

Application for a Planning Permit

Section 1: LAND DETAILS

Unit Number:	Street Number: 84	Street Name: Rulemount Rd
Town: Warragul	Postcode: 3820	

FORMAL LAND DESCRIPTION (Please complete either A or B – this information can be found on the Certificate of Title)

Option A:

Lot No:	10		
Type of Plan: Please tick ✓	Lodge Plan ☐	Title Plan ☒	Plan of Subdivision ☒
Plan Number:	203421K		

Option B:

Crown Allotment Number:	
Section Number:	
Parish/Township Name:	

Section 2: PERMIT APPLICANT

Name:
Business:
Postal Address:
Telephone No. (H)
Email Address:

Section 3: OWNER DETAILS (If different to the Applicant)

Name(s):					
Postal Address:				Postcode:	
Telephone No. (H)		(W)		(M)	
Email Address:					

Section 4: DEVELOPMENT COST - Estimated Cost of development for which the permit is required

\$4000

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DROUIN SERVICE CENTRE

RECEIVED BY..

DATE 20/2/26 TIME 1:00 PM

Section 5: PROPOSAL You must give full details of the proposal being applied for. Insufficient or unclear information will delay your application.

For what use, development or other matter do you require a permit?

Development:

☐ Advertising Signage	☐ Development of 2 or more dwellings Qty:
☒ Agricultural Outbuildings	☐ Mixed Use Development and Reduction of Carparking
☐ Buildings and Works and Reduction in Carparking	☐ Residential Outbuildings
☐ Commercial or Industrial Buildings and Works	☐ Single Dwelling
☐ Extension / Alteration to Dwelling	☐ Telecommunications

Use:

☐ Buildings and Works and Change of Use	☒ Home Based Business
☐ Change of Use	☐ Sale and Consumption of Liquor
☐ Change of Use and Single Dwelling	

Subdivision:

☐ Boundary Realignment	☐ 3 or more Lot Subdivision Qty:
☐ Variation/ Removal of Restriction	☐ Create an easement
☐ 2 Lot Subdivision	☐ 100 or more Lot Subdivision Qty:

Subdivision / Vegetation Removal:

☐ Native Vegetation Removal or Lopping	☐ Non Native Vegetation Removal or Lopping (ESO4)
☐ Subdivision Qty:	☐ Alteration of access RDZ1

Other:

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, Section 173 agreement or other obligation such as an easement or building envelope?

☐ Yes ☒ No ☐ Not Applicable (no such covenant, section 173 agreement or restriction applies)

If yes, you should contact Council for advice as to how to proceed with the application.

FURTHER DETAILS OF PROPOSAL (optional)

Attached

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Section 6: EXISTING CONDITIONS Describe how the land is used and developed now.

Provide a plan of the existing conditions. Photos are also helpful.

Attached site plan

Section 7: PRE-APPLICATION MEETING Has there been a Pre-Application meeting with a Council Planning Officer?

No ☐	
Yes ☒	If yes, with whom? _____
Date of this meeting	10 Feb 26

Section 8: DECLARATION This form must be signed. ** PLEASE COMPLETE EITHER box A or B

A. I declare that I am the Applicant and owner of this land and that all information given is true and correct.	Owner/ Applicant signature: _____	Date: 20/feb/26
B. I/We the Applicant declare that I/We have notified the owner about this application and that all information given is true and correct.	Applicant Signature: _____	Date: _____

CHECK LIST Please ensure you have included the following items with your application form. *Failure to provide all the information above may result in a delay in the processing of the application.*

- ☐ A fully completed and signed copy of this form.

- ☐ Most applications require a fee to be paid. *Please make payment at time of lodgement if submitting at Councils Customer Service Centre or submitting through our on-line portal. If emailing your application, a payment link will be sent to your nominated email once registered on the system.*
Contact Council to determine the appropriate fee.

- ☐ Full and current copy of title and title plan (no older than 60 days) for each individual parcel of land forming the subject site. The title includes: the covering register search statement, the title plan and the associated title documents (known as instruments).

- ☐ Provided plans showing the layout and details of the proposal

- ☐ Provided any information required by the planning scheme, requested by Council

- ☐ Provided a description of the likely effect of the proposal (if required)

- ☐ Completed the declaration in Section 8

- ☐ Provided a contact phone number and e-mail address

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PLEASE FORWARD THIS APPLICATION TO

E-mail:	planning@bawbawshire.vic.gov.au	Mail:	Planning Department, Baw Baw Shire Council PO Box 304 Warragul VIC 3820
Phone:	5624 2411		
In Person:	Customer Service Centre: 33 Young Street Drouin		

The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application.

These third parties generally include, but are not limited to:

Transport Infrastructure Agencies such as VicRoads and VLine

Energy/Utilities Providers

Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

All information collected and held by Council is managed in accordance with Councils Privacy Policy which is available on our website. If you choose not to supply the requested information it may impair the ability of Council to consider your application or prevent Council from communicating with you in relation to your application.

If you have any concerns or require access to the information held by Council, please contact us on 5624 2411.

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Proposal for Professional Canine Breeding Program.

84 Rulemount Rd Warragul

Date: 18 January 2026

I am writing to formally submit a proposal regarding my intention to maintain a small-scale, professional dog breeding program at my property. My goal is to house and care for up to 5 for the purpose of ethical breeding of Whippets.

Professional Standards & Facilities

I am committed to maintaining a high standard of care that meets local requirements. To ensure the well-being of the animals and the peace of the neighbourhood, I plan to implement the following:

Management of Noise and Nuisance

I recognise that noise is a priority for the Warragul community. To ensure zero impact on neighbours:

- **Night-time Housing:** All dogs will be housed in a climate-controlled indoor facility with sound insulation between 9:00 PM and 7:00 AM.

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Separation: All kennel facilities will be located approximately 80-100 meters from the nearest neighbour's dwelling to minimise any potential noise or visual impact.

Property Suitability & Zoning

Our property is situated within the Low Density Residential Zone, offering 5103m² of space. This size provides an ideal buffer between the animal housing and neighbouring residences.

Our property was previously accepted and approved for an excess animal breeding permit by the previous home owners- code PLA0105/17

- **Waste Management:** I have a strict daily sanitation schedule. Waste will be collected twice daily and disposed of via a professional waste removal service to ensure zero impact on odours or local drainage.
- **Exercise & Supervision:** The dogs will have access to a secure, fenced outdoor area for exercise.

Ethical Commitment

This breeding program is centred on the health and temperament of our Dogs

- **Health:** All dogs are under the regular care and for 24 hr emergency care of Warragul Vet phone 56232525 and are up to date on all vaccinations and health screenings.

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- **Compliance:** I intend to comply with requirements and welcome regular inspections to ensure my facility meets all health and safety codes. I am currently members of Responsible Pet Breeding Association organisation and also currently registered on Pet Exchange register Number

Record Keeping: Full health, breeding, and sales records will be maintained on-site and made available for Council inspection at any time.

Community Impact

I value our community and have designed this program to be as unobtrusive as possible, I have also attached neighbour support letter to reflect this. (Previously given to planning department 3 neighbour signed support letters)

I am dedicated to being a responsible neighbour and a high-quality breeder. I am happy to discuss any concerns you may have.

Thank you for your time and for considering my proposal.

Sincerely,

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	TOTAL SITE AREA	5000m ²
	BUILDING AREA	444.00m ²
	CONCRETE AREA	0.0m ²
	GARDEN AREA	4556m ²

PLANNING ZONE: LOW DENSITY RESIDENTIAL
MUNICIPALITY: BAW BAW
PLANNING OVERLAYS: DCPO1

MIN. GARDEN AREA (32.08-4)
LOT SIZE ABOVE 650sqm = 35% REQUIRED. >35% PROVIDED
STREET SETBACK (54.03-1)
FRONT SETBACK IS EXISTING, NOT ALTERED

BUILDING HEIGHT OBJECTIVE (54.03-2)
MAX. BUILDING HEIGHT SHOULD NOT EXCEED 9m
TOTAL PROPOSED BUILDING HEIGHT: 3.0m (COMPLIES)

SITE COVERAGE OBJECTIVE (54.03-3)
BUILDING COVERAGE SHOULD NOT EXCEED 60% OF SITE
PROPOSED BUILDING COVERAGE: 9% (COMPLIES)

PERMEABILITY OBJECTIVE (54.03-4)
20% OF LOT MUST BE COVERED IN PAVEMENT SURFACES
PROPOSED PERMEABILITY: 91% (COMPLIES)

SIDE & REAR SETBACKS (54.04-1)
NEW BUILDING NOT ON OR WITHIN 200mm OF A
BOUNDARY MUST BE 1m MIN. FROM BOUNDARY
(COMPLIES)

WALLS ON BOUNDARIES (54.04-2)
NEW WALL ON OR WITHIN 200mm OF BOUNDARY MUST
NOT EXCEED: 10m + 25% OF THE REMAINING LENGTH OF
THE BOUNDARY OF THE ADJOINING LOT.

NO WALL ON BOUNDARY PROPOSED

DAYLIGHT TO EXISTING WINDOWS (54.04-3)
ADEQUATE DAYLIGHT TO ALL HABITABLE WINDOWS
(COMPLIES)

NORTH-FACING WINDOWS (54.04-4)
NEW LIVING WINDOWS FACE NORTH (COMPLIES)

OVERSHADOWING OPEN SPACE (54.04-5)
NO NEIGHBOURING DWELLINGS WITHIN 10m OF
PROPOSED WORKS

OVERLOOKING OBJECTIVE (54.04-6)
9m RADIUS OVERLOOKING AS SHOWN: -
(COMPLIES)

DAYLIGHT TO NEW WINDOWS (54.05-1)
ADEQUATE LIGHT PROVIDED TO NEW HABITABLE
WINDOWS (COMPLIES)

PRIVATE OPEN SPACE OBJECTIVE (54.05-2)
20% OF LOT OR 80sqm REQUIRED (WHICHEVER IS LESSER)
P.O.S AREA REQUIRED. - COMPLIES

SOLAR ACCESS TO OPEN SPACE (54.05-3)
 POS SHOULD BE LOCATED ON THE NORTH SIDE OF THE DWELLING WHERE POSSIBLE
 THE SOUTHERN BOUNDARY OF SECLUDED PRIVATE OPEN SPACE SHOULD BE SET BACK FROM ANY WALL ON THE NORTH OF THE SPACE AT LEAST (2 + 0.9H) METRES, WHERE 'H' IS THE HEIGHT OF THE WALL.
 (COMPLIES)

IMPORTANT NOTE:

UNDERGROUND SERVICES MAY NOT BE SHOWN OR BE ACCURATE. ALWAYS CONSULT 'DIAL BEFORE YOU DIG' PRIOR TO ANY EXCAVATION WORKS.

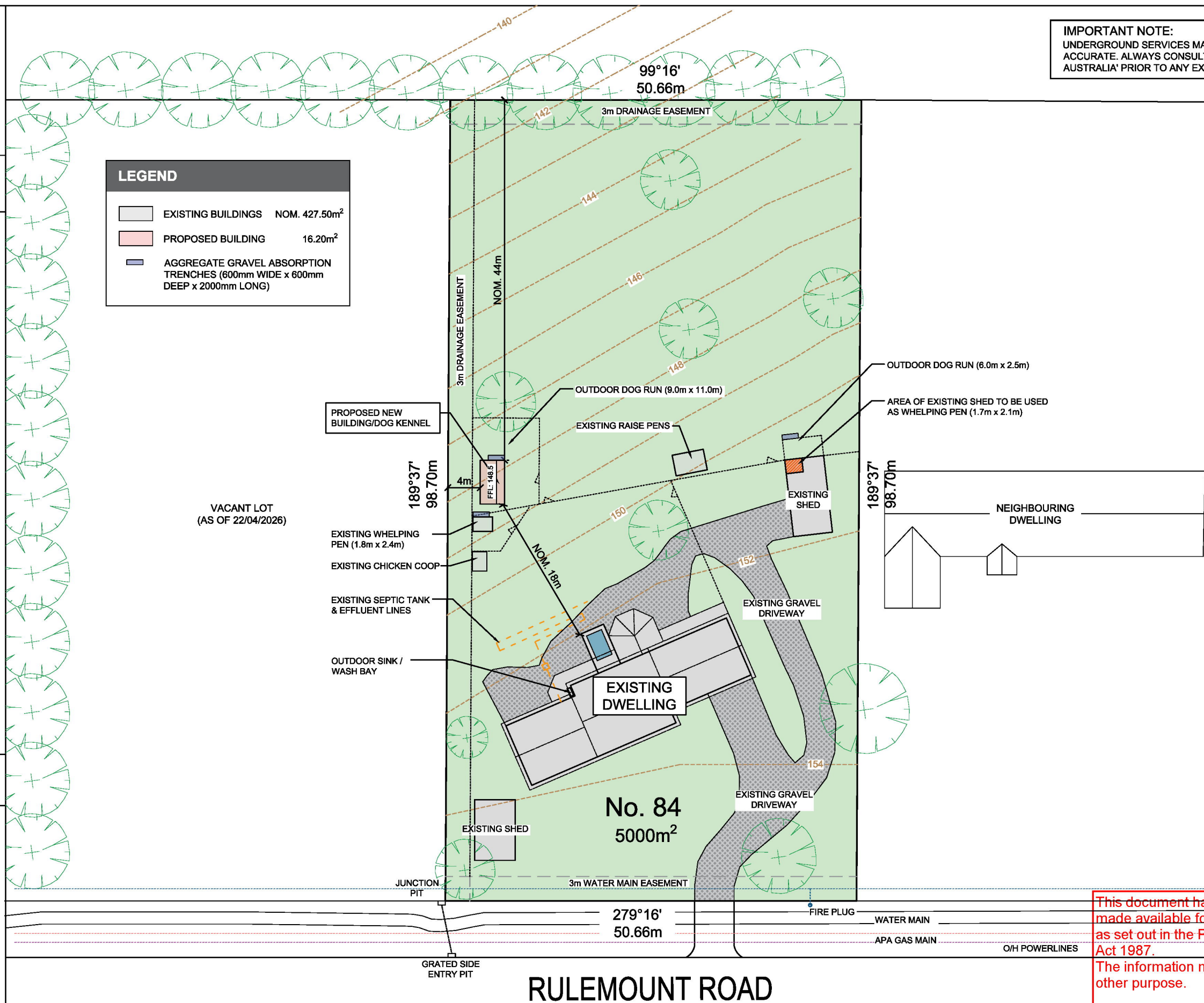
SITE LOCALITY:



BAL LEVEL:
PROPERTY IS NOT WITHIN A BUSHFIRE PRONE AREA

**PROPOSED DOG KENNELS AT:
84 RULEMOUNT ROAD, WARRAGUL
FOR:
SITE PLAN**

	EXISTING BUILDINGS	NOM. 427.50m ²
	PROPOSED BUILDING	16.20m ²
	AGGREGATE GRAVEL ABSORPTION TRENCHES (600mm WIDE x 600mm DEEP x 2000mm LONG)	



IMPORTANT NOTE:
UNDERGROUND SERVICES MAY NOT BE SHOWN OR BE
ACCURATE. ALWAYS CONSULT 'BEFORE YOU DIG
AUSTRALIA' PRIOR TO ANY EXCAVATION WORKS.

Advertised

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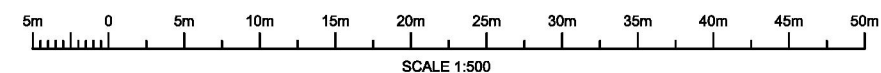
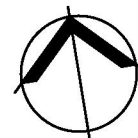
01

RENU Energy & Design

PH: 0407 329 814 EMAIL: renu_energy@outlook.com

FOR PLANNING

NO.	REVISION:	DATE:	DRAWN:
P1	ISSUED FOR PLANNING APPROVAL	15/05/2026	DATE: 11/04/2026
P2	RE-ISSUED FOR PLANNING APPROVAL	02/09/2026	SHEET: 1 OF 2

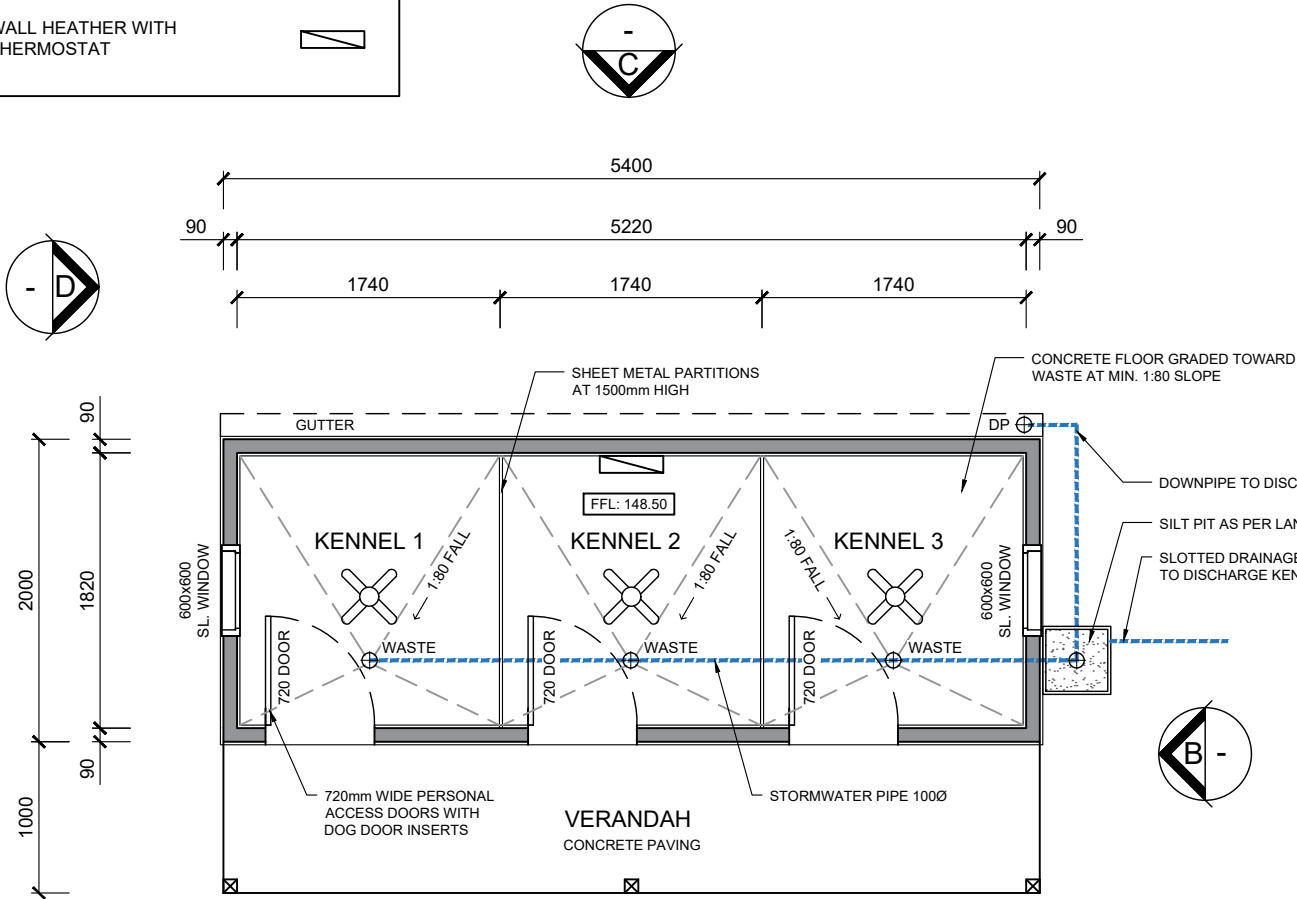


A3 SIZE SHEET

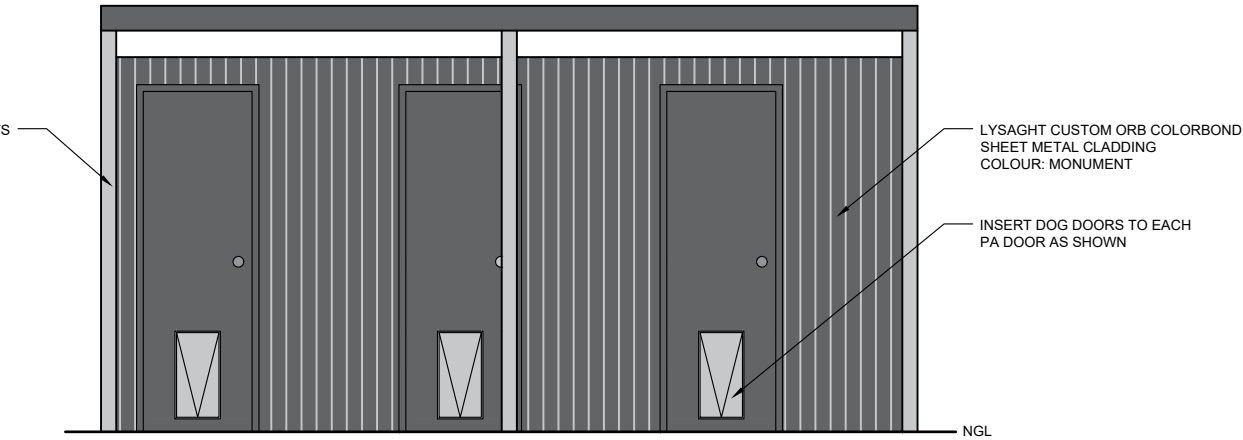
1:500 SCALE

AREA ANALYSIS	
KENNEL AREA	10.80m²
VERANDAH	5.40m²
TOTAL AREA	16.20m²
TOTAL SQ	1.74sq
LEGEND	
NEW TIMBER FRAME WALL 90mm STUD FRAME	
ALUMINIUM SLIDING WINDOW	
WALL HEATHER WITH THERMOSTAT	

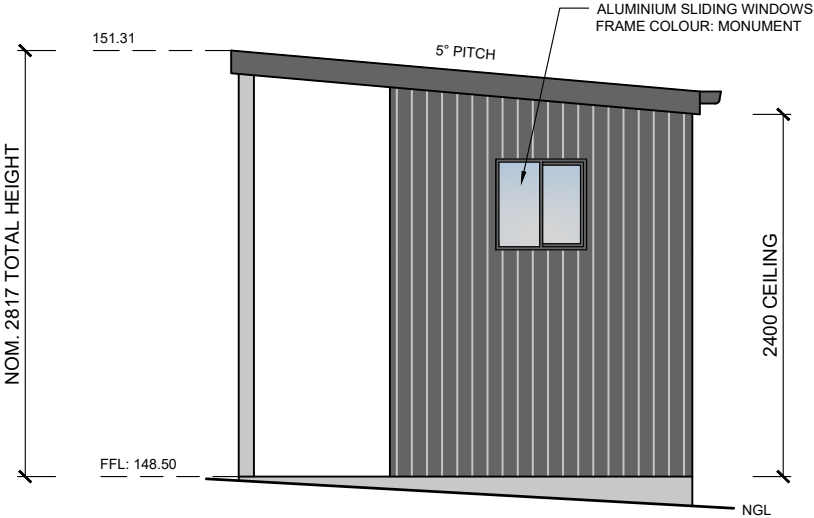
Advertised



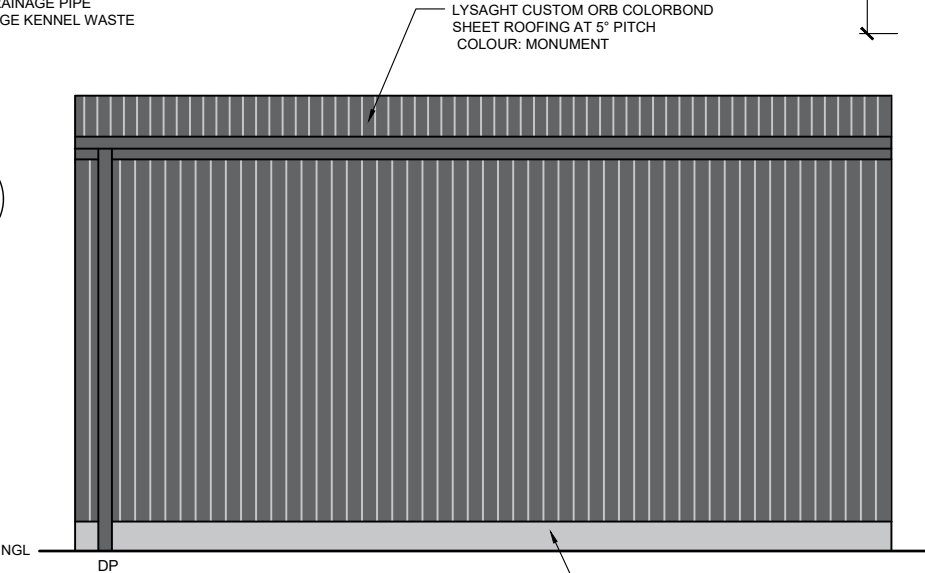
FLOOR PLAN
1:50 SCALE



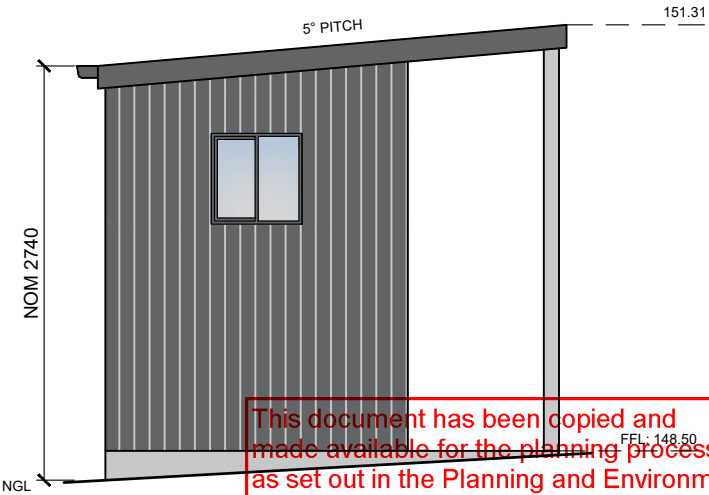
ELEVATION A
EAST



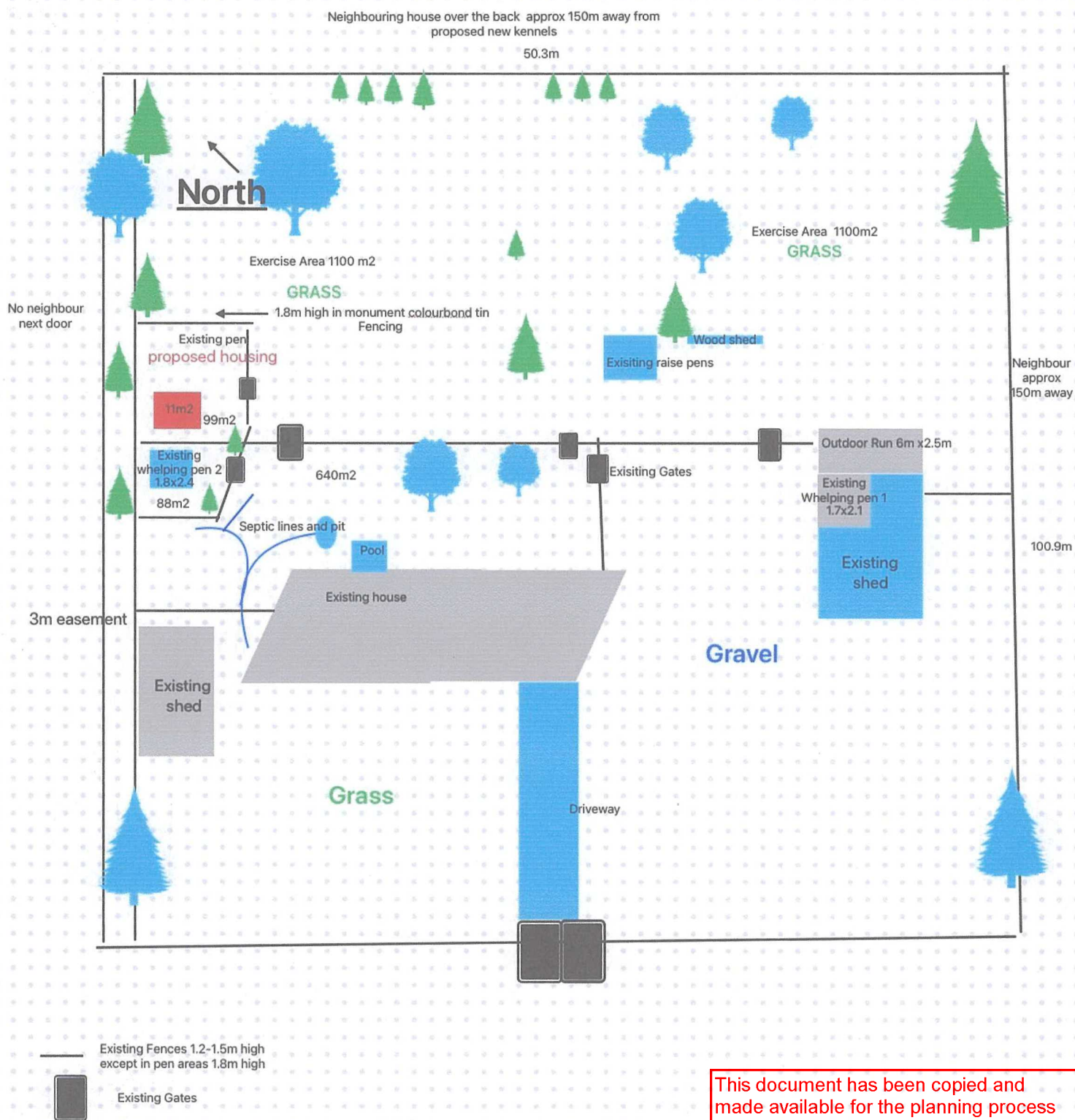
ELEVATION B
NORTH



ELEVATION C
WEST

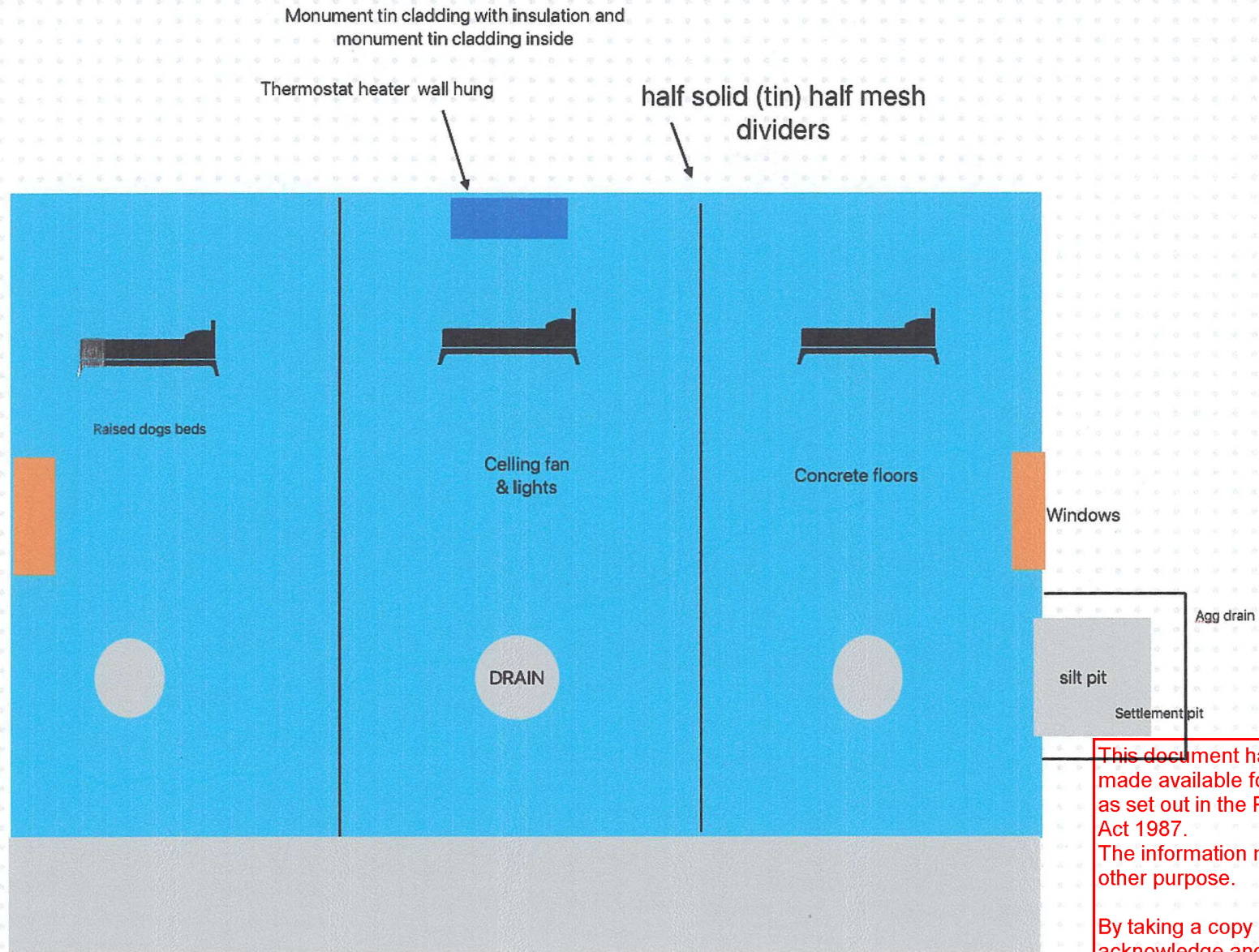


ELEVATION D
SOUTH



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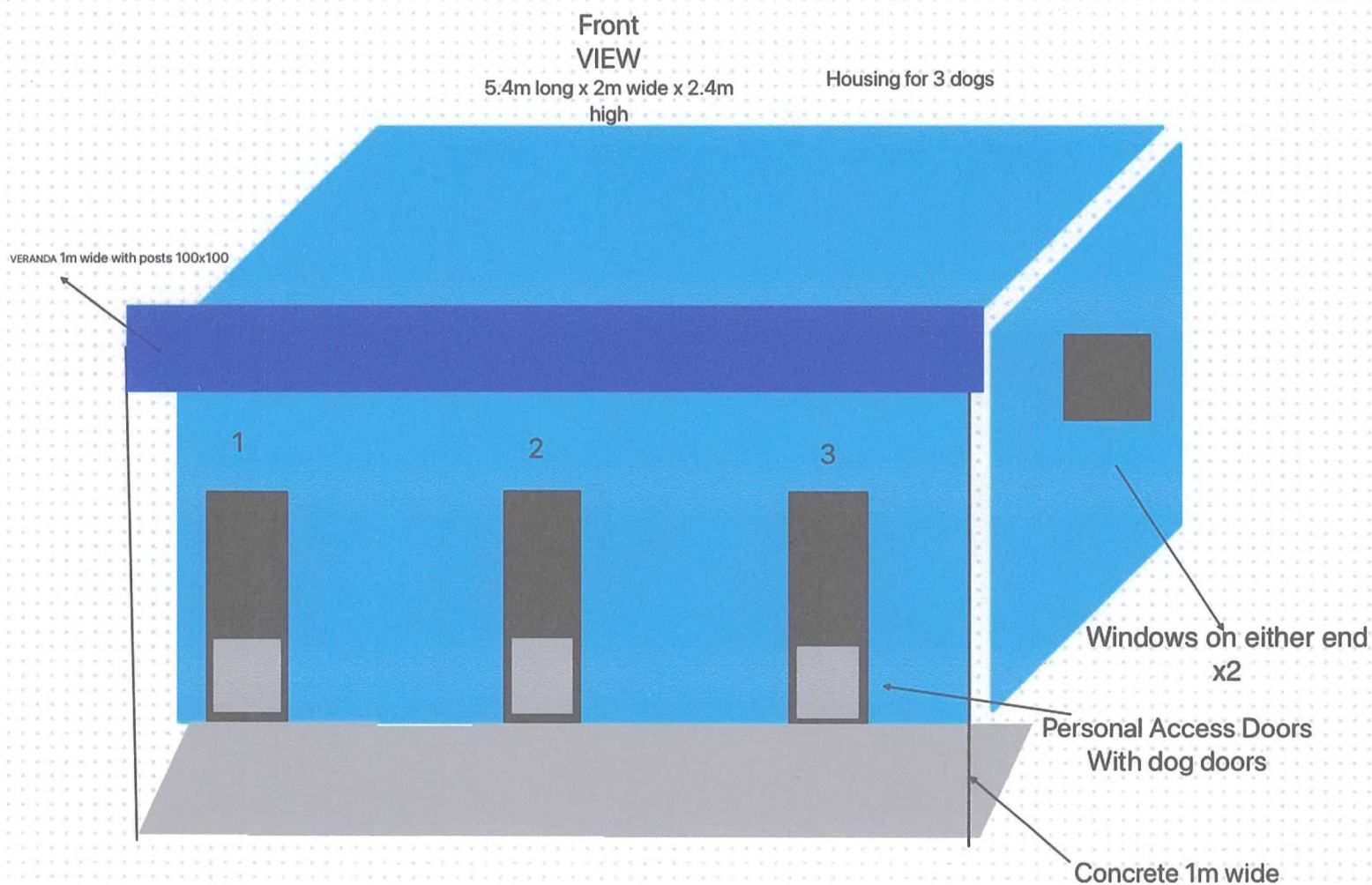
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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 09676 FOLIO 677

Security no : 124131655533N
Produced 28/01/2026 08:25 AM

LAND DESCRIPTION

Lot 10 on Plan of Subdivision 203421K.
PARENT TITLES :
Volume 09557 Folio 326 to Volume 09557 Folio 327
Volume 09640 Folio 040
Created by instrument LP203421K 08/05/1986

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP203421K FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 84 RULEMOUNT ROAD WARRAGUL VIC 3820

ADMINISTRATIVE NOTICES

NIL

eCT Control 16165A AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED
Effective from 25/09/2023

DOCUMENT END

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Number of Pages (excluding this cover sheet)	1
Document Assembled	28/01/2026 08:42

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LP 203421K

EDITION 2

LIST OF MODIFICATIONS

LAND	MODIFICATION	DEALING No.	ART	NEW EDN.
E-2 & E-3	CREATION OF EASEMENT	N 614683Y	✓	2
E-4	CREATION OF EASEMENT	N 816793J	✓	2
E-5	CREATION OF EASEMENT	N 816794F	✓	2
E-6	CREATION OF EASEMENT	N 816795C	✓	2
E-7	CREATION OF EASEMENT	N 816796Y	✓	2
E-8	CREATION OF EASEMENT	N 841209Q	✓	2

PLAN OF SUBDIVISION OF
PART OF CROWN ALLOTMENTS 102 & 103
PARISH OF DROUIN EAST
COUNTY OF BULN BULN

20 0 20 40 60 80 100
LENGTHS ARE IN METRES

VOL 9557 FOL 325.
VOL 9557 FOL 327.
VOL 9640 FOL 040.

APPROVED 8/5/86

APPROPRIATIONS

BLUE - DRAINAGE & SEWERAGE
BROWN - WAY, DRAINAGE & SEWERAGE

COLOUR CONVERSION

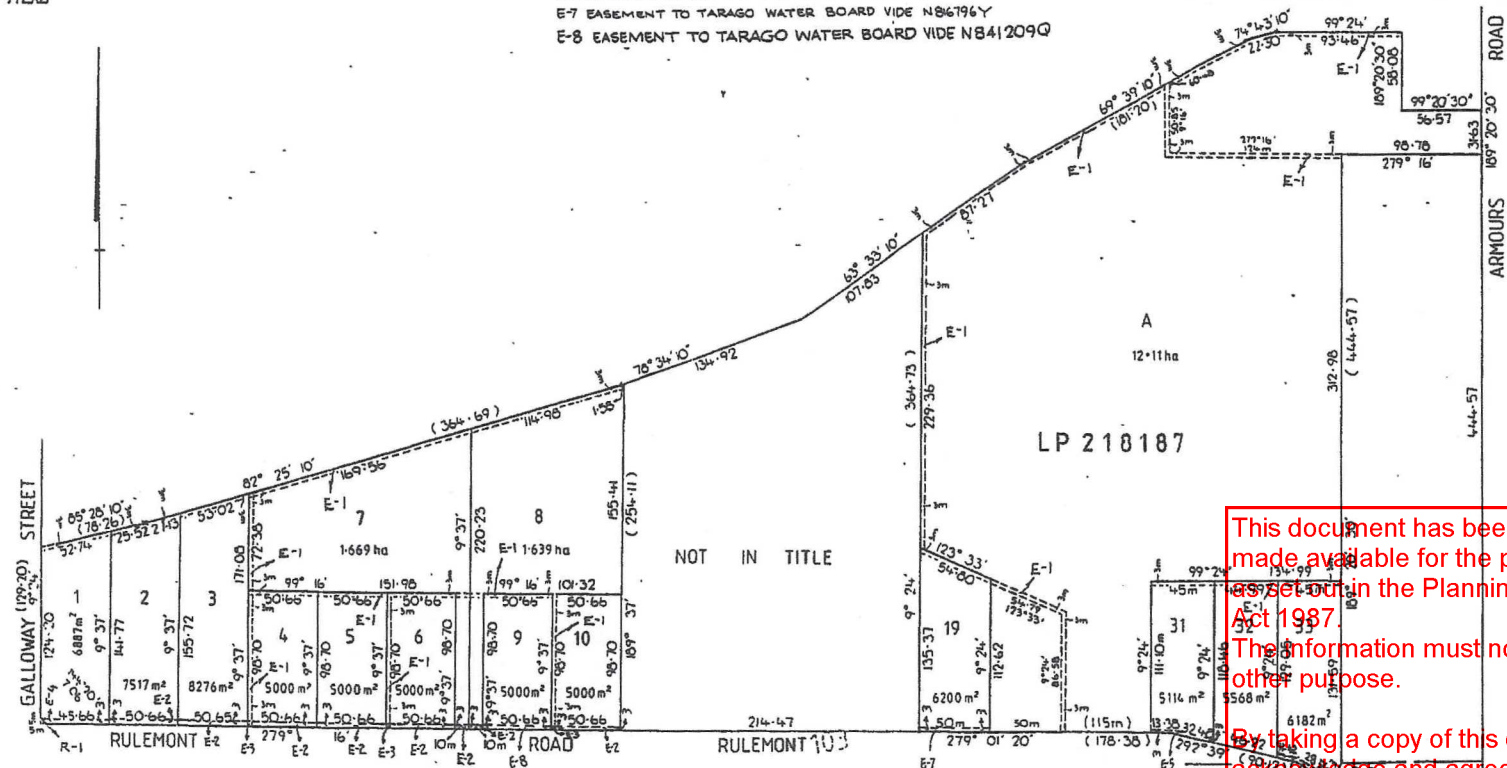
BLUE - E-1 & E-3
BROWN - R-1

ENCUMBRANCES ETC

PART OF LAND BLUE FURTHER ENCUMBERED FOR DRAINAGE & SEWERAGE VIDE LP200707G, LOTS 11 TO 18 (BOTH INCLUSIVE) AND LOTS 20 TO 30 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.

LAND SUBJECT TO EASEMENT

E-2 & E-3 EASEMENT TO TARAGO WATER BOARD VIDE N614683Y
E-4 EASEMENT TO TARAGO WATER BOARD VIDE N816793J
E-5 EASEMENT TO TARAGO WATER BOARD VIDE N816794F
E-6 EASEMENT TO TARAGO WATER BOARD VIDE N816795C
E-7 EASEMENT TO TARAGO WATER BOARD VIDE N816796Y
E-8 EASEMENT TO TARAGO WATER BOARD VIDE N841209Q



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CERTIFICATE OF RECOGNITION

PROBATIONARY MEMBERSHIP WITH THE RESPONSIBLE PET BREEDERS AUSTRALIA (RPBA)

This member is in compliance with the RPBA Code of Ethics and Standards. This membership's on a probationary term and has not yet been audited by a licensed veterinarian.

MEMBER NUMBER



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30/01/2026 - 30/04/2026
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VERIFY BREEDER HERE

Section: Drainage & Waste Water Management

System Design:

All wash-down water from the kennel and whelping areas will be managed through a closed-loop drainage system designed to prevent environmental runoff and soil contamination.

Process:

1. **Silt and Hair Interception:** All floor drains are fitted with a secondary mesh screen and lead directly into a 40L Silt Trap. This trap is designed to catch dog hair, grit, and solid organic matter before liquid enters the primary drainage line.
2. **Settlement Tank:** The liquid then flows into a dedicated settlement tank where any remaining fine particles settle to the bottom.
3. **Disposal via Absorption Trench:** The grey-water output is directed via a non-perforated pipe to a dedicated sub-surface absorption trench located from the kennel building.
4. **Environmental Safeguards:** The absorption trench is located more than 100m from any natural waterways or dams on the property.
5. • Only biodegradable, septic-safe disinfectants (e.g., F10 or similar) will be used to ensure the soil microbiology and ground health are maintained.
6. • The silt trap will be manually cleared weekly, with captured solids disposed of via sealed dry-waste bin system.

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Waste Management & Hygiene Policy:

1. Objective

To maintain a high standard of hygiene and biosecurity, ensure the health and welfare of all dogs and puppies, and prevent any adverse impact on the environment or neighboring properties (odor, noise, or runoff).

2. Faecal Matter Collection & Storage

- **Frequency:** All sleeping, whelping, and exercise areas will be inspected and cleared of faecal matter a minimum of **twice daily**.
- **Collection:** Waste will be collected using dedicated, non-porous scoops and placed into heavy-duty, leak-proof bags.
- **Storage:** Bags will be placed in a designated **weather-proof, vermin-proof, and sealed bin** located away from boundary fences and residential dwellings to minimize odor.

3. Cleaning and Sanitization

- **Hard Surfaces:** Concrete runs and whelping areas will be hosed down daily following waste collection.
- **Disinfection:** A veterinary-grade disinfectant (e.g., F10 or equivalent) will be applied to all hard surfaces daily to eliminate pathogens (including Parvovirus and Giardia).
- **Drying:** Areas will be squeegeed or allowed to dry completely before dogs are returned to the enclosure to prevent "wet-paw" dermatitis or slipping.

4. Drainage and Environmental Protection

- **Runoff Management:** All wash-down water is directed toward [insert choice: a dedicated septic system / a silt trap and settlement tank / an approved sewer connection].
- **Stormwater Protection:** No waste-contaminated water will be permitted to enter the municipal stormwater system or natural waterways.
- **Grass Areas:** Exercise yards on grass will be rotated to prevent soil saturation and allow for natural UV sterilization.

5. Disposal Protocol

- **Off-site Removal:** Waste will be removed from the property every 7 days via Council-approved domestic waste collection
- **Whelping Waste:** Biological waste from whelping (placental tissue, etc.) will be double-bagged and disposed of immediately in accordance with health regulations.

6. Pest and Odor Control

- **Fly Control:** Fly traps will be maintained around the waste storage area and changed monthly.
- **Odor Neutralization:** If necessary, an animal-safe odor neutralizer will be used on porous surfaces during high-temperature months to ensure no "offensive odor" reaches neighboring properties.

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Daily Kennel Hygiene & Waste Log

Date: _____ Attendant Initials: _____

1. Waste Removal (AM)

- ☐ **Faecal Matter:** All pens, whelping areas, and exercise yards cleared.
- ☐ **Waste Disposal:** All waste double-bagged and placed in the sealed external bin.
- ☐ **Odour Check:** No lingering smells in puppy or common areas.

2. Sanitization & Cleaning

- ☐ **Water Bowls:** Scrubbed with detergent and refilled with fresh water.
- ☐ **Hard Surfaces:** Floors/walls hosed down and scrubbed with [Insert Disinfectant Name].
- ☐ **Bedding:** Soiled bedding removed and replaced with clean, dry materials.
- ☐ **Drainage:** All drains checked for blockages and cleared of hair/debris.

3. Biosecurity & Pest Control

- ☐ **Foot Bath:** Disinfectant at entry points checked and refreshed if dirty.
- ☐ **Fly/Vermin:** Traps checked and area inspected for signs of pests.
- ☐ **Ventilation:** Airflow checked to ensure no dampness or ammonia buildup.

4. Waste Removal (PM)

- ☐ **Spot Clean:** All areas re-checked for waste before overnight period.
- ☐ **Final Walk-through:** All gates secured and waste bins tightly sealed.

Weekly Maintenance (Every [Day of Week])

- ☐ **Deep Clean:** Full scrub of all crates, travel carriers, and grooming tools.
- ☐ **Waste Collection:** External bins emptied by [Contractor Name/Council].
- ☐ **Supplies Check:** Restock disinfectant, gloves, and waste bags.

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Exercise, Environmental Enrichment & Socialisation Plan

1. Daily Exercise Schedule

All adult dogs will receive a minimum of **two 30-minute periods** of exercise daily, outside of their primary sleeping enclosures.

- **Location:** Exercise will take place in the securely fenced grassed area located at the rear of the property.
- **Activities:** This includes off-leash play, fetch, and controlled walking.
- **Supervision:** All exercise periods are supervised to ensure dog compatibility and safety.

2. Socialisation Protocols

- **Adult Dogs:** Dogs are exercised in compatible social groups (where appropriate) to maintain social skills.
- **Puppy Socialisation (3–8 Weeks):** Puppies are introduced to various stimuli to ensure sound temperament. This includes:
 - **Tactile:** Different surfaces (grass, concrete, gravel, carpet).
 - **Auditory:** Exposure to household noises (vacuum, radio, thunder recordings).
 - **Human Interaction:** Daily handling by different people and gentle grooming sessions.

3. Environmental Enrichment

To prevent boredom and stereotypic behaviors (like barking or spinning), we provide:

- **Occupational:** Food-dispensing toys (e.g., KONGs), lick mats, and safe chew toys.
- **Sensory:** Rotating toys weekly to maintain interest.
- **Social:** Dedicated "human-time" sessions for each dog daily.

4. Record Keeping

All exercise and socialisation activities are recorded

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Strict Hygiene Protocols in Place

To protect the health and welfare of our dogs and puppies, all visitors must comply with the following entry requirements:

- **By Appointment Only:** No unauthorized entry. Please call upon arrival.
- **Health Declaration:** You must not enter if you have been in contact with dogs showing signs of illness (coughing, diarrhea, or vomiting) in the last 48 hours.
- **Hand Sanitization:** Hands must be sanitized before and after handling any animals.
- **Restricted Areas:** Please remain in designated visitor zones. Do not enter whelping rooms or exercise yards unless accompanied by staff.

Thank you for helping us keep our puppies safe and healthy.

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F10 SC Technical Profile

- **APVMA Approval No:** 59720 (Registered for use in Australia).
- **Active Ingredients:** Quaternary Ammonium and Biguanide compounds.
- **pH Level:** 7.5 (Non-corrosive and near-neutral, making it safe for most surfaces).
- **Biodegradability:** Rated "Zero Hazard" by EU Ecological standards at working dilutions, making it **fully septic-safe**.

Dilution Reference

Target Pathogen	Dilution Rate	Contact time	Notes
General Cleaning	2ml per 1L	5 Minutes	Daily mopping, walls and benches
Fungi & most Virus	4ml per 1L	15 Minutes	Common in kennels and play area
Parvovirus/ Spores	10ml per 1L	30 Minutes	Required for whelping and Quarantine

First Aid Quick-View

- **If in Eyes:** Flush continuously with water for at least 15 minutes. Seek medical attention if irritation persists.
- **If Swallowed:** Do not induce vomiting. Wash mouth with water and give a glass of milk or water to drink.
- **If on Skin:** Wash with soap and water. F10 is generally non-irritating to skin at working dilutions, but the concentrate should be handled with gloves.

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Job No: N24670
Date 30 June 2026

RE: Desktop Acoustic Consultation for Dog Breeding Facility

On 17 June 2026, JTA Health, Safety & Noise Specialists undertook a desktop assessment of the environmental noise from a proposed dog breeding facility located at 84 Rulemount Rd Warragul.

The proposed site is located in a Low Density Residential Zone (LDRZ) on the outskirts of Warragul. The site is approximately 50.7 m wide x 98.7m deep. The zoning plan for the area is shown in Figure 1.

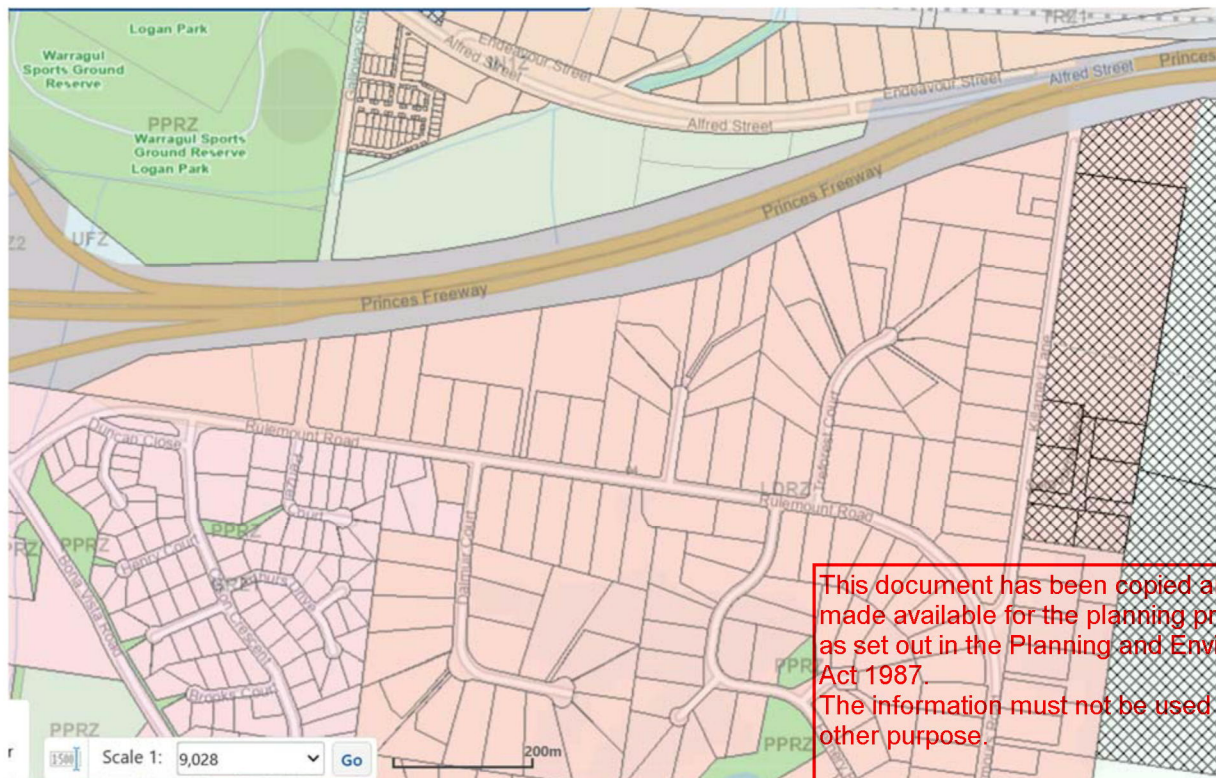
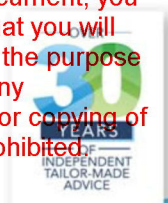


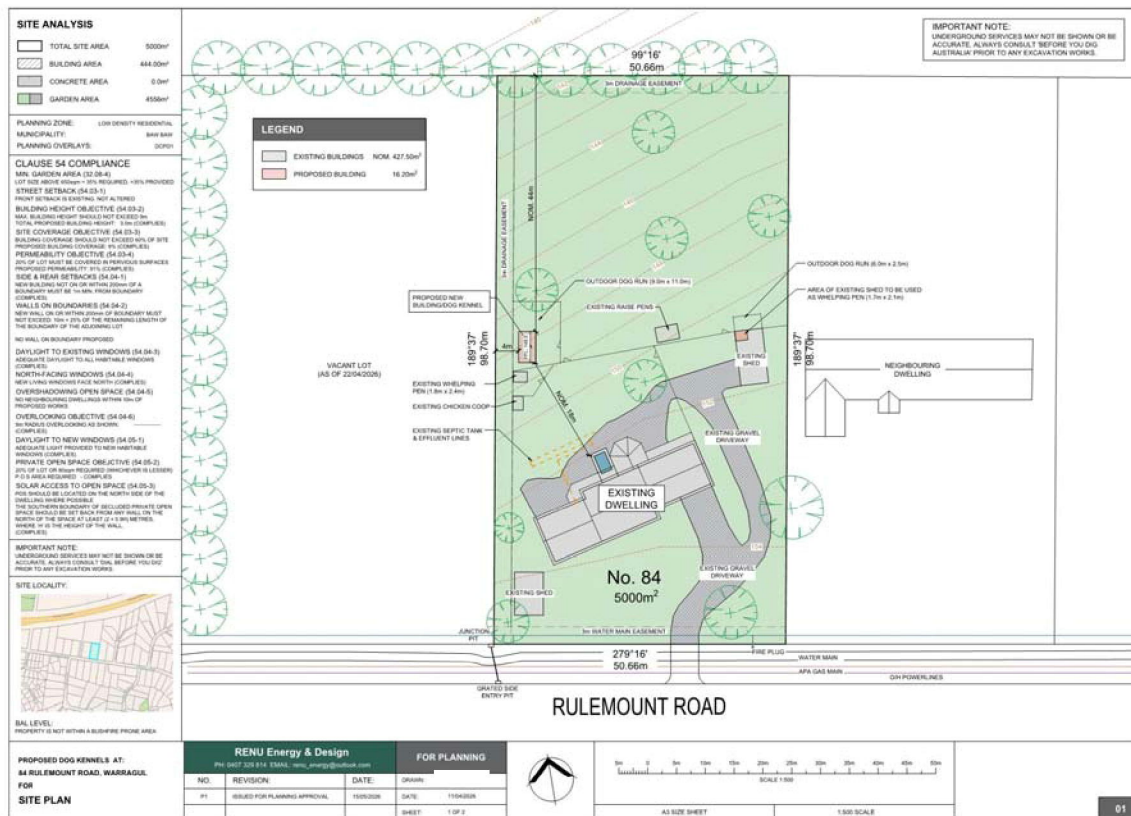
Figure 1 Zoning Plan for Rulemount Rd Warragul

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It is proposed to build three new kennels on the western side of the property, and convert a corner of the shed on the eastern side of the property into a whelping facility. The proposed layout of the proposal and the proximity to the neighbouring property is shown in Figure 2.



The neighbouring residence is approximately 50m from the proposed new kennel facility and 10m from the proposed whelping pen.

Noise Criteria

The proposed development and the nearest Noise Sensitive Receiver are both located in a Low Density Residential Zone (LDRZ). The noise zone levels, taken from the EPA Noise limit assessment protocol for the control of noise from commercial, industrial and trade premises and entertainment venues are presented in Table 1.

Table 1 Noise Zone Levels	
Time Period	Level dB(A)
Day	45
Evening	39
Night	34

Noise Level Predictions

The kennels will have a concrete floor and sandwich panel walls (corrugated sheet steel either side of a polystyrene panel). The roof is metal sheet and is assumed to have 50mm rockwool batts on the inside.

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Sound power levels for dogs barking were taken from Harwood Acoustics Report 2504003E-R, Environmental Noise Assessment Dog Boarding Facility, Appendix A. The data for a single dog barking is given in Table 2.

Table 2 Sound Power Levels for Dogs Barking									
Description	Octave Band Centre Frequencies								dB(A)
	63	125	250	500	1000	2000	4000	8000	
Leq15min	59	59	63	83	76	71	67	62	82

For dogs barking outside in the run on the western side of the property the level of noise emission at the noise sensitive receiver was calculated from the formula:

$$Leq = Lw + Dc - A$$

Where:

- Lw is the sound power of the source
- Dc is directivity correction; and
- A is the propagation attenuation

For this analysis the A term was limited to distance loss, and atmospheric absorption, and ground absorption were assumed zero.

For the dogs barking within the kennel buildings the level of noise emission was calculated from the formula:

$$Lp2 = Lp1 - Rw + 10 \log s - 20 \log r - 14 + DI$$

Where:

- Lp2 is the predicted level at the noise sensitive receiver
- Lp1 is the internal noise level
- Rw is the weighted sound transmission loss of the building elements
- S is the area of the building element
- R is the distance to the receiver
- DI is the Directivity Index of the façade

For the analysis it was assumed that dogs were exercised individually in the western exercise area, during the daytime period only. There were three dogs in the kennels during the evening and night periods, either in the western kennel area, or 2 in the western kennel and 1 in the whelping kennel.

The results for the analysis are shown in Table 3.

Table 3 Predicted Noise Levels					
Description	Calculated Level	Intermittency adjustment ¹	Adjusted Level	Target Level	Complies
Daytime, single dog in exercise pen	40	3	43	45	Yes
Nighttime, 3 dogs in western kennel	30	5	35	35	Yes
Daytime, single dog in whelping yard	50	3	53	45	NO
Nighttime, single dog in whelping kennel, 2 in western kennel	30	5	35	35	Yes

1 – taken from EPA Noise Protocol

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To achieve the nighttime and evening noise levels the required transmission loss of the walls and roof of the kennels are provided in Table 4.

Table 4 Required wall and roof transmission loss								
	Octave Band Centre Frequency							
	63	125	250	500	1000	2000	4000	8000
TL dB	10	12	17	30	38	45	50	50

As an example, the transmission loss values should be achieved from 16g steel with 50mm glassfibre covered by 22g perforated steel.)

Recommended Noise Controls

- Dogs are only exercised outside one at a time in the western exercise area during daylight hours,
- Dogs are not exercised outside in the run on the eastern side of the property
- The acoustic transmission loss of the construction elements meets the levels given in Table 4.
- The doors of the kennels be metal skinned with an absorbent core and have acoustic seals fitted

Conclusion

An assessment of the potential noise emission arising from a dog kennel facility at 84 Rulemount Rd Warragul was undertaken.

Calculations and predictions show that subject to the kennel construction meeting the required transmission loss values in Table 4, and the recommended noise controls above the noise emissions from the kennel facility will meet the requirements of the EPA Noise Protocol.

Should you have any queries regarding this matter, please contact me on 1300 856 282.

Yours faithfully

Acoustic Consultant

Reviewed by:

Senior Acoustic Consultant

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Statement of Limitations

JTA Health, Safety & Noise Specialists (JTA) have prepared this report for the exclusive use of the Client. Any opinions, conclusions or recommendations as are reasonably held or made by JTA as contained within this report apply only at the time of writing.

JTA shall make every reasonable effort to obtain a cost-effective result for the Client as outlined in the applicable scope of works and as agreed between JTA and the Client. While JTA has made every effort to provide an accurate and reliable report, we do not warrant the accuracy, reliability or completeness of this or any other report prepared by us and disclaim all responsibility for any loss or damage which may be suffered by any person or entity whether directly or indirectly from the Client's reliance upon or use of this or any other report prepared by JTA.

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Section: Drainage & Waste Water Management

System Design:

All wash-down water (Approx 20 litres per day) from the kennel and whelping areas will be managed through a closed-loop drainage system designed to prevent environmental runoff and soil contamination.

Process:

All solid waste material will be scooped up bagged and place in appropriate bin. (Approx 2-3litres of solids per day.)

1. Silt and Hair Interception: All floor drains are fitted with a secondary mesh screen and lead directly into a 40L Silt Trap. This trap is designed to catch dog hair, grit, and solid organic matter before liquid enters the primary drainage line.
2. Settlement Tank: The liquid then flows into a dedicated settlement tank where any remaining fine particles settle to the bottom.
3. Disposal via Absorption Trench: The grey-water output is directed via a non-perforated pipe to a dedicated sub-surface absorption trench located from the kennel building.
4. Environmental Safeguards: The absorption trench is located more than 100m from any natural waterways or dams on the property.
5. • Only biodegradable, septic-safe disinfectants (e.g., F10 or similar) will be used to ensure the soil microbiology and ground health are maintained.
6. • The silt trap will be manually cleared weekly with captured solids disposed of via sealed dry-waste bin system.

****Absorption trenches will be 600mm wide x 600mm deep x 2m long.**

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WASH BAYS

Wash Bay for utensils and grooming is located outside the rear of the house, sink is connected to existing house septic tank, with hair inceptor. Photo attached.



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Septic Information Checklist On-Site Wastewater Disposal

Please note that this form MUST be completed by a licensed plumber or drainer and returned to Council within 30 days of receipt. If the Plumber/Drainer identifies any issues that may impact on the operation of the system, Council's Health Department will investigate the issue and may require the owner to carry out works.

Section 1. Property Details	
Property Address	84 Rulemount Rd Warragul
Property Owner	
System Permit No.	
If the system does not have a permit, fill in the below details	
Year of installation (if unknown, year of house construction)	1980
Tank Size	3200 (L)
No. of bedrooms	4
Spa	☐ ☒ (L)
System details	All waste septic system, 3200L septic tank with 90Lm of 7000mm W absorption drains
(Name, treatment distribution method)	Primary treatment type of and
Section 2. On-Site Wastewater System Details.	
Septic Tank	
Has the tank been desludged within the last three years	Yes ☒ No ☐
Date Desludged	4/8/26 Attach receipt of desludge
If tank has not been desludged, please note current usage conditions and estimate of when a desludge may be required. (I.e. Occupied by two people, last desludged 5 years ago, expect desludge needed within two years)	
Tank appears to be watertight and in good condition	Yes ☒ No ☐
Septic tank lids are intact and sufficiently sealed	Yes ☒ No ☐
If an effluent filter is present it is clear of debris	Yes ☒ No ☐
Aerated Wastewater Treatment Systems	
The system is functioning as designed	Yes ☐ No ☐
Maintenance contract and record of last maintenance check	Yes ☐ No ☐
Sand Filters	
The system is functioning as designed	Yes ☐ No ☐
Has the surface of the sandfilter been built over or damaged	Yes ☐ No ☐
Sand filter area is free from surface water runoff	Yes ☐ No ☐
Pump System and Alarms	
The pump is working as designed	Yes ☐ No ☐
The alarm is working as designed	Yes ☐ No ☐
Electrical components are sufficiently protected from moisture	Yes ☐ No ☐
Effluent Distribution System	
All effluent is contained within the property boundary	Yes ☐ No ☐
Has the area been built over or damaged	Yes ☐ No ☒
Area is free from surface water runoff	Yes ☒ No ☐
System is functioning as designed	Yes ☐ No ☐
Distribution pits adequately sealed, not damaged and working effectively	Yes ☐ No ☐

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Septic Information Checklist

On-Site Wastewater Disposal

Water Quality		
Biological Oxygen Demand is $\leq 20\text{mg/L}$ and Suspended Solid is $\leq 30\text{mg/L}$	Yes ☐	No ☐
Please attach results of last water quality test.		

Provide detail for any of the above questions answered "NO"

Recommended actions required to meet the current EPA Code of Practice and Australian / New Zealand Standard for on-site wastewater management
No Further action required, the existing system is working correctly and as designed.
The system is as per the original installed plans attached

Site Plan. Please complete a drawing of the site plan using the template on page 3.

Inspection Particulars.	
Date of Inspection	11/8/26
Plumber / Drainer Name	Company Name
Licence Number	Mobile Phone Number
Signature	Date

The information requested on this form is being collected by Council to ensure the on-site treatment system complies with

- 1. *Environment Protection Act 1970***
- 2. State Environment Protection Policy - Waters of Victoria 2003**
- 3. Baw Baw Shire Council Septic Permit to Use Conditions**

If this information is not collected and conditions of the permit are not complied with, a \$1,554 Infringement Notice can be issued under the *Environment Protection Act 1970*.

You can gain access to your information by contacting Council's Freedom of Information/Privacy Officer

This document has been made available for the planning and design purposes.

Please complete and return this form to:
Baw Baw Shire or
Health Office
PO Box 304 Warragul 3820

Email to health@bawbawshire.vic.gov.au

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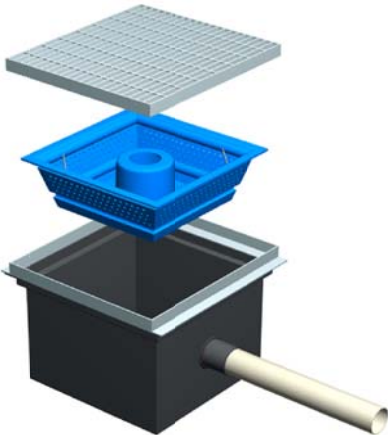
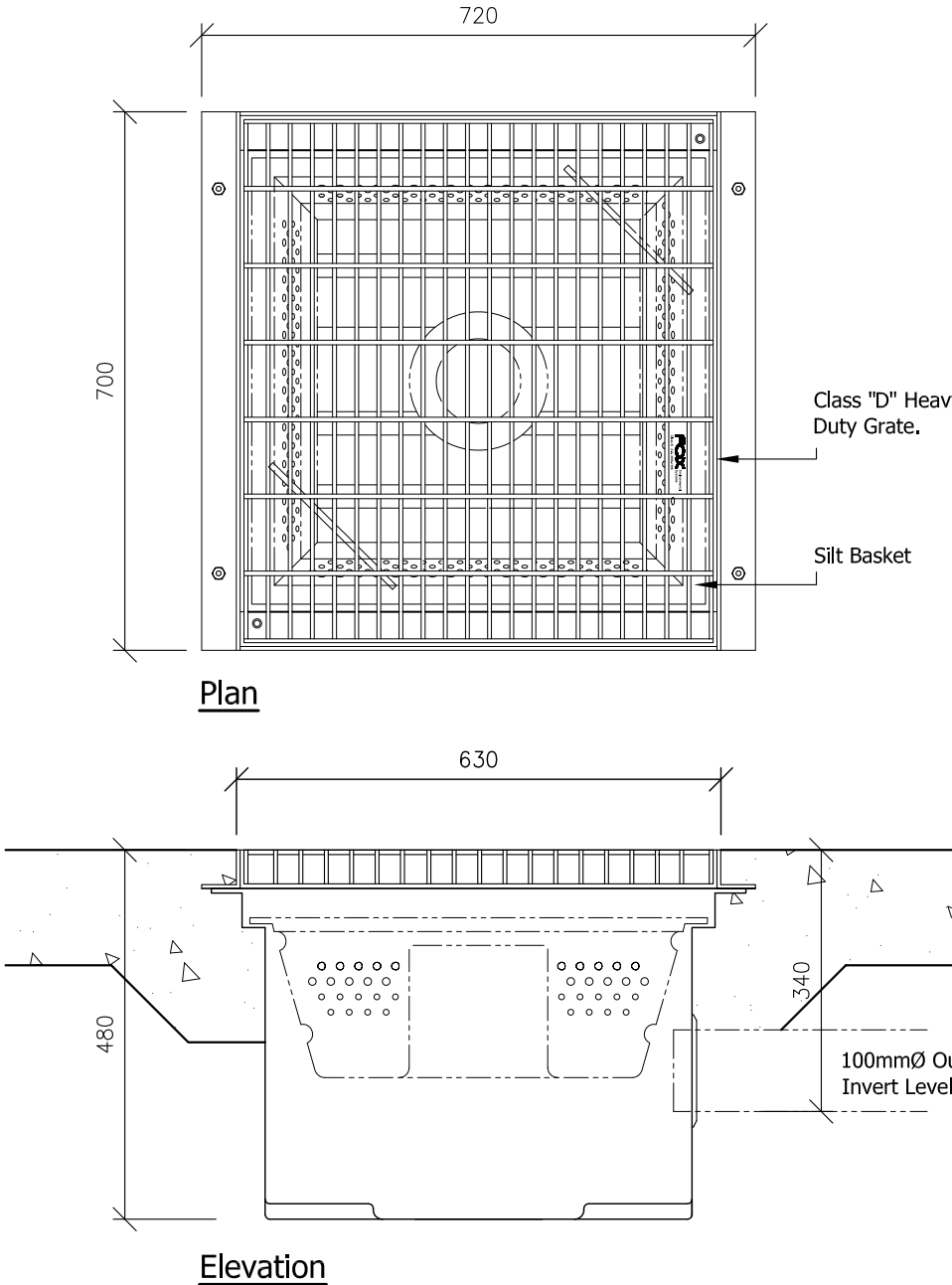
Schematic Detail of PT600/100
Silt Trap with High Flow Bypass

SPECIFICATIONS

Material	6mm MDPE
Chamber Capacity	130 Litres
Outlet Size	100mm
Silt Basket Material	8mm MDPE
Treatable Flow Rate	5 Litres/sec
Grate	Class D Heavy Duty Galvanised
Silt Capacity	50 Litres - Basket 40 Litres - Chamber
Sediment Removal	>0.3mm mesh
	> 99%

Available Options
150mm Outlet
100mm Outlet in Base
Class 'C' Grate
Class 'D' Grate
Note: Inverts will change. Request details if required.

PROCESS DETAILS
A Fox Model PT600 Silt Trap is ideal for installation in an indoor wash bay or outdoor areas with no vehicle access. The Silt Trap has a basket with approximately 50 litres capacity which is easy to remove, ensuring simple, low cost servicing and maintenance. If the intensity of rainfall exceeds the flow capacity of the silt basket or bad housekeeping has allowed basket to become full, water will back-up onto the catchment area. For applications where this is not acceptable a high flow basket should be used.





FOX
Environmental
Systems

This is a schematic representation only. Slab size and gradient to engineers details as arranged by customer. All plumbing and electrical connections to be installed by certified tradesmen in accordance with relative authorities requirements. Tradesmen to be engaged by the purchaser. System to be approved by the relevant authorities before installation.

This Drawing and design is the Property of Fox Environmental Systems Pty Ltd. It must not be used for any other purpose than that for which it was issued.

Project

System Specifications

Drawing Title

PT600/100
With High Flow Bypass

Drawn by: J.F.S

Date: 13/01/2010

Scale: 1:10

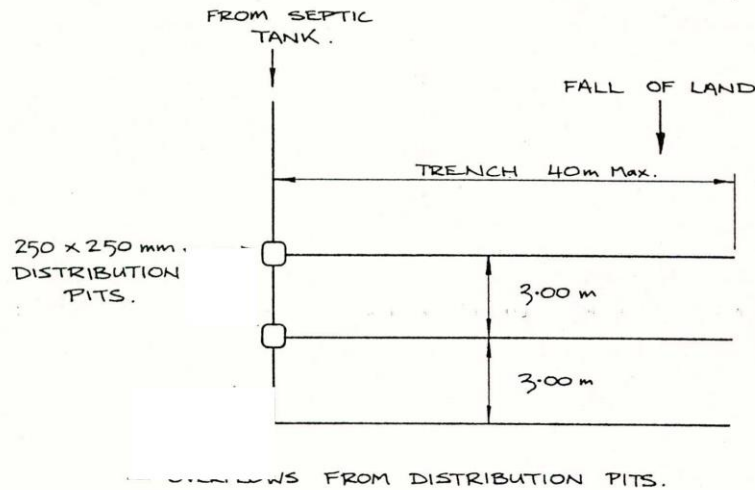
Drawing No: A4-SPEC-1012/3

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5. Distribution Pits.

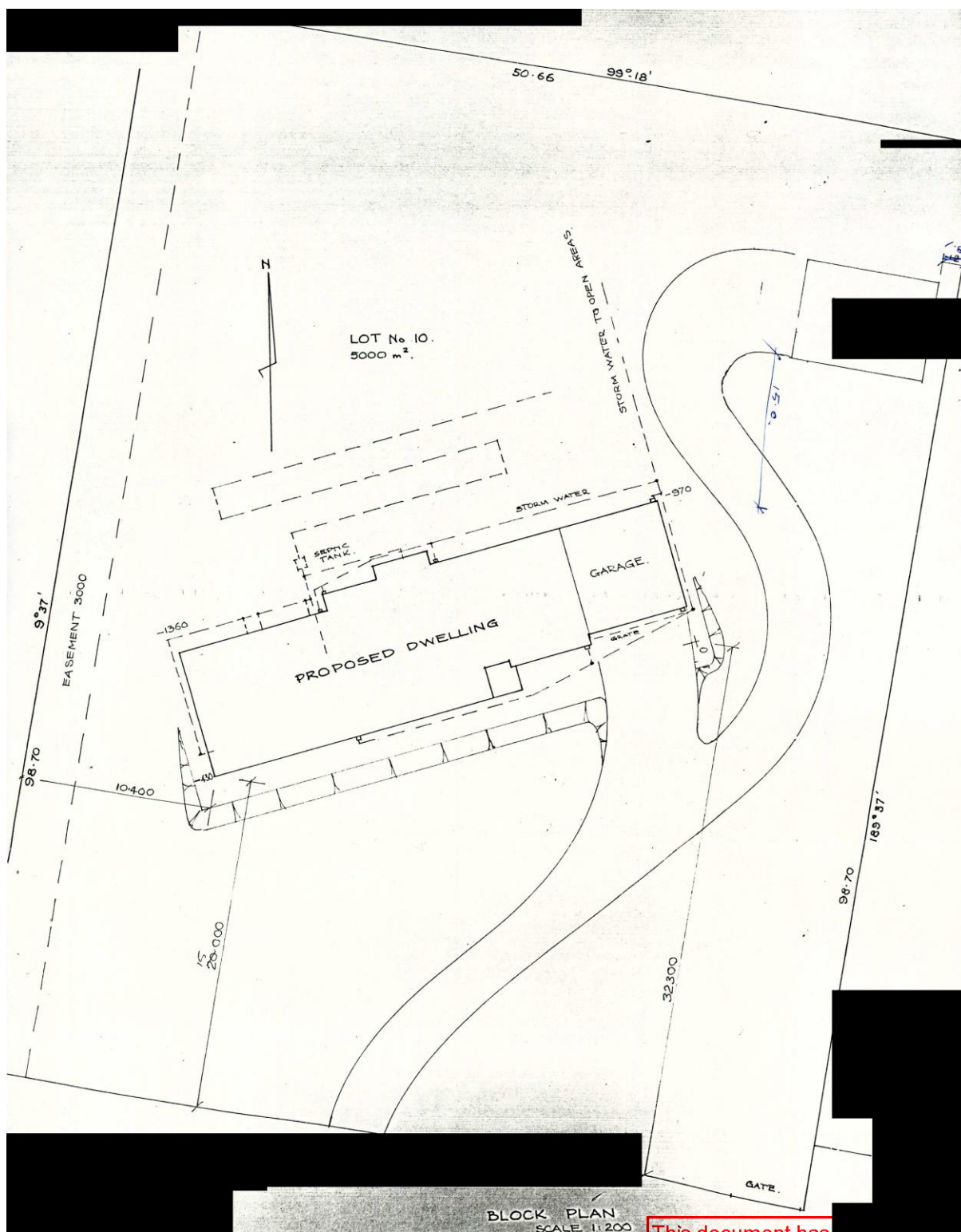
250mm x 250mm distribution pits of brick and concrete with smooth interiors shall be provided at the junction of the septic tank outlet pipe and the commencement of effluent disposal trenches. Covers at surface level shall be provided to distribution pits. Each disposal trench is to be controlled by a distribution pit. (See Diagram B).



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WORKS:
Binbeal Road, Drouin 3818
Phone: (056) 25 2128

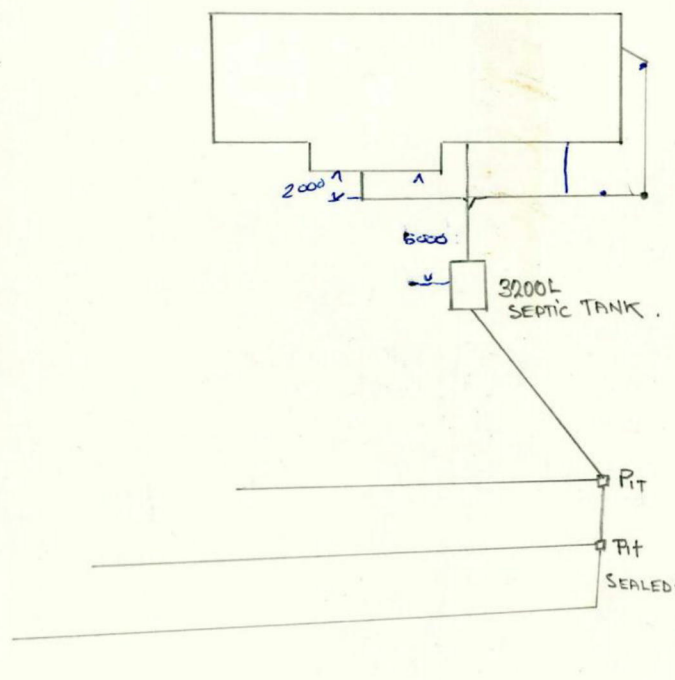
CORRESPONDENCE:
Bloomfield Road,
Warragul 3820
Phone: (056) 23 6835

GIPPSLAND SEPTIC TANKS & CONCRETE PRODUCTS

Manufacturers and Installers of 1800 ltr and 3200 ltr Septic Tanks, Stock Troughs,
Distribution Pits, Building Stumps, Grease Traps — Suppliers of PVC Pipe

Plumber :

RULEMONT ROAD.



SEPTIC TANK INSTALLATION
[REDACTED]
RULEMONT ROAD
WARRAGUL

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