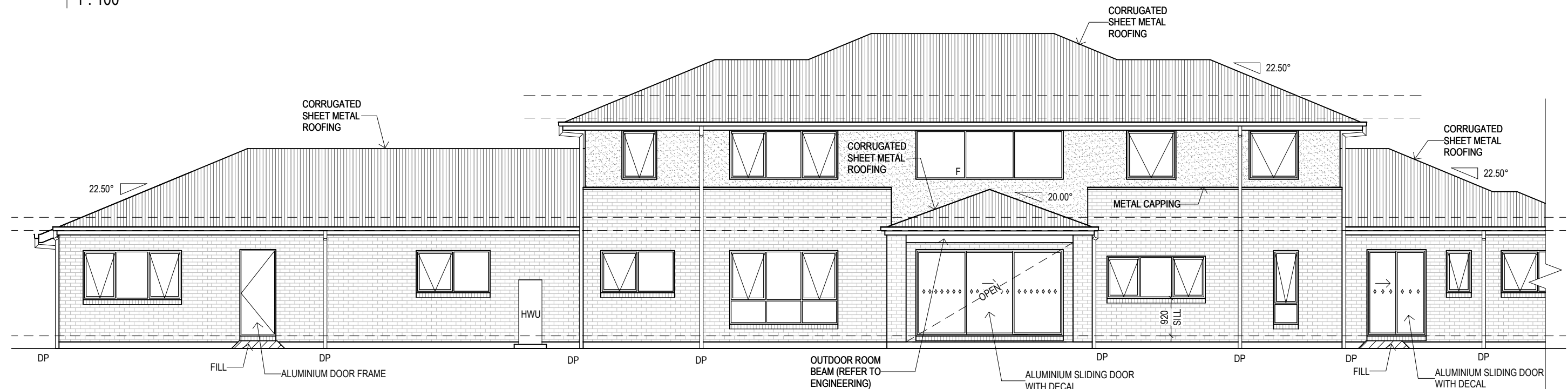
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DATE: 03/03/2023



B ELEVATION
1 : 100



D ELEVATION
1 : 100

NOTES:

- PROVIDE BRICKWORK ABOVE ALL SIDE & REAR GROUND FLOOR ELEVATION WINDOWS & DOORS AS REQUIRED UNLESS NOTED OTHERWISE.
- PROVIDE BRICKWORK ABOVE FRONT ENTRY DOOR FRAME & ABOVE GARAGE DOOR OPENING UNLESS NOTED OTHERWISE.

DRAWING TITLE:
ELEVATIONS



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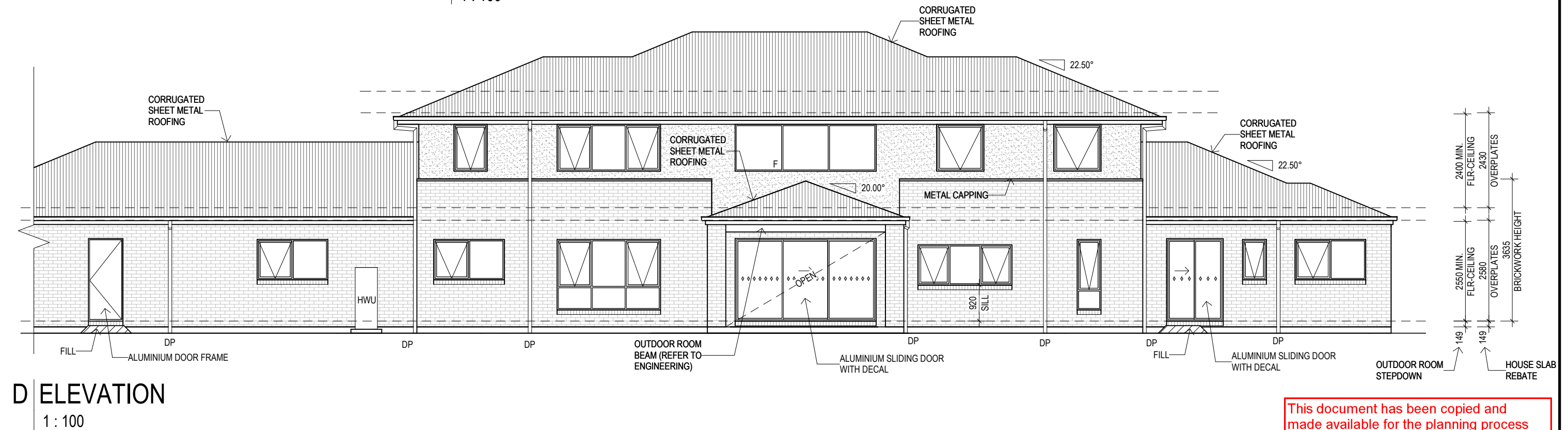
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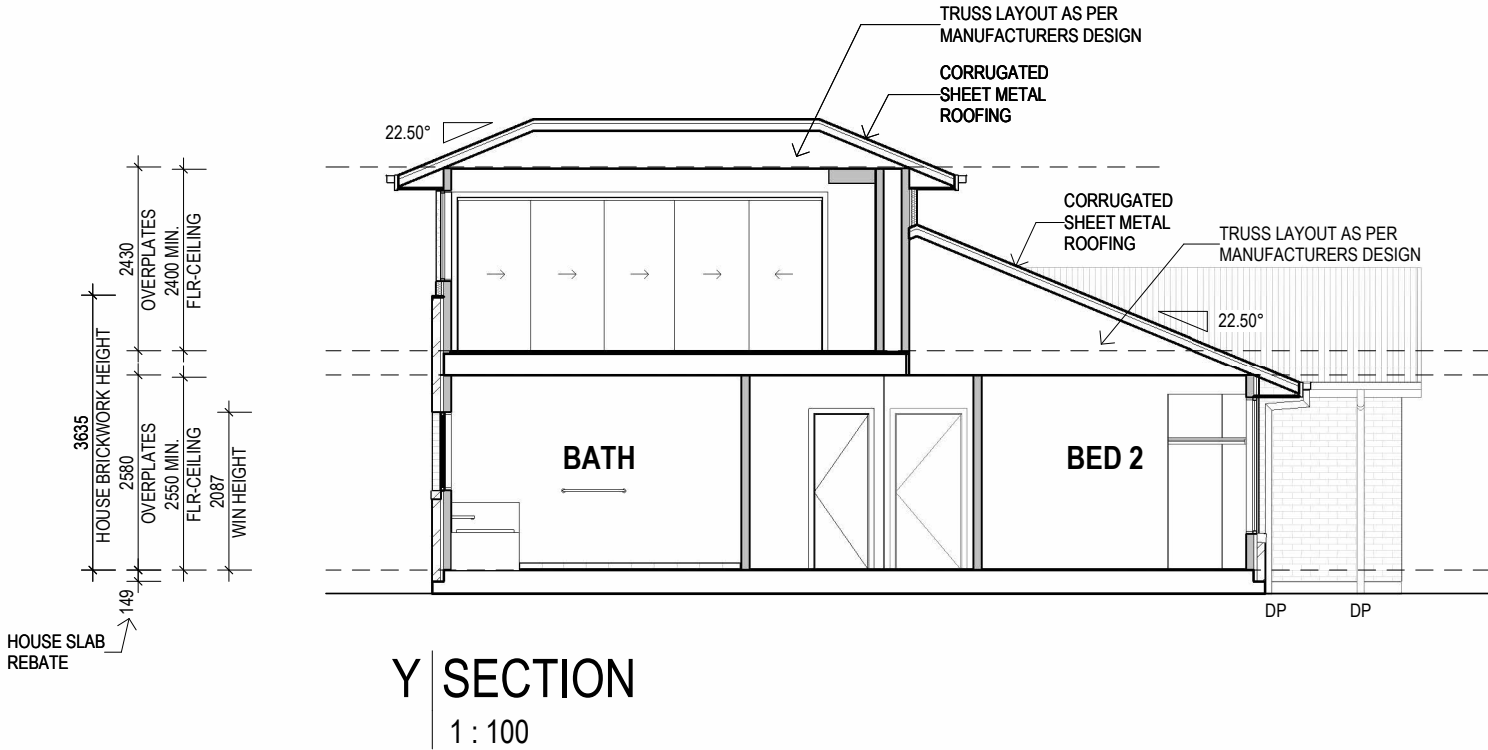
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DATE: 03/03/2023

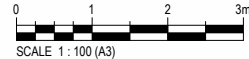


NOTE: SECTION VIEW IS INDICATIVE ONLY- CONSTRUCTION DETAILS, COLOUR SELECTION & CONTRACT DOCUMENTATION ITEMS TAKE PRECEDENCE

NOTES:

- STAIR / BALUSTRADE SHOWN ARE INDICATIVE ONLY. REFER COLOUR SELECTION.

DRAWING TITLE:
SECTION



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DESIGNER

SPEC: BASE

DESIGN:
HIGHLANDER 68

FACADE:
PINDARI

501 Blackburn Road, Mount Waverley, VIC, 3149
P.O. Box 857, Mount Waverley, VIC, 3149
Builders Licence N°: CDB-U 52967 ACN: 005 108 752 in this drawing.
Tel: 1300 786 773
www.metricronhomes.com.au

PRODUCT CODE:
VD3HIG68PIND

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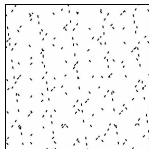
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CHECKED: BM, CE	SHEET: F04-10/21
Page 70 of 105 MASTER PLAN DATE: 03/03/2023	

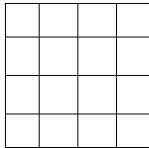
MASTER PLAN NOTE: ONLY WET AREA AND BALCONY (WHERE BALCONY IS ADOPTED) TILES ARE PROVIDED AS STANDARD. REFER TO SPECIFICATION DOCUMENT DETAILS. ADDITIONAL FLOOR COVERINGS SHOWN ARE INDICATIVE.

FLOOR COVERINGS



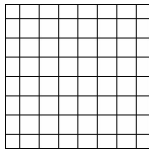
CARPET

122.0 m²



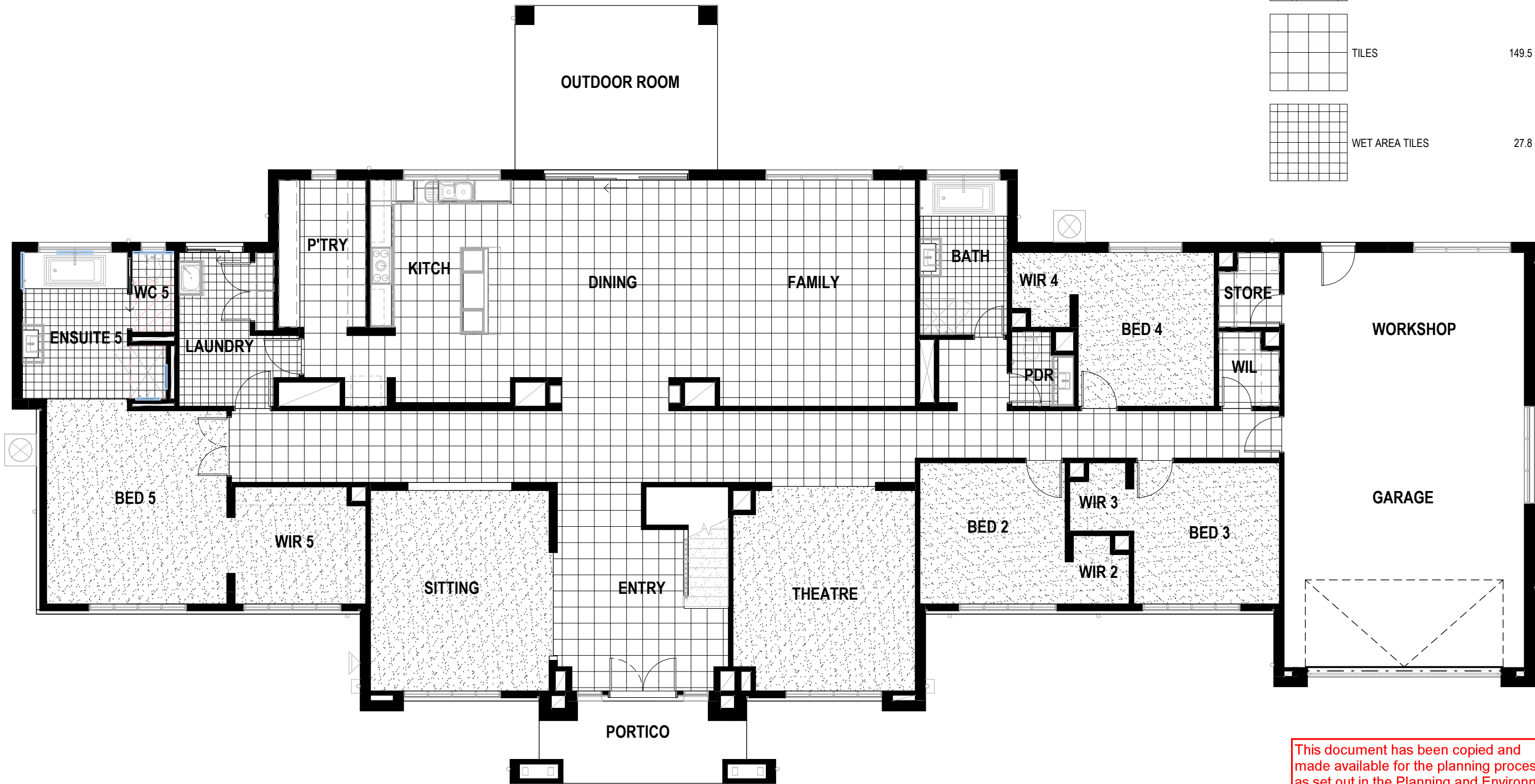
TILES

149.5 m²



WET AREA TILES

27.8 m²



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DRAWING TITLE:
GROUND FLOOR FLOOR COVERINGS



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DESIGNER

SPEC: BASE

DESIGN:
HIGHLANDER 68

FACADE:
PINDARI

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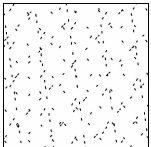
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CHECKED: BM, CE
DATE: 03/03/2023
SHEET:
F04-11/21

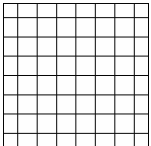
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FLOOR COVERINGS



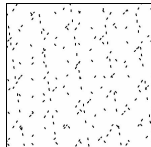
CARPET

101.5 m²



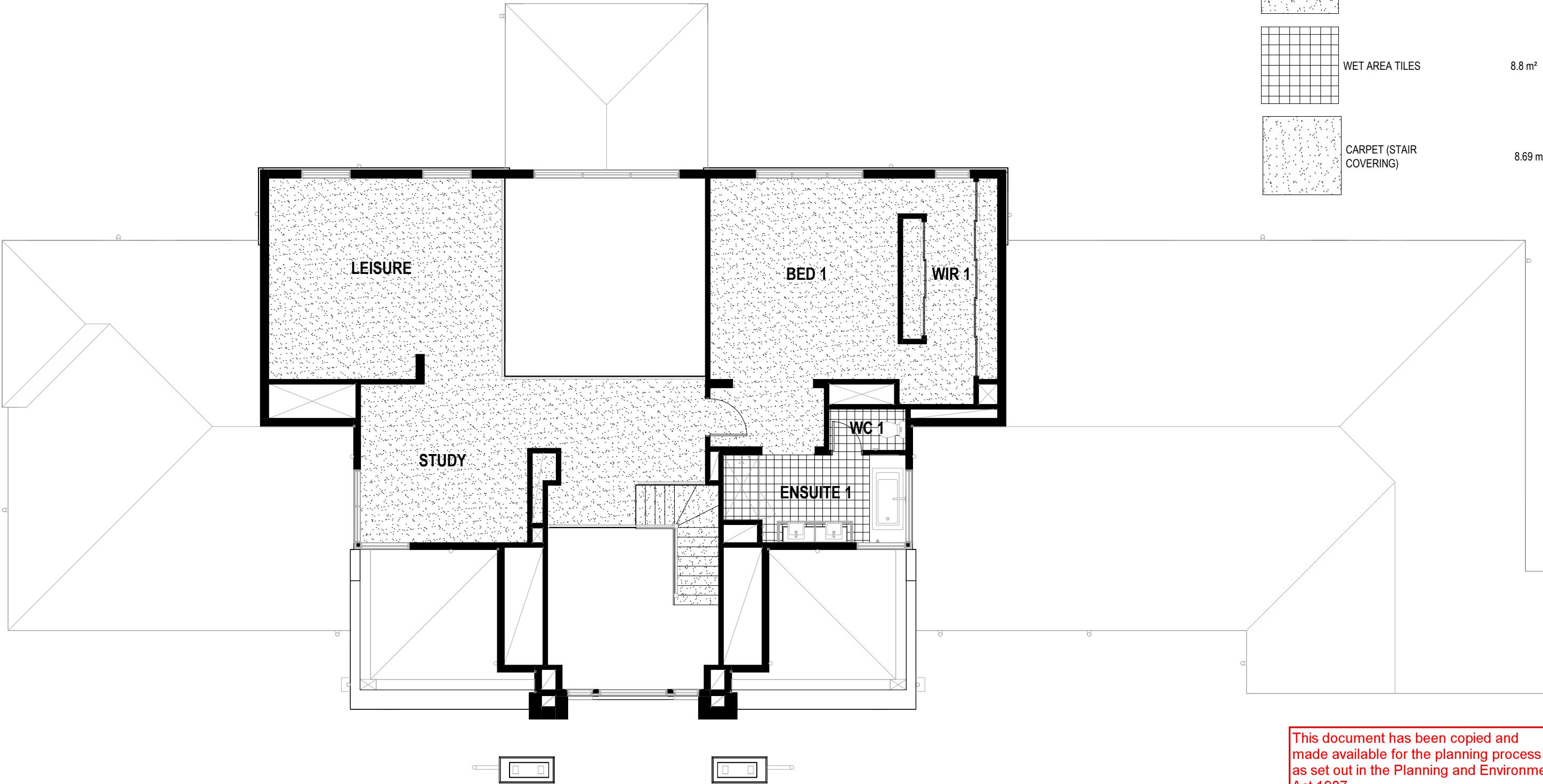
WET AREA TILES

8.8 m²



CARPET (STAIR COVERING)

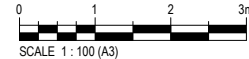
8.69 m²



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DRAWING TITLE:
FIRST FLOOR FLOOR COVERINGS



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DESIGNER

SPEC: BASE

DESIGN:
HIGHLANDER 68

FACADE:
PINDARI

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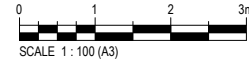
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SHEET: F04-12/21

20/02/2025 1:57:53 PM

NOTES:

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- HEATING & COOLING OUTLET LOCATIONS ARE IN APPROXIMATE POSITIONS ONLY & ARE SUBJECT TO VERIFICATION BY HEATING CONTRACTOR.
- SMOKE DETECTOR HARDWIRED TO CONSUMER MAINS WITH 9V BATTERY BACKUP. INSTALLED IN ACCORDANCE WITH AS 3786
- POWER POINTS TO BE AT 300MM AFL (UNLESS NOTED OTHERWISE)
- LIGHT SWITCHES TO BE INSTALLED AT 1050MM AFL

DRAWING TITLE:
GROUND FLOOR ELECTRICAL PLAN



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metricron

DESIGNER

SPEC: BASE

DESIGN:
HIGHLANDER 68

FACADE:
PINDARI

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Page 73 of 135
MASTER PLAN

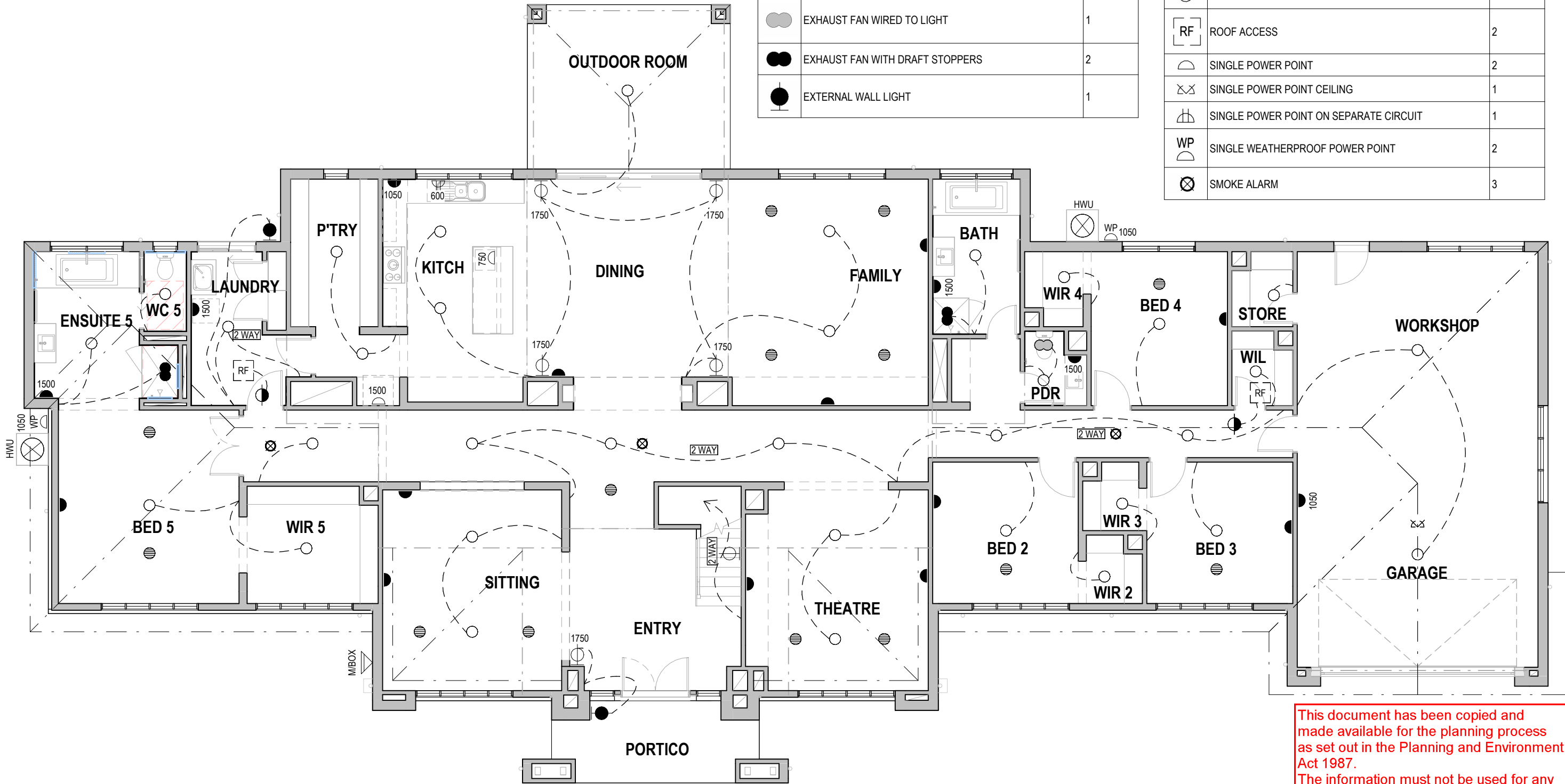
LEGEND

	TYPE	COUNT
2 WAY	2 WAY SWITCH	4
	CEILING LIGHT OUTLET	35
	DOUBLE POWER POINT	17
	EXHAUST FAN WIRED TO LIGHT	1
	EXHAUST FAN WITH DRAFT STOPPERS	2
	EXTERNAL WALL LIGHT	1

LEGEND

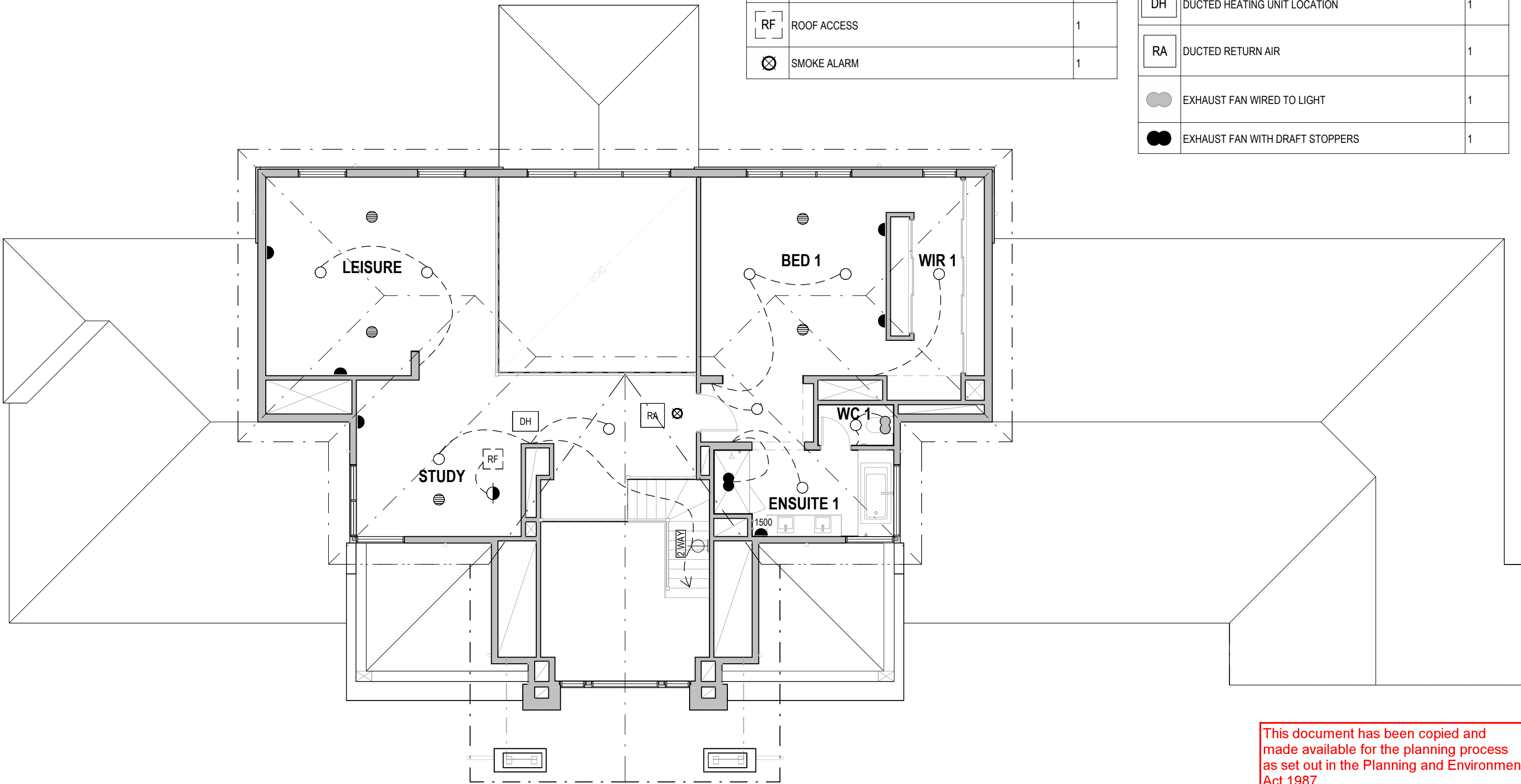
	TYPE	COUNT
	INTERNAL WALL LIGHT	6
	LIGHT OUTLET & S.P.POINT TO ROOF	2
	OVERHEAD HEATING DUCTS	14
RF	ROOF ACCESS	2
	SINGLE POWER POINT	2
	SINGLE POWER POINT CEILING	1
	SINGLE POWER POINT ON SEPARATE CIRCUIT	1
WP	SINGLE WEATHERPROOF POWER POINT	2
	SMOKE ALARM	3

Advertised



LEGEND		
	TYPE	COUNT
	LIGHT OUTLET & S.P.POINT TO ROOF	1
	OVERHEAD HEATING DUCTS	5
	ROOF ACCESS	1
	SMOKE ALARM	1

LEGEND		
	TYPE	COUNT
	CEILING LIGHT OUTLET	10
	DOUBLE POWER POINT	6
	DUCTED HEATING UNIT LOCATION	1
	DUCTED RETURN AIR	1
	EXHAUST FAN WIRED TO LIGHT	1
	EXHAUST FAN WITH DRAFT STOPPERS	1



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 - POWER POINTS TO BE AT 300MM AFL (UNLESS NOTED OTHERWISE)
 - LIGHT SWITCHES TO BE INSTALLED AT 1050MM AFL

DRAWING TITLE:
FIRST FLOOR ELECTRICAL PLAN

SCALE 1: 100 (A3)

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DESIGNER
SPEC: BASE

DESIGN:
HIGHLANDER 68

FACADE:
PINDARI

PRODUCT CODE:
VD3HIG68PINDN

CEILING:
25G, 24F

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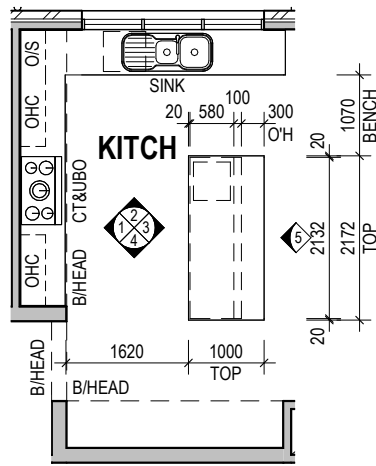
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DRAWN: TP,PP
CHECKED: BM, CE
DATE: 03/03/2023

PERMIT N°: TBC
MASTER ISSUED: 01/04/2023

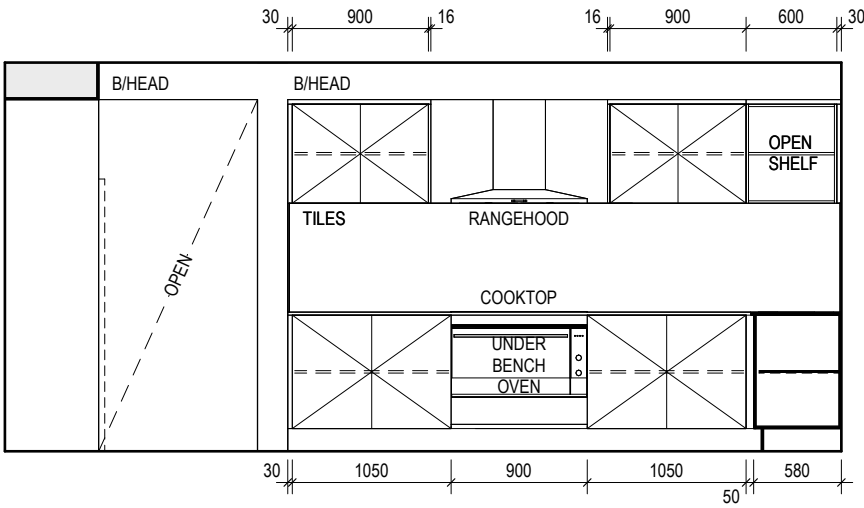
SHEET:
F04-14/21

Page 74 of 145
MASTER PLAN

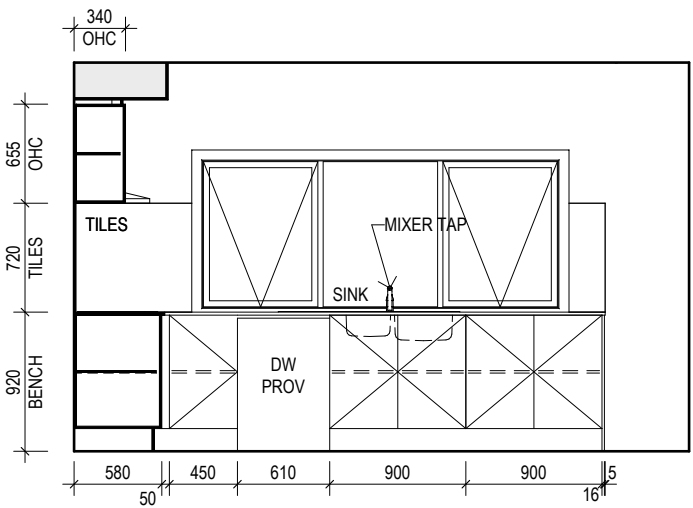
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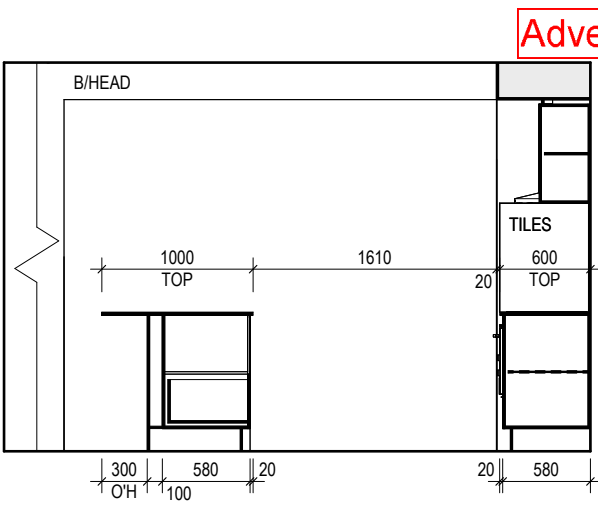
KITCHEN
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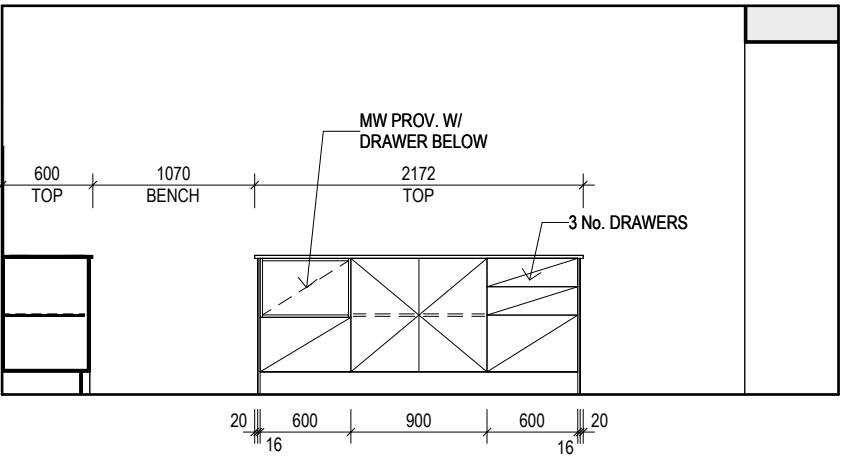
1 KITCHEN
1 : 50



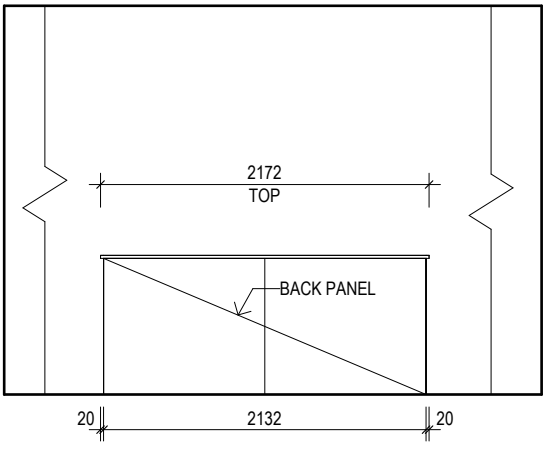
2 KITCHEN
1 : 50



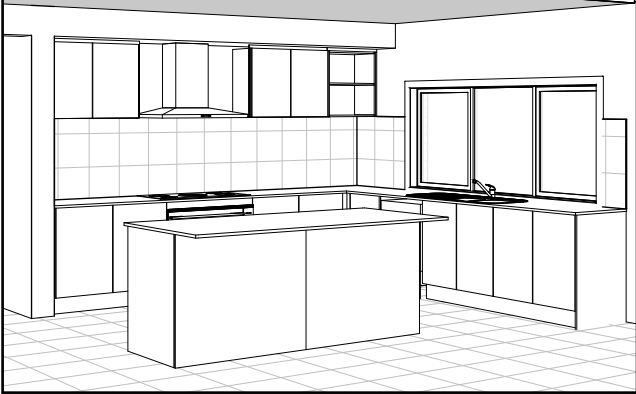
4 KITCHEN
1 : 50



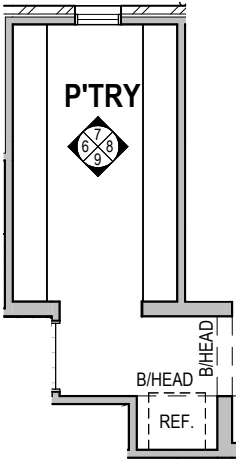
3 KITCHEN
1 : 50



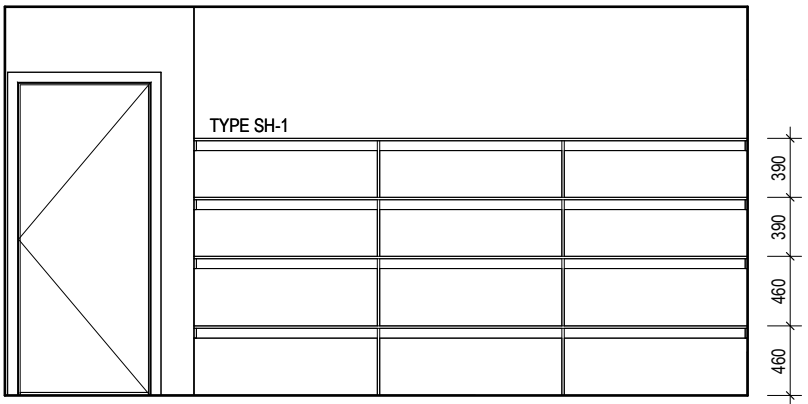
5 KIT. ISLAND BENCH
1 : 50



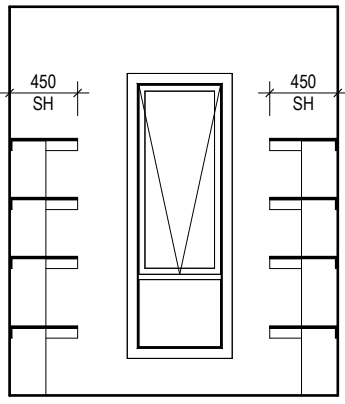
KITCHEN 3D VIEW



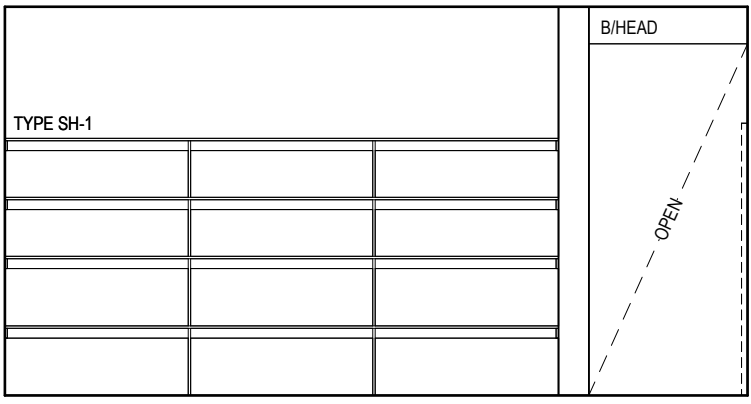
PANTRY
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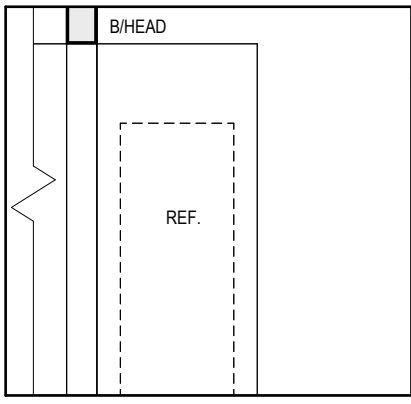
6 PANTRY
1 : 50



7 PANTRY
1 : 50



8 PANTRY
1 : 50



9 PANTRY
1 : 50

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- REFER TO WAG.D-001 FOR WET AREA GENERIC DETAILS.

SHELF LEGEND	
REFER DETAIL: N-GUIDE-SHELF TYPES-01	
TYPE SH-1	SHELF WITH SUPPORT AS REQUIRED (No Front Rail)

DRAWING TITLE:
INTERNAL ELEVATIONS

0 0.5 1 1.5m
SCALE As indicated (A3)

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metricon DESIGNER

SPEC: BASE

DESIGN: **HIGHLANDER 68**

PRODUCT CODE: **25G, 24F**

FACADE: **Main Model**

CEILING: **25G, 24F**

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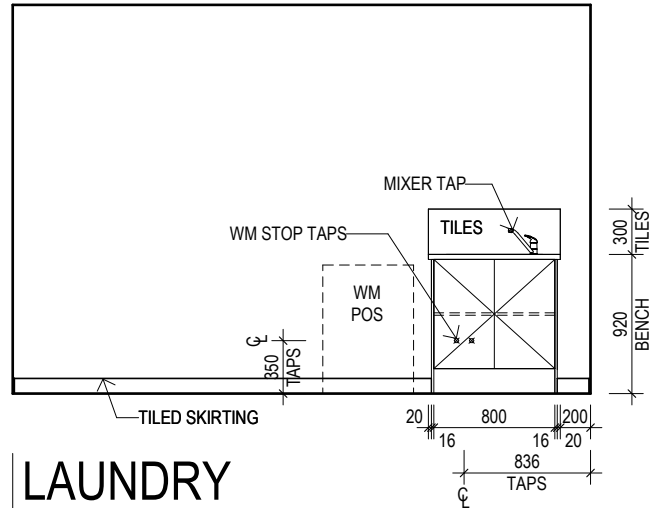
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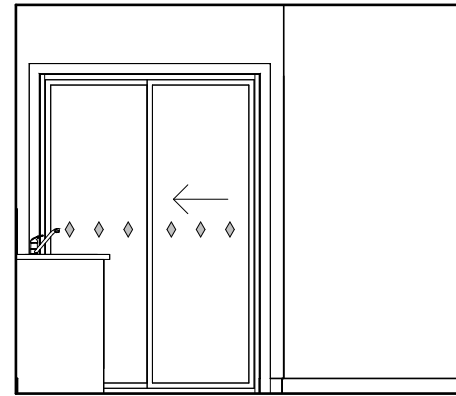
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CHECKED: BM,CE
SHEET: FXX-15/21



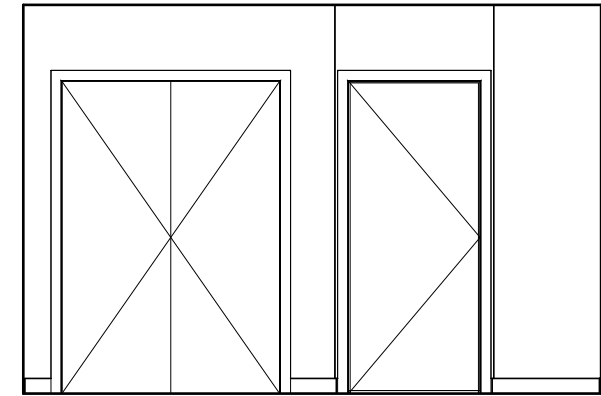
LAUNDRY
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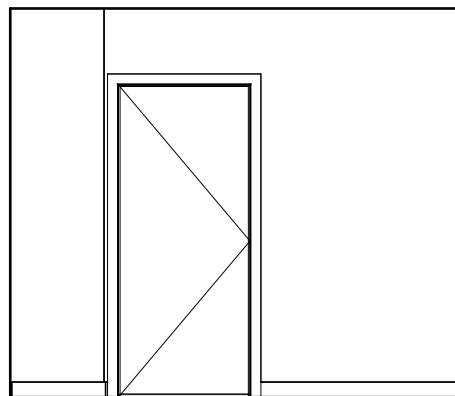
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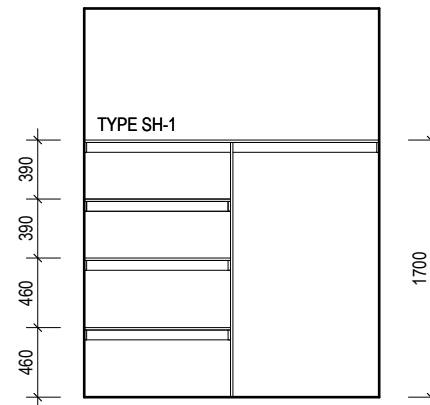
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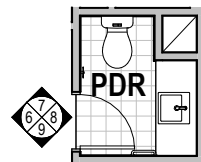
3 LAUNDRY
1 : 50



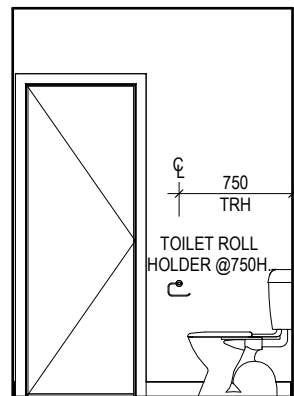
4 LAUNDRY
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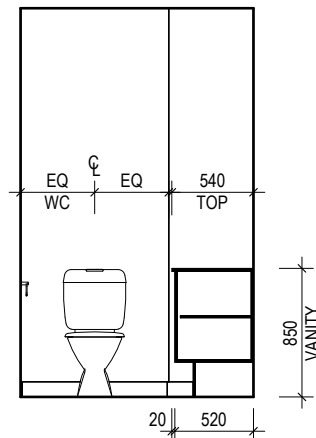
5 LINEN/ BROOM
1 : 50



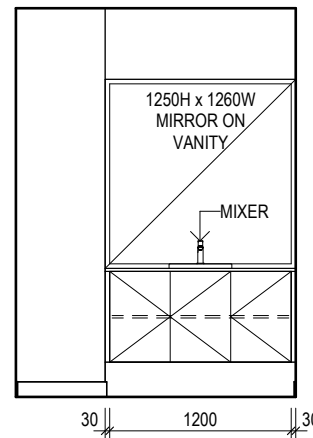
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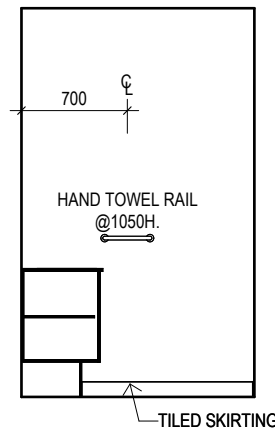
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1 : 50



7 PDR
1 : 50



8 PDR
1 : 50



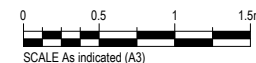
9 PDR
1 : 50

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- REFER TO WAG.D-001 FOR WET AREA GENERIC DETAILS

SHELF LEGEND	
REFER DETAIL: N-GUIDE-SHELF TYPES-01	
TYPE SH-1	SHELF WITH SUPPORT AS REQUIRED (No Front Rail)

DRAWING TITLE:
INTERNAL ELEVATIONS



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DESIGNER

SPEC: BASE

DESIGN:
HIGHLANDER 68

FACADE:
Main Model

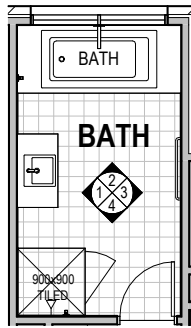
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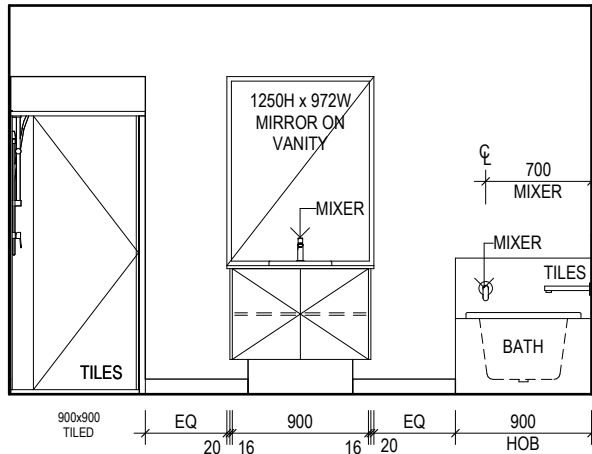
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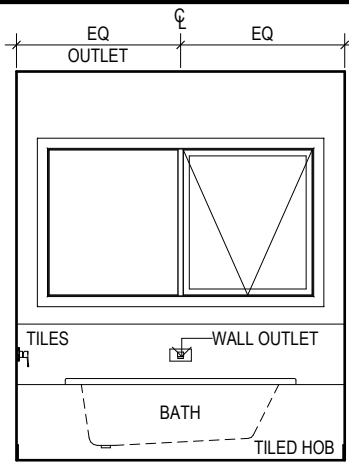
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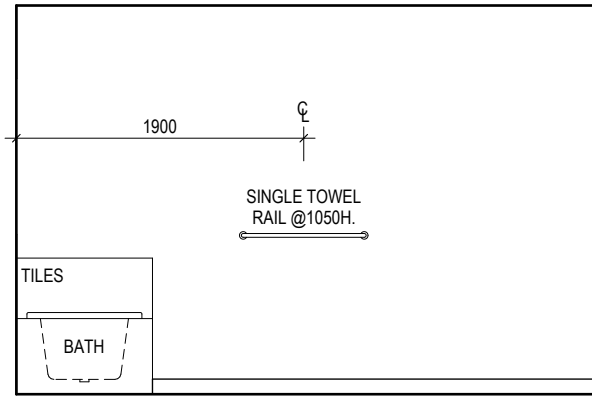
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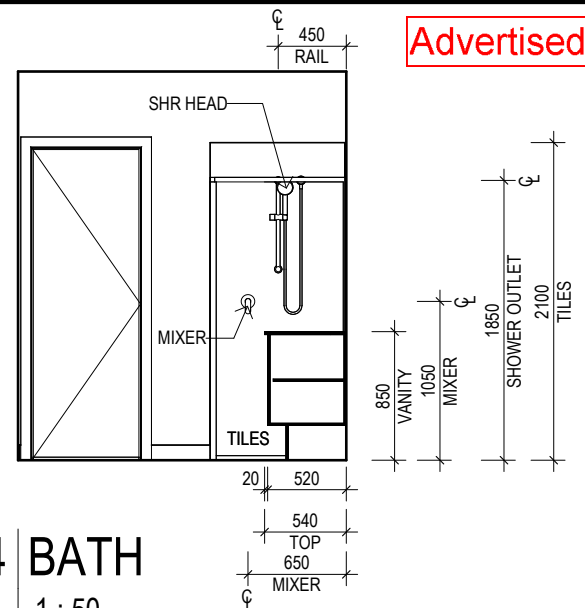
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1 : 50



2 BATH
1 : 50



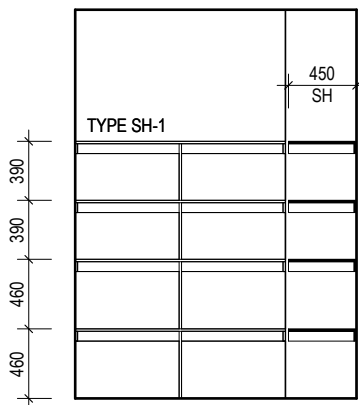
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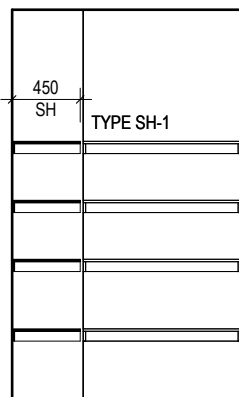
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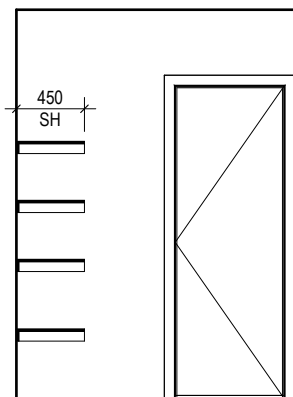
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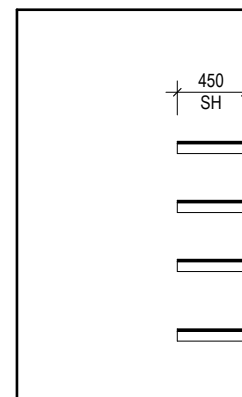
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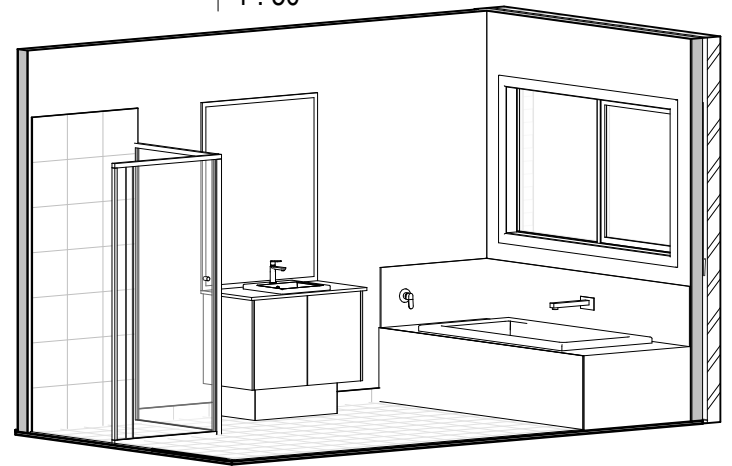
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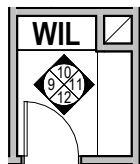
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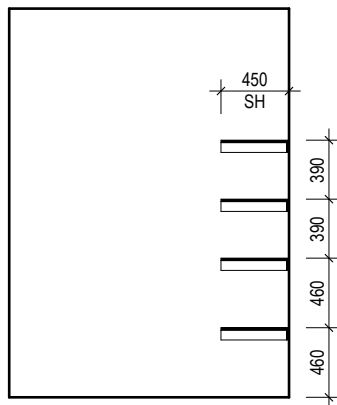
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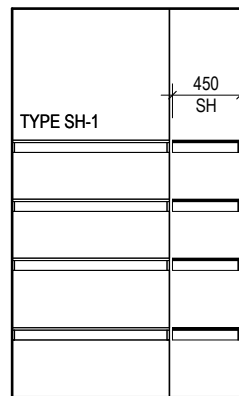
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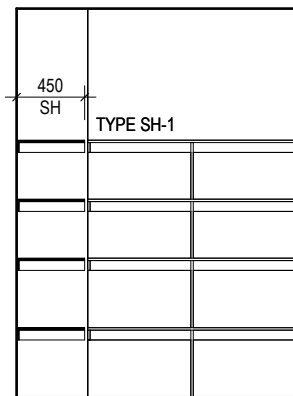
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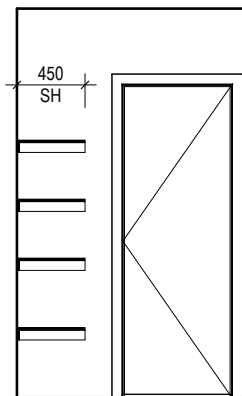
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10 WIL
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11 WIL
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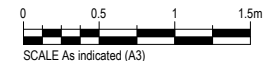
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REFER DETAIL: N-GUIDE-SHELF TYPES-01	
TYPE SH-1	SHELF WITH SUPPORT AS REQUIRED (No Front Rail)

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DESIGN:
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FACADE:
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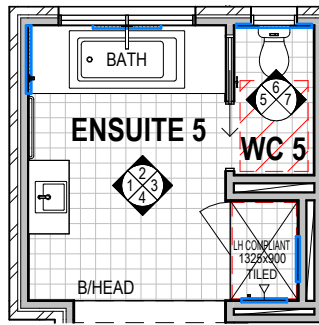
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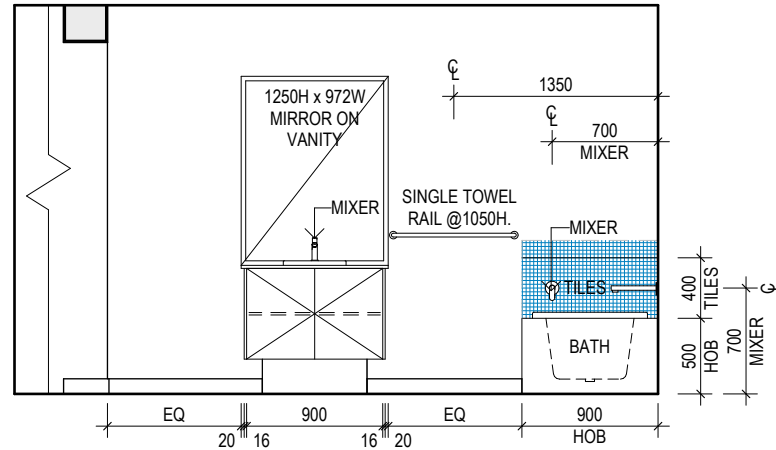
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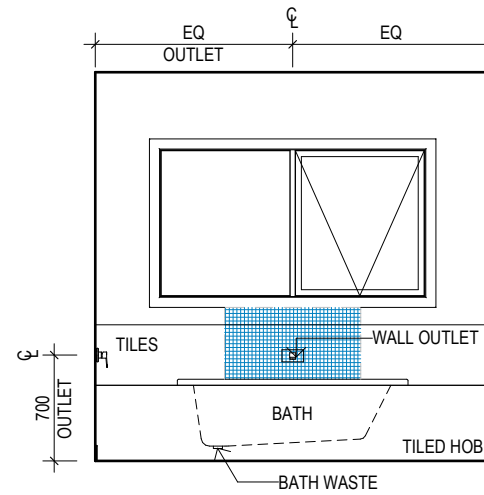
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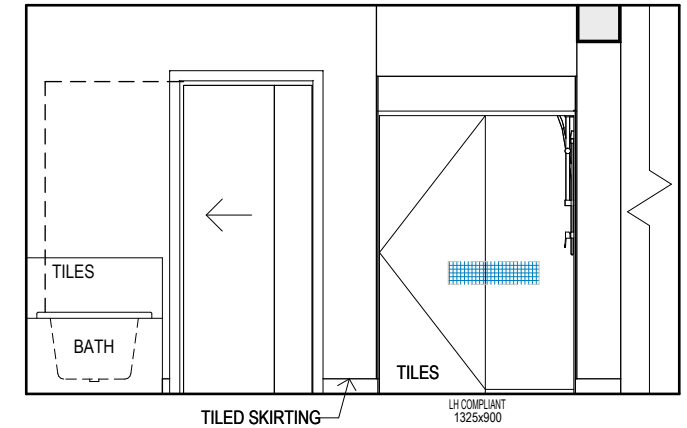
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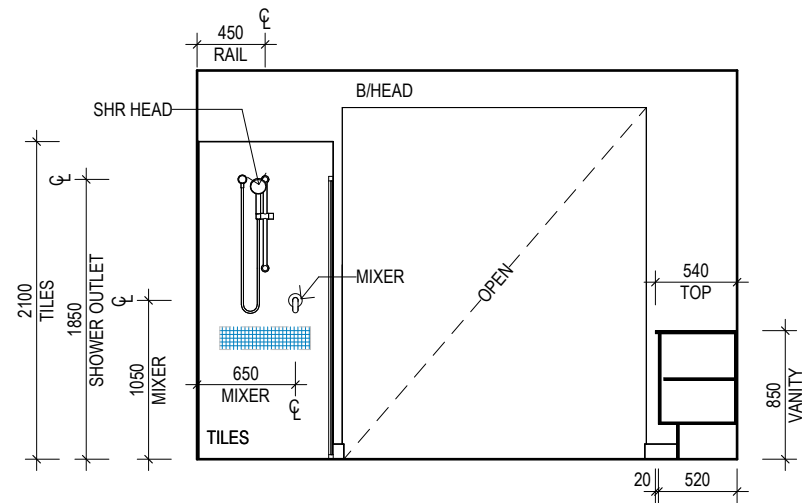
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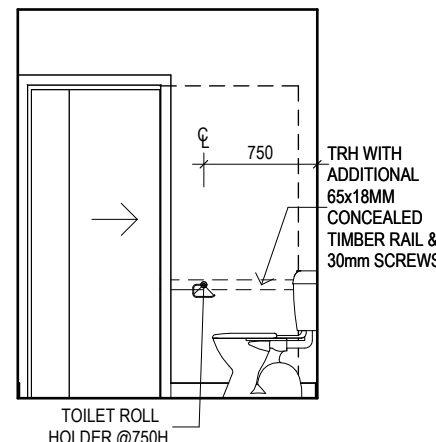
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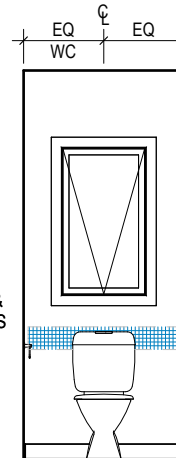
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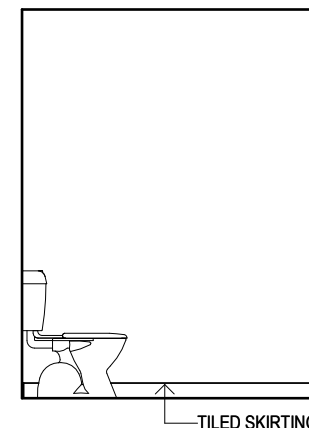
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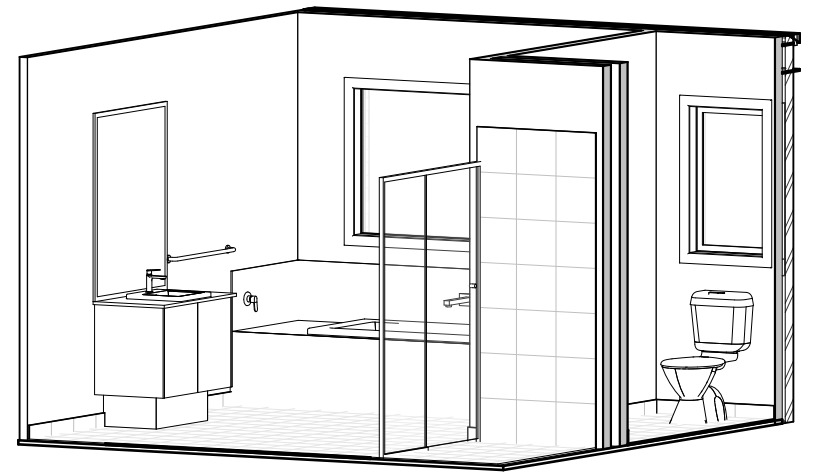
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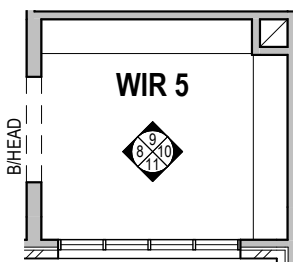
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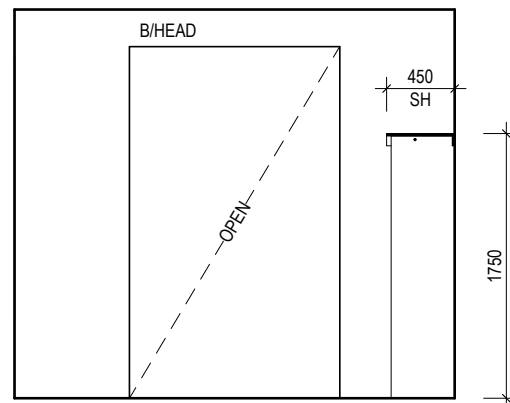
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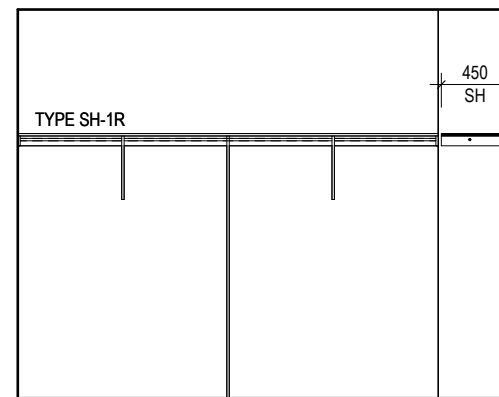
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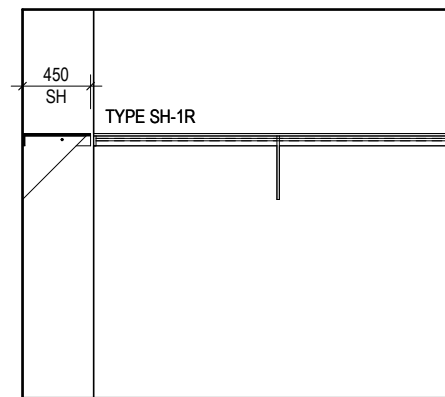
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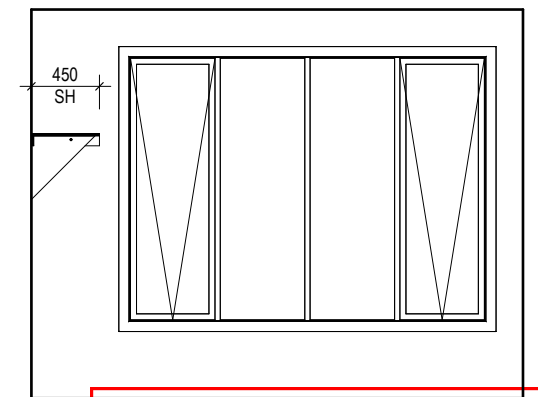
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10 WIR 5
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11 WIR 5
1 : 50

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SHELF LEGEND	
REFER DETAIL: N-GUIDE-SHELF TYPES-01	
TYPE SH-1R	SHELF WITH HANGING RAIL & SUPPORT AS REQUIRED (No Front Rail)

- 900W. x 1200D. CIRCULATION SPACE TO FRONT EDGE OF TOILET PAN
- IN WALL REINFORCING REFER DETAIL



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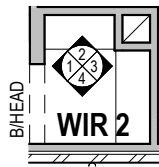
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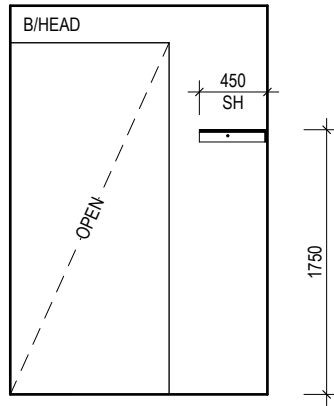
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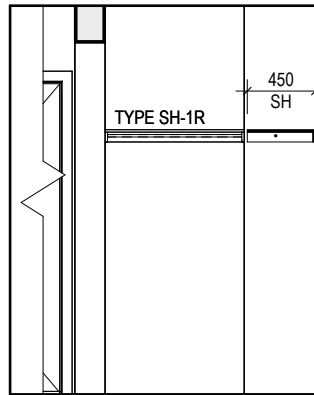
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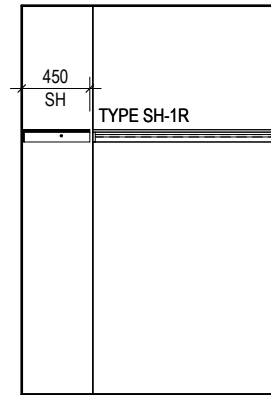
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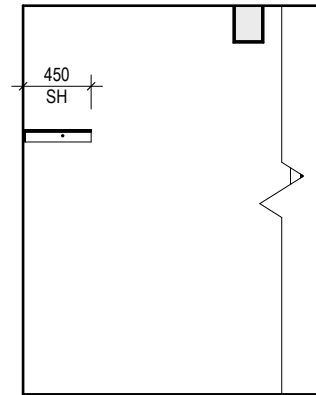
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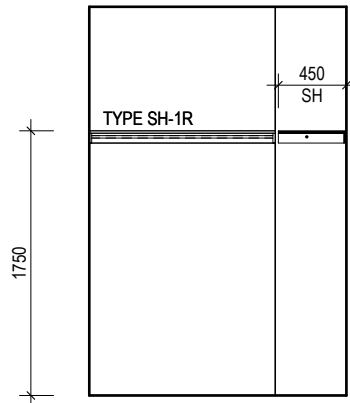
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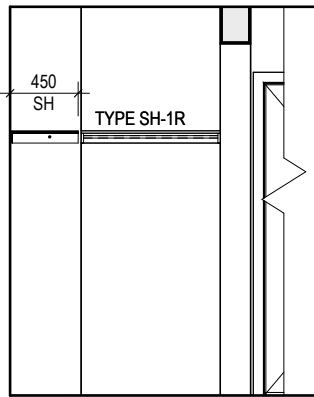
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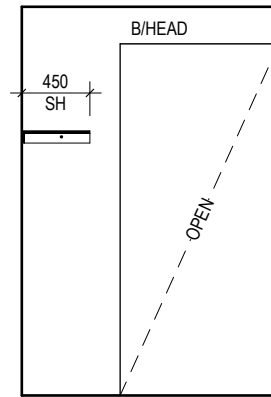
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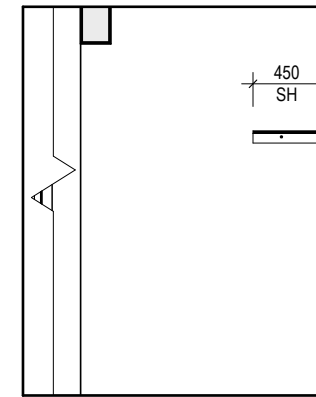
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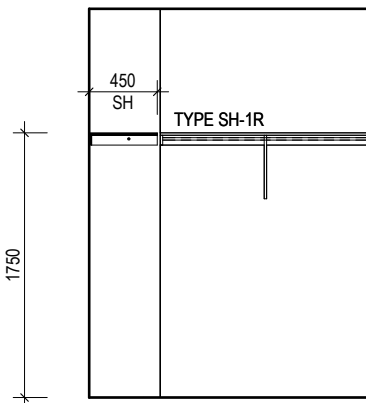
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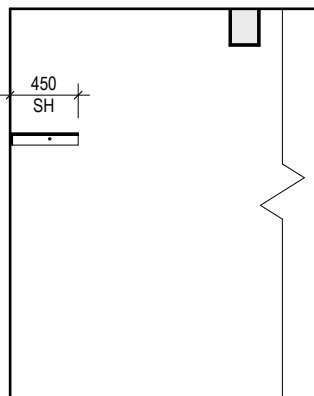
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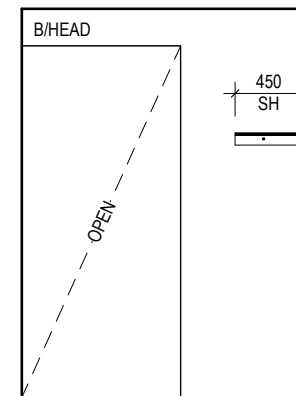
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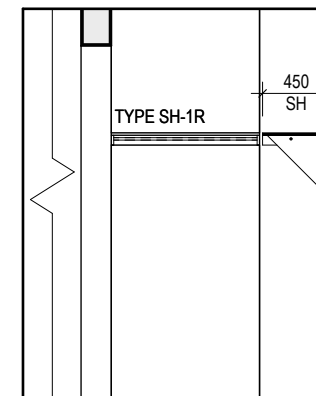
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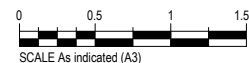


12 | WIR 4
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SHELF LEGEND	
REFER DETAIL: N-GUIDE-SHELF TYPES-01	
TYPE SH-1R	SHELF WITH HANGING RAIL & SUPPORT AS REQUIRED (No Front Rail)

DRAWING TITLE:
INTERNAL ELEVATIONS



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FACADE:
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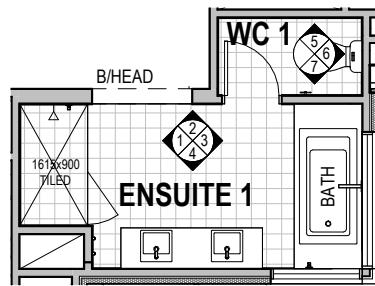
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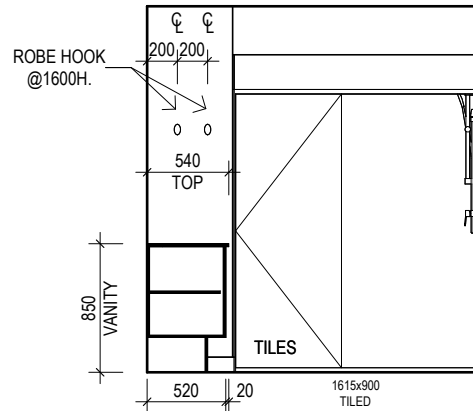
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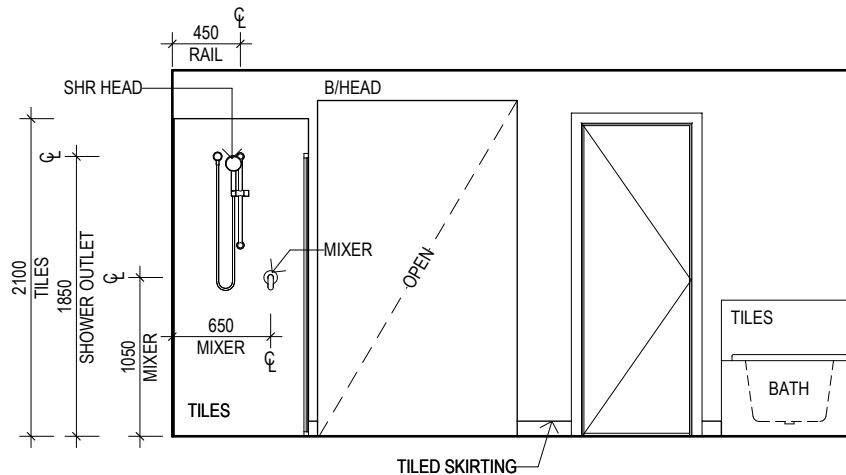
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Page 79 of 105 MASTER PLAN	
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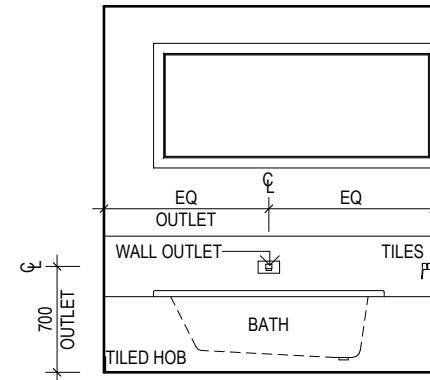
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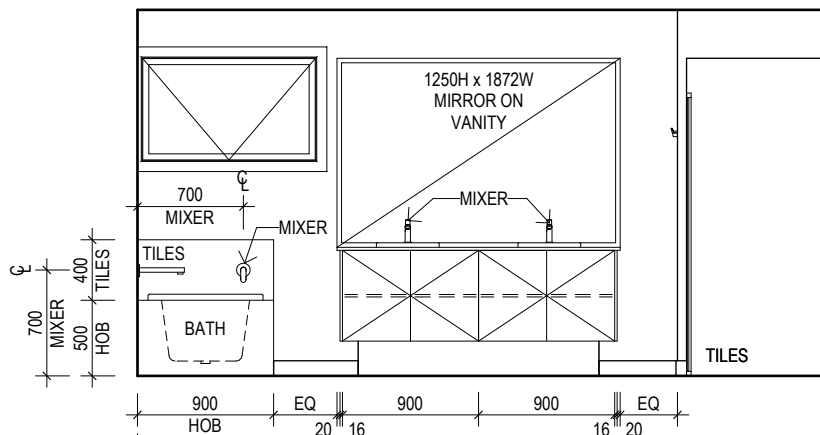
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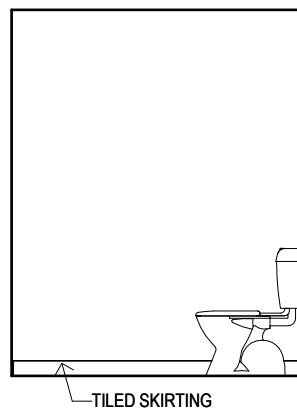
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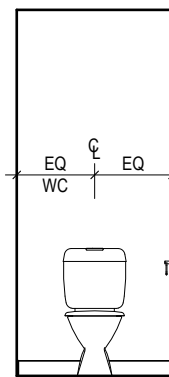
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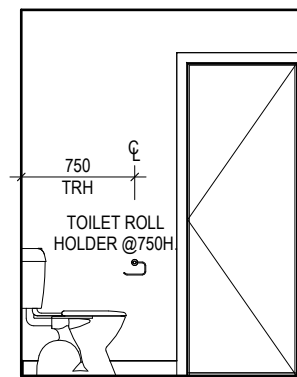
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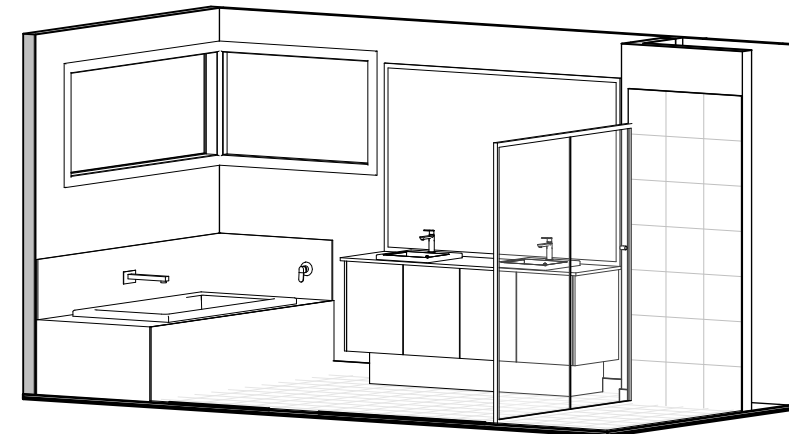
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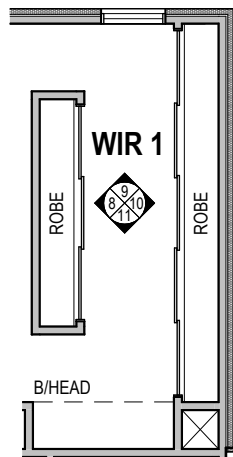
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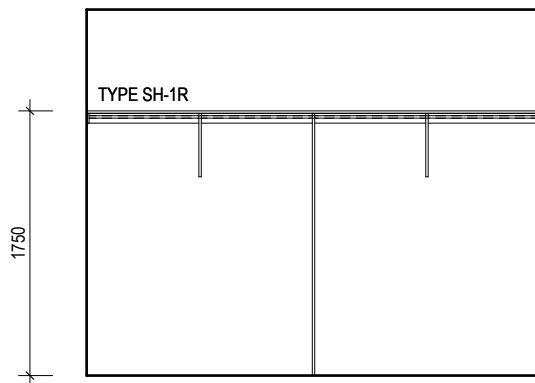
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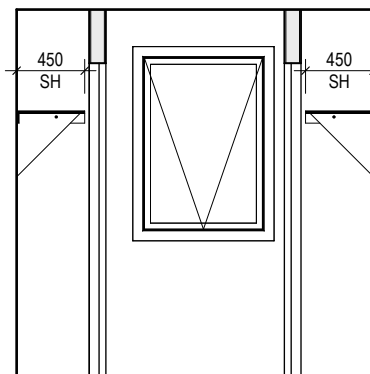
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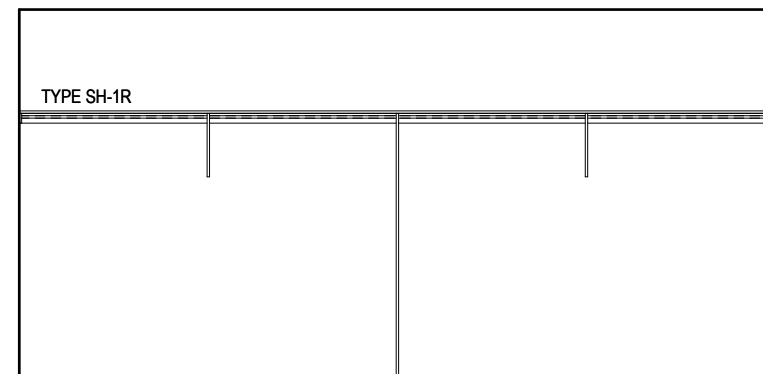
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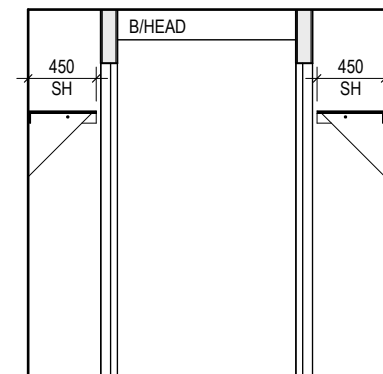
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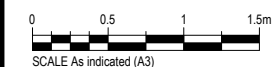
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SHELF LEGEND	
REFER DETAIL: N-GUIDE-SHELF TYPES-01	
TYPE SH-1R	SHELF WITH HANGING RAIL & SUPPORT AS REQUIRED (No Front Rail)



DRAWING TITLE:
INTERNAL ELEVATIONS



DESIGNER

SPEC: BASE

DESIGN:
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DRAWN: TP,PP CHECKED: BM, CE SHEET:

Page 80 of 100 MASTER PLAN

DATE: 03/03/2023 FXX-20/21

Farm Management Plan

For

at

300 Warragul-Korumburra Road, Warragul



ABN – 39 109503 835

July 2025

Prepared by
Kirralee Loveday
Agricultural Consultant

Ag-Challenge Consulting
PO Box 571
Warragul, Vic, 3820
kirralee@ag-challenge.com.au

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Table of Contents

1. Introduction	3
2. Property Description	4
2.1 The Climate.....	4
2.2 The Soils, Landform and Underlying Geology	5
2.3 Vegetation	7
2.4 Farm Infrastructure	7
2.5 Water Resources	8
3. Proposed Enterprise	8
3.1 Overview	8
3.2 Stock transport.....	10
3.3 Biosecurity Risks.....	11
3.4 Security Risks	12
3.5 Oestrus (heat) detection	12
4. Carrying Capacity and Grazing Management	14
5. Timeline	15
6. Planning Requirements	17
6.1 The Farming Zone.....	17
6.2 Permit for a Dwelling	18
7. Conclusions.....	20
Appendix I: Soil Sample Results.....	21
Appendix II: Soil Profile Descriptions.....	22
Appendix III: Responses to Council Concerns	24
Appendix IV: Spreadsheet of Activities on Farm and Total Cow & Calf Units on the Home Farm During Each Month	25

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1. Introduction

This Farm Management Plan (FMP) relates to the 10.5 hectare property at 300 Warragul-Korumburra Road, Warragul (Lot 1 LP142366).

The property is being purchased by _____, subject to the provision of a planning permit, with the intention of establishing the property as a cattle breeding and fattening operation for a secure source of local grass-fed beef, for their retail butcher business.

_____ have operated a retail butcher business in Langwarrin for over 14 years. They pride themselves on selling high-quality local meats and providing customers with trustworthy grass-fed options.

The _____ currently produce steers on a family lease block in Lardner, focusing on the production of pasture-based, Gippsland grown beef. Recognising there is a growing demand for this meat, a premium price can be sought in comparison to other beef options. Continuing to expand into this market is beneficial to the continuity, success and expansion of the business. In future they wish to expand their farming operation in addition to securing an additional retail butcher shop in Warragul or the surrounding region.

Once a house is built on the property at 300 Warragul-Korumburra Road, they will begin a fortnightly artificial insemination (AI) program to ensure they have a year-round secure, consistent quality and supply of cattle for their retail butcher business.

The property is located on a sealed road, surrounded by several smaller (~1 - 16 ha) beef, properties in addition to a restaurant/vineyard to the north. The property has been previously used for extensive beef grazing, and generally has relatively good levels of soil fertility, with the exception of soil phosphorus, (Appendix 1) for the growth of productive pasture species such as ryegrass.

The land is subject to planning overlays for a Farming Zone and is subject to Schedule of the Farming Zone (FZ). The property lies within the Development Contributions Plan Overlay of the Baw Baw Shire and is subject to Schedule 1 (DCPO1). The land surrounding the eastern waterway lies within the Environmental Significance Overlay and is subject to Schedule 4 (ESO4).

The agricultural productivity and versatility of the land is only limited by the lack of an occupied residence and good grazing management (fertiliser program, weed control, rotational grazing etc.). The property is currently divided into five paddocks accessed by a central laneway, with a secure water supply from a spring which is pumped to a header tank

and reticulated to stock troughs in each paddock, in addition to stock yards and cattle crush. As such, there is little additional infrastructure required to operate the property with best-practice pasture management for a productive and profitable beef enterprise.

This FMP has been prepared to describe the farm resources and how the enterprise would operate within the existing farm infrastructure. This FMP considers issues such as land capability and the sustainability of the proposed enterprise on this property and the need for a new dwelling to manage this enterprise.

2. Property Description

2.1 The Climate

As seen in Table 1, monthly rainfall data from the Bureau of Meteorology (BOM) Warragul weather station (85093), and the long-term mean evaporation data from SILO Long Paddock at Warragul have been used to represent the climatic conditions for Warragul. SILO uses interpolated data from the Bureau of Meteorology (BoM) and other suppliers to construct a spatial grid, to infill values for missing data. The data point which was used at a latitude of -38.20 and longitude of 145.95 and is considered indicative of this site¹.

Table 1. Climatic regime for Warragul

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Total
Average rainfall (mm)	61	52	68	83	94	92	91	102	104	106	89	79	1027
Average Evaporation (mm)	169	141	116	70	47	35	42	57	76	107	127	156	1143

The Warragul area has a temperate climate with high average rainfall. The average annual rainfall is 1027 mm per annum and evaporation is slightly higher at 1143 mm. Rainfall is relatively well distributed throughout the year and this area is suitable for growth of productive pasture species, such as ryegrass.

The rainfall data has been entered into a water budget spreadsheet that can be used to predict seasonal surpluses and deficits (Appendix I). Allowing for 80 mm carry forward of soil moisture from the wetter months into the drier period of the year, and a crop factor ranging from 0.6 in mid-winter through to 1.0 in summer, the pasture growing season is predicted to be for 6 to 8 months each year. A deficit of soil moisture will be a significant restriction to growth in December, January, February and March.

¹ <https://www.longpaddock.qld.gov.au/silo/point-data/>

2.2 The Soils, Landform and Underlying Geology

The property is located within rolling hills, with a gradient of approximately 8 – 16 %¹ from the roadside towards the east, with the lowest point being along the drainage line which runs north west – south east through the property.

The soils in this area have been mapped by Sargeant & Imhof (2003) and classified as “Warragul” which have been developed on Mid-tertiary basalt sediments, which are used mainly for grazing dairy and beef cattle as well as extensively cropped, particularly flowers and potatoes. The dominant soil type within the Warragul classification is Ferrosols, characterised as red, deep, well drained, friable soils which are high in free iron oxide.

The soils were assessed on the property and were predominantly Ferrosols, with the exception of the soils along the drainage line, which have been impacted by alluvial processes, and consisted of saturated brown duplex soils. Soil profile descriptions have been included in Appendix II.

Following inspection of the property, one soil sample was collected for laboratory analysis of the chemical parameters considered relevant to agricultural production. The samples were collected along a transect as a composite of 30 samples from a depth of 0-10 cm. The soil was mixed in a bucket and a subsample was taken, which was then bagged and sent off to an ASPAC certified soil laboratory. The full set of laboratory results have been attached in Appendix I, with a summary and brief comments in Table 2 below.

There was no evidence of erosion on the site at the time of the farm visit, however the most eastern paddock with the drainage line, has areas which are low, at risk of waterlogging and are likely to be pugged if cattle are in these paddocks for too long during wet periods. The owners are aware of this low-lying, wet area and will manage the land accordingly, moving temporary fences as required.

Table 2. Summary of soil test results and comments for farm management

Paddock		Comments
Olsen P (mg/kg)	8 ²	Deficient <90% of optimum (14 mg/kg)
Colwell K (mg/kg)	355 ³	Above adequate (> 190 mg/kg)
Sulphur (mg/kg)	13	Above adequate (> 10 mg/kg)
pH(water)	5.3	Within desirable range
Aluminium (%)	8%	Relatively low and not of concern (<15%)

¹ Calculated from Contour Map on Geovic - https://gsv.vic.gov.au/sd_weave/registered.htm

² Converted from Colwell P – to be updated once results received from soil laboratory

³ Will need to be verified with additional sampling – may have inadvertently sampled a urine patch

Overall, soil fertility levels on the farm are generally above adequate with the exception of phosphorus, which may potentially be limiting pasture growth in the Top paddock. The following points summarise the most pertinent soil parameters relevant to pasture growth.

- Soil phosphorus levels (Olsen P) are considered deficient, and well below adequate for 95-98% pasture production. Additional fertiliser containing phosphorus is recommended to be applied as it is likely to yield an economically favourable response. Given the high soil Phosphorus Buffering Index (PBI) of 415, ~11 kg P/ha are required to lift the Olsen P by one unit. Therefore, to increase soil Olsen P to be considered adequate (14 mg/kg), ~66 kg of phosphorus are required to be applied per ha.
- Soil available potassium and sulphur are both above adequate. However, given the spike in surface soil nitrate it is likely a urine patch has been inadvertently sampled, given inability to identify these areas while ryegrass is dormant. Given the presence of flatweed there is potential for potassium to be slightly deficient. Test strips of potassium fertiliser should be applied in spring to assess growth responses. Fertiliser containing sulphur are not likely to result in an economically favourable pasture growth response in areas represented by this sample.
- Soil pH levels are within the desirable range in both areas and aluminium levels are well below the toxic threshold. An economically favourable response to the application of lime is not expected and hence not recommended.

The following fertiliser plan is recommended to address the identified deficiencies in areas represented by the sample. Nitrogen can be applied where additional pasture growth is required, however stock should not graze these areas for at least 28 days due to risk of nitrate poisoning and also to allow maximum pasture growth response to the applied nitrogen.

Autumn –	Urea @ 80 kg/ha IF additional pasture growth is required & Single Super Phosphate @ 375 kg/ha, or Di Ammonium Phosphate (DAP) @ 165 kg/ha (depending which is a cheaper source of phosphorus) (Reassess as the capital application may need to be applied for a second year, with only maintenance applications required thereafter)
Winter* –	Urea @ 80 kg/ha IF additional pasture growth is required
Spring –	75% Urea and 25% Muriate of Potash @ 100 kg/ha (apply as test strips and after areas have been cut for hay or silage)

*Winter fertiliser application must not be applied if soils are waterlogged. Fertiliser should not be applied within 20 m of drainage channel during winter. **Note: stock should not graze**

nitrogen (Urea) fertilised pastures for at least 28 days. If fodder is to be cut, apply spring blend 4-6 weeks prior to cutting.

2.3 Vegetation

The pastures across the property were predominantly ryegrass, paspalum and flatweeds, namely cats ear, plantain and occasional clover.

Within the waterway and low-lying area of the property the flatweed population increased, as well as clover, creeping buttercup and sedge.

A well-managed rotational grazing system in which ryegrass is grazed at the three-leaf stage will help promote pasture density and hence improve ground cover. To maintain the good pasture sward currently on the property, all grazing areas will be managed using a rotational grazing system, timely weed control and correct fertiliser use.

To control flat weed, a broadleaf spray should be applied as the plants are beginning to show above ground (in floret stage) as this is the best time to do so. It can be done in both autumn and spring and may need to be done twice yearly. As a general rule of thumb, 6 weeks after the autumn break is often the most ideal time to spray flat weeds, to avoid having to do it twice.

Along the waterway, which is proposed to be fenced, revegetation with shrubs and trees, which are indigenous to the Baw Baw Shire area, and suited to the Moist Lowlands of Warragul is planned. These will include species such as silver or blackwood wattle, swamp paperbark, Sheoak, Cassinia etc. These species are well suited to the property, and will increase the biodiversity of the area, providing shelter to the local fauna, and help protect the water quality and streambank sides from erosion.

2.4 Farm Infrastructure

The property is currently fenced into 5 paddocks suitable for grazing with an earthen laneway providing access to the eastern paddocks. All fencing is in relatively good condition, and ranges from 4 to 6 barbed wire fences between treated pine posts.

Two crossings have been constructed across the waterway consisting of wooden planks and a culvert, with crushed gravel providing access to over northernmost crossing in wetter conditions.

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At the entrance of the property on the western side there are stockyards, crush and a loading race. There is a small pump shed located on the eastern side of the property above the watercourse. There is also one small shed used for hay and machinery storage.

2.5 Water Resources

Water is currently pumped from a spring to the header tank at the highest point of the property. Water is then reticulated through gravity to concrete stock troughs in each paddock.

3. Proposed Enterprise

3.1 Overview

The current property owners operate a steer fattening operation on a family lease block in Lardner. The cattle produced are primarily angus, targeting the age of 12 – 13 months old as grass fed cattle. The pasture-based Gippsland grown beef has been identified as a growing market, with high demand for these products, and so Glenn and Peita, seek to expand into a beef breeding operation, to specifically target the genetic traits that are important to their butcher business.

The property at Lardner is currently used to grow out angus steers. Only once there is an occupied residence on the Warragul farm, the owners plan to develop a fortnightly AI program in which approximately 2 cows will be inseminated each fortnight. All cows will be calved down on the Warragul property. Calves will remain with their mother until approximately 6 months of age, where they will then be weaned on the Warragul property for a month prior to being sent to the Lardner property to grow out. The calves will then be sent to the local abattoir for slaughter at 12 – 13 months of age. This system is designed to provide a steady supply of meat to the butcher business, allowing for at least 2 beasts per fortnight to be slaughtered.

Marshall’s Meat business plans to predominantly produce and breed Angus cattle, which is driven by several key factors, including the breeds high dressing percentage, growth rate, meat marbling qualities, and the strong reputation and brand associated with the Angus name. This reputation instils customer confidence and allows for a premium price. Additionally, by producing ‘Gippsland Grass Grown Angus Beef’ Meats can further command a premium price, given the branding of this region for sustainable farming and high quality produce’, further deepening consumer trust and reinforcing it is a ‘high-end local product’. Regular beef mince is on average sold currently for \$11-\$14/kg while Gippsland

¹ Sourced from google for regular mince from Woolworths, Coles, Australian Butchers Store,

grown pasture based beef mince can be sold at for \$17/kg¹, creating an additional profit margin of \$3-6/kg for premium beef mince sold.

This proposed enterprise is only possible with a residence on the property due to the labour-intensive requirements of a fortnightly AI and calving program, as well as calving complication risks. AI has been chosen to allow access to genetics that are not readily available through natural service and to allow offspring to be of the highest genetic merit possible. To ensure cows are successfully inseminated, cows need to be closely monitored for behavioural changes associated with coming on heat, such as restlessness, trailing other cows, back arched with tail in air, bellowing etc. Behavioural signs need to be monitored as it is cost prohibitive to have a vet come out each fortnight of the year to assess if only 2 cows are in calf. Additionally, cows will have a much higher degree of supervision during calving if there is a residence on the property, reducing the likelihood of fatal complications associated with calving. Calving difficulties, most commonly with heifers could result in major financial losses to the beef butcher business. Beef heifers in Australia have calf death rates of up to 10%, in addition to the death of the heifer in some circumstances.² The rate of calf deaths and heifers/cows can be greatly reduced by calving the cows down in the paddock closest to the house, to allow for regular monitoring throughout the day and night and early intervention if Dystocia occurs. As a rule of thumb intervention may be required if a cow has not progressed to the next stage of calving after an hour, or if the calf has not been delivered within 4 hours of her first showing signs of calving (ie. Restlessness, contractions or breaking the bag surrounding the calf). Early intervention is key in reducing mortalities or further complications. This can be achieved by the residing onsite.

Additionally, once calved, early intake of colostrum by the calf is essential for the immune system of the calf, to minimise the risk of infections, such as pesti virus, scours (cryptosporidia, salmonella, E.coli, coccidia etc.) and pneumonia. The only practical way to identify in a beef pasture-based system is through observation of the calf suckling within 12 hours of birth. This can be aided by the living onsite.

The landowners wish to manage the land in a way that is sustainable both economically and environmentally. The grazing operation will be managed with a rotational grazing system, whereby the cattle are moved daily into new grazing areas. Temporary electric fences can be used to subdivide current paddocks to allow flexible pasture allocation depending on the time of year. Along the drainage line fencing will restrict stock access from the watercourse, restricting their movements to the stock crossings only.

¹ Accessed from Marshalls Meats website prices - <https://marshallsmeats.com.au/Beef-c47494106>

² Meat and Livestock Australia - <https://mbfp.mla.com.au/weaner-throughput/2-control-mating-period/>

This type of grazing management is best for maximising pasture productivity by reducing the impacts of back grazing, helping maintain desirable pasture species and reducing environmental impacts such as erosion or pugging in winter. With no occupied residence on the property this places a potential barrier against “best pasture management” as cattle are not always able to be moved daily and hence there is likely to be substantial pasture production losses, if stock are not moved daily.

The applicant has advised further proposed improvements to the property include:

- Construct a dwelling;
- Pasture improvement through appropriate weed and fertiliser program;
- Fencing off the waterway utilizing pigtail posts so the exclusion zone can be widened as needed during prolonged wet conditions;
- Expand the existing shedding, to provide adequate room for the storage of hay and machinery.

Figure 1 shows the current layout of the farm, including laneway and yards. There is a drainage line running through the eastern end of the property, that is not currently fenced to restrict stock access. There are also two designated stock crossing bridges over the waterway.

Stress reduction in cattle is pertinent for high quality meat and reducing the chance of ‘black cutting’, high pH meat, a coarse texture, reduced shelf life, and appearance of remaining undercooked despite extensive cooking.¹ Dark cutting meat can lead to a reduction of \$0.45/kg of hot carcase weight, and selling this product at their retail butcher shop could lead to a loss of consumer faith, reputable name and profit. The two weeks leading up to slaughter is the most significant time period for effect on quality of meat, and during this time cattle should be on a ‘rising plain of nutrition’ and stress should be minimised as much as possible. This can be achieved through regular stock handling, so the cattle are familiarised with being mustered quietly and not exposing the cattle to a new environment or animals during this time period. These stress reduction actions are pertinent to the continued success and expansion of Glenn and Peita’s retail butcher business.

3.2 Stock transport

Each 12-month cycle the heifers/cows will be transported to the Lardner property. Once the calf has been weaned off her at approximately ~6 months of age, she will then be transported to the ‘home’ Warragul property ~6 months later, 1 month before she is due to calve. This results in only two times per year being transported, which is not uncommon practice particularly in

¹ Meat and Livestock Standards Australia – The effect of pH on beef eating quality, MSA08

the Gippsland area for both beef and dairy cattle, which are commonly transported from the ‘home farm’ to agistment or turn-out blocks during their ‘dry-period’.

Additionally, the calves will only be transported after being weaned at ~7 months of age to the Lardner property, and then once more at ~12 months of age for slaughter.

The calves will be weaned and remain on the Warragul property for a month prior to transport to the Lardner property to ensure they have adequate supervision during this period, as although requiring less supervision than at calving, it is pertinent that the calves continue to graze the paddocks and find access to the stock troughs, rather than pacing around looking for their mothers.¹ The weaning strategy implemented for the calves is pertinent to ensure no check occurs in calf growth. At weaning best practice management involves regular positive interactions with humans, to reduce subsequent stress involved with handling and transport, and to generally reduce future occupational health and safety problems.² Once the calves have settled and have been identified as suitably grazing pastures/fodder and thus requiring reduced supervision, they will be transported to the Lardner block, where they will remain until slaughter at ~12 months of age.

The high level of supervision and management required for this year-round calving enterprise, i.e. fortnightly calving and fortnightly AI, in addition to actively reducing stress of the cattle, and daily pasture management including feeding, fertiliser and weed management will require close supervision throughout the year.

3.3 Biosecurity Risks

The transport of the cows and calves between properties does naturally increase biosecurity risks, particularly in relation to diseases, pests and weeds.

Given the herd will be a ‘closed herd’ meaning no new animals outside of the herd will be introduced (ie. Only cows and calves bred by the Marshall’s will be on either farm), this greatly reduces the risk of disease introduction. In addition to annual boosters of the 7 in 1 vaccination and drenching as required.

The stock transport will be primarily achieved by the given only small numbers of cattle will need to be moved at any-one time, such that a conventional stock moving trailer can be used. This significantly reduces the risk of diseases, pest and weeds being brought onto the property from a contaminated stock carrier truck. Between uses it is imperative that the stock trailer is cleaned of any potential contaminants.

Additional biosecurity measures have been outlined below:

- Ensure all boundaries are well maintained and secure

¹ <https://www.mla.com.au/news-and-events/industry-news/getting-livestock-transport-wright/>

² MLA More Beef from Pastures – Weaner Throughput – pg. 20

- Monitor livestock regularly for signs of diseases and remove and isolate any identified animals from the herd
- Reduced importation of externally made fodder (hay & silage) to reduce the introduction of potential weed seeds
- Recording of livestock movements between properties is crucial
- Ensure semen purchased has been subject to stringent testing for diseases
- Keep vermin under control
- Visitor control & register (clean clothes, boots and vehicles)

3.4 Security Risks

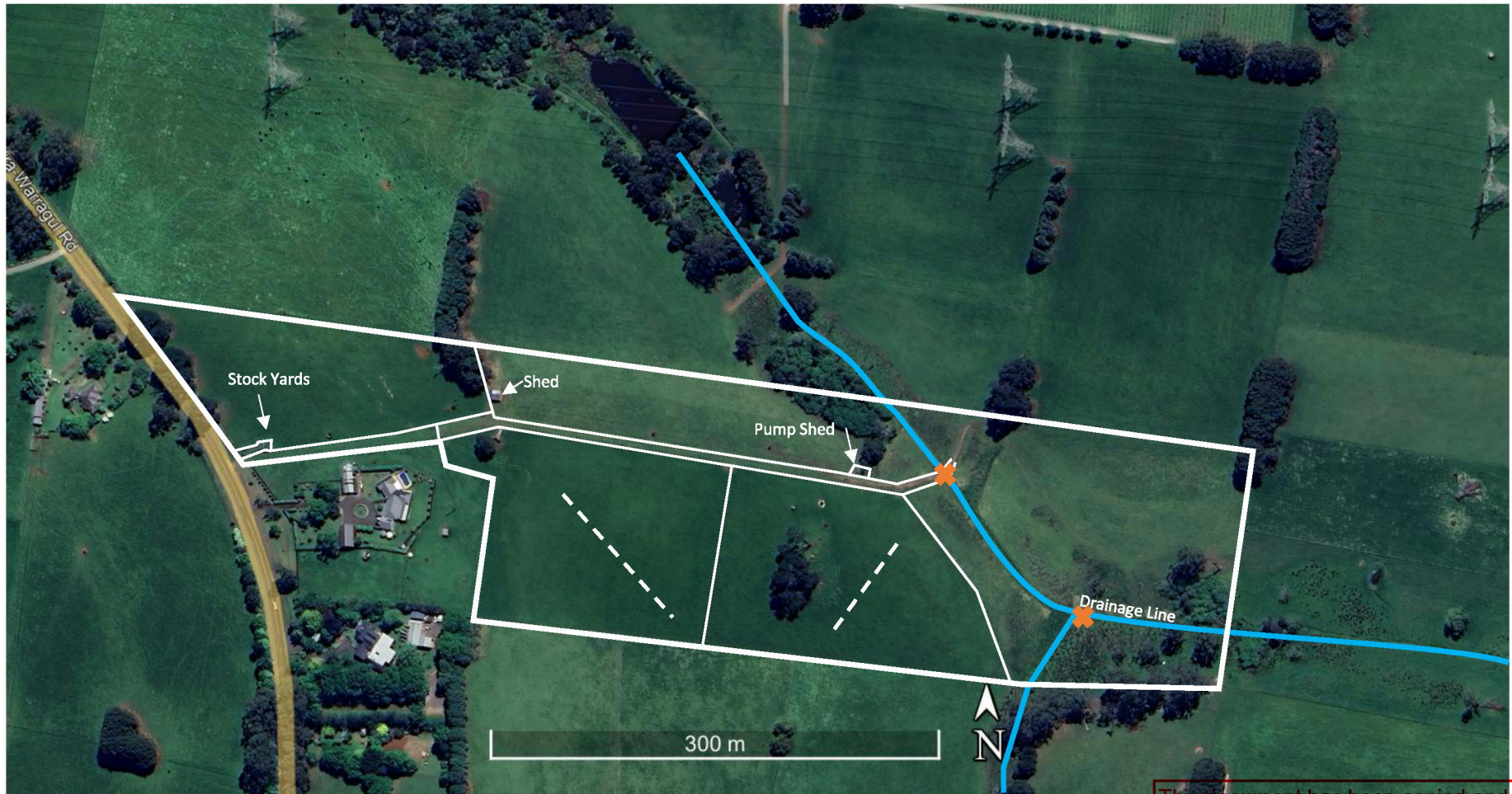
In addition to biosecurity, security of the farm machinery, livestock and tools from potential thefts is increased by residing onsite. Data for Warragul shows, property crime, particularly theft is the most commonly reported crime, with 540 thefts recorded in 2024, while so far for 2025, 843 thefts have been reported which is up 56%. These theft figures don't take into account property damage, burglary/breaking and entering or arson, which are all also up on 2024 figures already.¹ Residing onsite acts as both a deterrent and early reporting of potential thefts, reducing both economic losses, through stolen or damaged stock and machinery, as well as any operational disruptions.

3.5 Oestrus (heat) detection

Accurate heat detection is critical in a successful Artificial Insemination (AI) Program, and for the butcher business for a constant steady supply of meat. The meat produced on the Warragul farm will be hormone free, meaning no synchronisation programs will be used (ie. Prostaglandins or progesterone implants) to shorten the reproductive cycle of the cows. This means the ; will need to rely on visual clues, which can be aided through the use of heat mount detectors (stickers) or tail paint. The AI program is critical to the viability of this business, as a missed heat, or incorrectly timed AI will result in significant delays to the breeding program, and subsequent financial losses.

¹ <https://www.crimestatistics.vic.gov.au/crime-statistics/latest-crime-data-by-area>

Figure 1: Current farm layout – property outline in bold white, stock crossings shown as orange crosses, and soil sampling transect shown as white dashed line.



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4. Carrying Capacity and Grazing Management

At the time of the farm visit, there were no stock grazing the property, however cattle have previously grazed the property.

The carrying capacity of the Warragul farm has been estimated at 30 DSE/ha¹ to ensure the enterprise is self-sufficient (i.e. hay and silage made on farm). There is approximately 0.3 ha taken up by the existing yards, laneway and shed, such that there is approximately 10.2 ha available for grazing.

From these estimates, the current carrying capacity is calculated to be 307 DSE (10.2 ha x 30 DSE/ha). Based on a Dry Sheep Equivalent (DSE) rating of 22 DSE for a cow and calf unit, this would be the equivalent to approximately 14 cow and calf units on the Warragul farm at any one time. As per the spreadsheet supplied in Appendix IV, this does not equate to only a total of 14 cow and calf units being joined, calved and grazed on the property throughout one year, but rather ~26 cow and calf units, given the use of the additional lease blocks. The additional lease blocks will be used as a turn-out block for weaned calves at approximately 6 months of age and for pregnant heifers/cows until a month before they are due to calve down.

Based on nearby properties, the local climate and implementing the recommendations of this report, a proposed stocking rate of 30 DSE/ha is considered achievable. The pasture consumption required to support this stocking rate is estimated to be approximately 7.5 tDM/ha/year, which is realistic in this area with good grazing management of productive pasture species such as ryegrass (rotational grazing) and fertiliser use.

The owners do not wish to overstock the property and will adjust the stocking rate to suit the season. As per the spreadsheet in Appendix IV the lower stocking rates are carried through December to April, and higher stocking rates are carried through in May to October following the general pasture growth curve. While this has been assumed each growing season differs markedly such that the actual stocking rate year-in-year out, will need to be shifted accordingly. The owners also plan to cut hay and silage on the property, such that they are not reliant on market prices if supplementary feed is required.

The rotational strip grazing system will involve cattle being in a grazing area for a maximum of 36 hours before being moved to the next area. The owner will achieve this by moving a portable electric fence every day. Cattle should spend less than two days per strip to minimize the impact of back grazing and maximise pasture growth rate. There is an increased risk of animals escaping when they are held behind one strand of electric tape, especially young stock.

¹ DSE = (annual rainfall – 250)/25.

Having a person living on the property will ensure that any escapees can be dealt with promptly and grazing management is not negatively impacted.

At a stocking rate of 30 DSE/ha, there should be no physical limitations to the property from compaction of the soil or overgrazing, with a person living on the property and the rotational strip grazing system the owners plan to implement.

5. Timeline

As rural enterprises are constantly evolving and changing due to seasonal pressures, it is very difficult to set exact timelines for each major undertaking. Specific dates on which the following will be undertaken as many will depend on various external factors including weather, finances and time.

An example of the monthly timeline for the AI program is provided below in Table 1, for ‘one group’ of cows, occurring every fortnight throughout the year. This is repeated in staggered stages with each ‘group of cows’. For a more detailed breakdown see Appendix IV.

Table 1. Example of the Monthly timeline for AI program

Month of Year	Movement of Stock/Activity with Stock
September	2 cows receive AI These cows already have a ~4 month old calf at foot
October	2 cows confirmed in-calf (visual detection or use of stickers)
November	Calves are weaned off mothers at ~6 months old. Cows are moved to Lardner property
December	Calves are moved to Lardner property as required depending on feed demand availability and/or shortfall
May	In-calf cows which have been grazing on Lardner property are now transported to Warragul property

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June	Cows calve down on Warragul property & the calves born the previous June are sent for slaughter
June - Nov	Cows and calves graze pastures on Warragul property ensuring close supervision of cows and calves
September	Cows are monitored for heat detection & receives AI

A basic 2-year timeline for property management and improvement is included below. As the property will be a beef enterprise, management will be very similar each year.

Year 1:

- Once planning permit is approved, proposed house begins construction
- Apply appropriate fertiliser for the season as recommended in this report
- Expansion of existing shed to enable storage of both machinery and hay/fodder cut on property
- Cut fodder (hay, silage and straw) in spring
- Purchase temporary fencing equipment including reels, pegs to subdivide paddocks
- Fence off eastern drainage line through property and ensure stock crossings are in good condition for cattle to walk across
- Once house is complete, AI program will begin
- Almost daily movement of fences and stock, for best practice rotational grazing
- Spray for flat weed

Year 2:

- Fortnightly AI program throughout the year
- Fortnightly calving throughout the year
- Almost daily movement of fences and stock, for best practice rotational grazing
- Transporting stock between Lardner and Warragul property as required
- Autumn flat weed control
- Autumn fertiliser application
- Spring fertiliser application based on soil test results
- Cut fodder
- Infrastructure maintenance

There is not a specific timeline for the expansion of the retail butcher business into the Warragul area, as this is largely dependent on an appropriate building being listed for lease.

6. Planning Requirements

6.1 The Farming Zone

The property is within the Farming Zone (FZ) of the Shire of Baw Baw Planning Scheme and is subject to provisions of the Farming Zone and Schedule to the Green Wedge Zone. The property is within a designated bushfire prone area. The other overlays on the property are the Environmental Significance Overlay (ESO) and the property is subject to Schedule 4 (ESO4), Development Contributions Plan Overlay and to schedule 1 (DCPO1).

The stated purposes of the Farming Zone include 6 sections of relevance:

To provide for the use of land for agriculture.

To encourage the retention of productive agricultural land.

To ensure the non-agricultural uses including dwellings, do not adversely affect the use of land for agriculture.

To encourage the retention of employment and population to support rural communities.

To provide for the use and development of land for the specific purposes identified in a schedule to this zone.

These objectives have been reviewed from an agricultural perspective and the proposal meets all these objectives. The development of the property as a productive and commercial cattle breeding operation to provide local Gippsland grass grown beef for sale at their family owned butcher meets all of these objectives. The planned expansion of the retail butcher business into Warragul or the surrounds with own grown produce will directly provide local employment both at the butcher shop, and in agricultural contractors. The land will be used directly for agriculture, and productively, at a higher level, given the owners reside onsite to enable best practice grazing management and ensure strict management during calving occurs.

The planning scheme specifies that a permit is required for a dwelling on this property as it is less than 40 hectares. The dwelling must meet the following requirements:

Access to the dwelling must be provided via an all-weather road with dimensions adequate to accommodate emergency vehicles.

Each dwelling must be connected to reticulated sewerage, if available. If reticulated sewerage is not available all wastewater from each dwelling must be treated and retained within the lot in accordance with the requirements of the Environment Protection Regulations under the Environment Protection Act 2017 for an on-site wastewater management system.

The dwelling must be connected to a reticulated potable water supply or have an alternative potable water supply with adequate storage for domestic use as well as for firefighting purposes.

The dwelling must be connected to a reticulated electricity supply or have an alternative energy source.

At this stage plans for a dwelling have not been prepared, as they are subject to the provision of a Planning Permit. These will be separate plans to this document and will include provision for an onsite wastewater disposal area which will meet the requirements of the Environment Protection Regulations and Environment Protection Act 2017 for onsite wastewater management systems.

6.2 Permit for a Dwelling

Clause 35.07-6 of the planning Scheme states that *on an application to use or subdivide land, construct a building or construct or carry out works, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:*

These issues are reproduced in full, from the planning scheme in Appendix V and the issues relevant to agriculture have been identified (in italics below) and commented on as follows:

General issues

The capability of the land to accommodate the proposed use or development.

How the use or development relates to sustainable land management.

Whether the site is suitable for the use or development and whether the proposal is compatible with adjoining and nearby land uses.

The land has high agricultural capability, and the soils within the region have history of extensive cropping, grazing and dairying, with land use hazards identified as poor site drainage only in the areas surrounding the watercourse where the soil type changes from typical Red Ferrosol soils to Brown Duplex soils. If there are any other risks, with appropriate stewardship the risks can be managed, particularly in a sustainable manner.

The beef enterprise diversifies local farm businesses, given the vertical business structure that includes on-farm, pasture-based beef production, a retail butcher in Langwarrin and plans for future expansion of the butcher shop into Warragul.

The proposed dwelling is integral for the AI program and intensive year-round calving pattern, providing early intervention for dystocia in cattle, ensuring accurate heat detection, monitoring of colostrum intake, supervision of the weaned calves, in addition to the safety of the stock, ensuring stress levels in the cattle remain as minimised as possible for the best product, and the timely pasture and grazing operations required for a beef enterprise to remain viable and productive.

There are no perceived risks or compatibility issues that impact on adjacent properties.

Rural issues

The maintenance of agricultural production and the impact on the rural economy.

The environmental capacity of the site to sustain the rural enterprise.

The need to prepare an integrated land management plan.

The potential for the future expansion of the use or development and the impact of this on adjoining and nearby agriculture and other land uses.

The protection and retention of land for future sustainable agricultural activities.

Agricultural production will be intensified on the property through a year-round calving pattern and best practice grazing management, in comparison to the current status of the property which had no stock present at the time of the site visit. Rural economy will be positively enhanced through the agricultural output from the property going directly to Glenn & Peita Marshall’s Butcher in Langwarrin, with plans to expand this retail business into Warragul. The land has been assessed to be suitable for the proposed enterprise with well drained, versatile and highly sought after Ferrosol soils and suitable climate.

There is no universal agreement to the best knowledge of the authors as to what elements comprise an Integrated Land Management Plan. In describing the inherent land attributes, the proposed enterprise and how the land is to be developed and managed to minimise risks of land degradation, this Farm Management Plan becomes an Integrated Land Management Plan. There are no perceived negative impacts on adjoining farm businesses from future expansion of the business. While the construction of a dwelling and other associated buildings could be perceived to be a loss of productive land for agriculture, this is a necessary requirement for the success of the new enterprise and an integral part of the enhanced agricultural production. Due to the dynamic nature of Agriculture as an Industry, it is not possible that land be retained and protected for a specific agricultural use. But the land will be retained in a way that protects the versatility and capability of this land for other future agricultural uses and activities, keeping pasture across the entire property, with the exception of the dwelling.

Environmental issues

The impact of the use or development on the flora and fauna on the site and its surrounds.

The need to protect and enhance the biodiversity of the area, including the retention of vegetation and faunal habitat and the need to revegetate land including riparian buffers along waterways, gullies, ridgelines, property boundaries and saline discharge and recharge area.

No flora is planned to be removed at this stage, and the property will be retained in pasture. strict pasture management and rotational grazing is likely to have positive benefits in terms of weed control.

The drainage line which runs through the eastern end of the property will be fenced off, to prevent stock access, utilising the two existing stock crossings, to protect the waterway. The northern and eastern end of the waterway have been revegetated with various native and non-native species, which will be retained for important faunal habitat, and protection from stream bank erosion. Additionally, revegetation of locally native shrubs and trees is planned to line the stream side of the fenced off waterway, to act as both a habitat corridor for local fauna, in addition to protecting the streambank from erosion, and protecting the water quality. The

7. Conclusions



The property at 300 Warragul – Korumburra Road, Warragul is well suited to a pasture-based cattle breeding and fattening operation, to support the owners retail butcher business ‘Meats’.

An occupied dwelling on the property is required for this year-round calving operation to be implemented. A dwelling will allow the property to be managed following best practice grazing management guidelines outlined in this report, provide the required supervision for cows during calving to reduce cow and calf mortalities, ensure colostrum intake by the calves occurs within 12 hours of birth, provide security to the inevitable escapee calves, and ensure cows that come on heat are detected, and the weaned calves are closely supervised, for a cost and time effective breeding program. The proposed dwelling is also an integral component of providing security to the stock, machinery, equipment and feed stored on the property against potential thefts.

The breeding operation is planned to create a more profitable and branded meat product, and as a vertically integrated butcher business, allowing customers to be supplied with locally grown, grass-fed cattle. A yearly breeding and calving program is labour intensive and time-consuming with the yearly outline of events with each Cow and Calf unit outlined in Appendix IV.

Expansion of the retail butcher business is planned to occur into Warragul and/or the surrounds, after the recent closure of their Mornington branch. This will enable meat to be provided locally in addition to Langwarrin, and to support the local economy by employing local butchers and apprentices.

Appendix I: Soil Sample Results

	Customer	Ag-Challenge Consulting Pty Ltd
	Job	
	Date Rec'd	28/03/2025
		
Lab Number		1ZMS25020
Customer		FMP - [REDACTED]
Depth		[REDACTED]
Colour		0-10
Texture		2.5
Phosphorus Olsen	mg/Kg	8
Potassium Colwell	mg/Kg	355
Sulphur	mg/Kg	12.7
pH Level (H2O)	pH	5.3
pH Level (CaCl2)	pH	4.5
PBI		415.2
Conductivity	dS/m	0.20
Ammonium Nitrogen	mg/Kg	31
Nitrate Nitrogen	mg/Kg	60
Organic Carbon	%	4.23
Exc. Aluminium	meq/100g	0.92
Exc. Calcium	meq/100g	6.75
Exc. Magnesium	meq/100g	1.93
Exc. Potassium	meq/100g	0.91
Exc. Sodium	meq/100g	0.42
Sum of Cations (CEC)	mg/Kg	10.9
Calcium:Magnesium Ratio		3.5
Exchangeable Sodium %	%	4%
Aluminium % of cations	%	8%
Phosphorus Colwell	mg/Kg	19

Note: Olsen P has been converted from Colwell P

FMP - | - 300 Warragul-Korumburra Road, Warragul

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Appendix II: Soil Profile Descriptions

Typical Red Ferrosol found across Warragul

Depth (cm)	Horizon	Description
0 – 20	A1	Dark brown clay loam . Very well structured. <i>Diffuse transition to:</i>
20 – 40	A2	Reddish brown light clay . Reddish yellow mottles. Very well structured. <i>Clear transition to:</i>
40 – 80	B1	Reddish brown medium clay . Very well structured. <i>Diffuse transition to:</i>
80 – 90	BC	Highly weather parent material. Reddish brown. <i>Hole terminated at 90 cm no auger refusal.</i>



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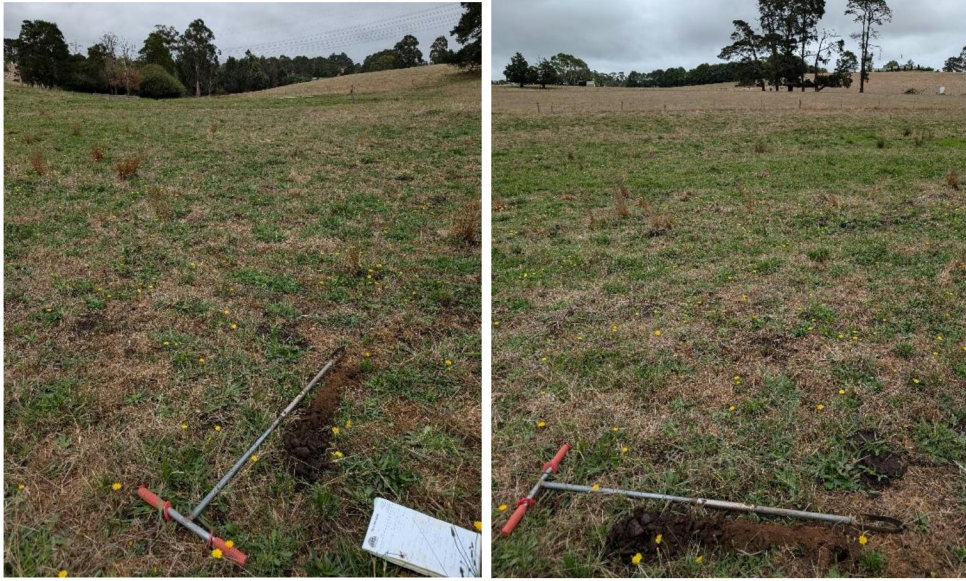
Waterway soils – Brown Duplex soils deposited by alluvial process

Depth (cm)	Horizon	Description
0 – 10	A1	Brown silty clay loam . Yellow-brown and reddish-brown mottles, Moderate structure. <i>Diffuse transition to:</i>
10 – 25	A2	Yellowish brown light clay . Moderate structure. <i>Clear transition to:</i>
25 – 40	B1	Dark Brown medium clay . Well structured. <i>Diffuse transition to:</i>
40 – 90	B2	Black medium Clay . Well structured. <i>Hole terminated at 90 cm no auger refusal.</i>



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Appendix III: Responses to Council Concerns

Council Concerns:

- Cow & Calf Units (Stocking Rate & Intensity requirement for dwelling) – See Section 3.1, 4 and Appendix IV
- Stock Movement – See Section 3.2
- Biosecurity Concerns – See Section 3.3
- Visual Oestrus Detection – See Section 3.4

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Appendix IV: Spreadsheet of Activities on Farm and Total Cow & Calf Units on the Home Farm During Each Month

[illegible]

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Statement of Applicant

29/08/2025

Statement of Applicant Intent

Planning Permit Application PLA0086/25

Use and Development of a Dwelling (to be used in conjunction with Agriculture / Cattle Breeding) and Altered Access to TRZ2.

Background

We are writing in support of our application for a planning permit for the use of the property at 300 Warragul Korumburra Road ,Warragul for cattle breeding.

Our family has deep roots in this region. We have lived here for most of our lives, and our parents and grandparents before us also called this Shire home. Our grandparents worked the land as farmers, and it is their example of hard work, respect for the land, and commitment to agriculture that inspires us today. We now wish to continue that farming legacy by breeding beef cattle, linking the heritage of farming in this Shire with our own family-owned butcher shop.

We have always wanted to operate a butcher shop in the Shire. However, the availability of suitable shops for sale at the time led us away from the area. We completed his apprenticeship in Warragul at Radfords, and from those early days it was always his dream to one day run a butcher shop in the local community. We have now been running our shop (in Langwarrin) successfully for 17 years, and this property gives us the chance to finally build on that foundation. Cattle breeding here will allow us, in time, to expand into the Shire with a butcher shop that can directly connect to and serve local families.

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As owners of Quality Meats, we are proud to be traditional butchers, tradespeople who respect the craft, honour the heritage of butchering, and believe in doing things the right way. In a world where so much of the food industry has become industrialised and impersonal, our family is committed to keeping alive the old-style values of farming and butchery: respect for the land, respect for the animal, and respect for the table it feeds.

Our mission, *'Our family's beef, raised for your family's table – by 2035,'* is at the heart of everything we do. By breeding cattle on this property, we can ensure that the land remains farmland in the truest sense: productive, cared for, and dedicated to agriculture. While this will not immediately supply the community's food chain, it establishes the critical step towards a future where families in this Shire will be able to enjoy beef bred locally and prepared through our butcher shop.

Preserving Heritage and Craft

We see ourselves as keepers of old-style butchery and farming, determined to keep those traditions alive. Every animal bred and raised here will be part of a cycle that honours the past: carefully managed, well cared for, and processed with respect. Our approach is not about industrial scale or mass production. It is about ensuring that families can continue to access food raised and prepared with craftsmanship, knowledge, and integrity.

Community Contribution

In time, our dream is to bring our butcher shop into the Shire, offering not only high-quality beef but also meaningful benefits to the community. This will include:

- Local employment opportunities through farming, butchery, and retail roles.
- Partnerships with local schools and training programs, helping to pass on butchery skills to the next generation.
- Supporting local events and food initiatives, showcasing traditional butchery and farming as part of the region's identity.
- A direct link between local farmland and local families' tables, once a shopfront is established in the community.

Sustainability and Stewardship

We are committed to responsible land use and animal welfare. By breeding cattle on this property, we will actively manage the land to prevent overgrowth, improve soil health, and maintain the agricultural landscape. Our practices will focus on sustainability, ensuring that this land remains productive and healthy for future generations.

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Alignment with the Shire's Vision

This proposal aligns directly with the Shire's vision of keeping farmland as farmland. We are not seeking to change its purpose. Rather, we are strengthening its role as productive agricultural land that contributes to the region's farming future, economy, and heritage.

Our Commitment

This application is about continuity and preservation: maintaining farmland, honouring the craft of butchery, and building a sustainable local food future. With our family's history of farming in this Shire, training and beginnings as a butcher in Warragul, and our 17 years of experience running our shop, we are determined to honour the past while building a strong future. By granting this permit, the Council would not only be safeguarding the farming purpose of the land but also enabling us to implement our broader vision for the family business and property.

We respectfully ask for your support of this application, so that together we can preserve farming land, honour the heritage of butchery, and build a stronger, more sustainable food future for local families.

Thank you for your time and consideration. We would be very pleased to provide any further information or meet with the Council to discuss our plans in greater detail.

Yours sincerely,

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Attachment A – Planning Permit Application Summary

Use of Land for Cattle Breeding – [Property Address]

Our Vision

- 'Our family's beef, raised for your family's table – by 2035.'
- To breed our own cattle on this property, ensuring the highest standards of farming and butchery.
- To expand our butcher shop into the Shire, offering local families high-quality, locally raised beef.

Our Connection

- Lifelong residents of the Shire, with parents and grandparents also based here.
- Inspired by a family farming legacy, now building a future in cattle breeding and butchery.
- completed his apprenticeship in Warragul at Radfords, and together we have run our butcher shop for 17 years.

Respecting the Craft

- Proud to be keepers of old-style butchery and farming, ensuring traditions are not lost.
- Every animal bred and raised here will be cared for with integrity and processed with respect.
- Focused on craftsmanship, not mass production.

Community Benefits

- Local Employment – jobs in farming, butchery, and retail.
- Education & Training – supporting apprenticeships and passing on butchery skills.
- Support for Local Events – showcasing farming and food heritage.
- Future Local Supply – once a butcher shop is established in the Shire, a direct farm-to-table link will be created.

Sustainability & Stewardship

- Breeding cattle to maintain land productivity and soil health.
- Sustainable farming practices to preserve the land for future generations.
- Land remains 100% farmland, dedicated to agriculture.

Alignment with Shire Goals

- Strengthens the agricultural role of the land.
- Supports the local economy and farming identity.
- Protects farming heritage while building a sustainable future.

In summary: This proposal preserves farming land, continues a farming legacy, honours the craft of butchery, and lays the foundation for future community connection once a local butcher shop is established.

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