



Application for a Planning Permit

Section 1: LAND DETAILS

Unit Number:	Street Number: 130	Street Name: Veysey Road
Town: Neerim East		Postcode: 3831

FORMAL LAND DESCRIPTION (Please complete either A or B – this information can be found on the Certificate of Title)

Option A:

Lot No:	2
Type of Plan: Please tick ✓	Lodge Plan <input checked="" type="checkbox"/> Title Plan <input type="checkbox"/> Plan of Subdivision <input type="checkbox"/>
Plan Number:	131856

Option B:

Crown Allotment Number:	
Section Number:	
Parish/Township Name:	

Section 2: PERMIT APPLICANT

Name:			
Business:			
Postal Address:			Postcode:
Telephone No. (H)	(W)	(M)	
Email Address:			

Section 3: OWNER DETAILS (If different to the Applicant)

Name(s):	
Postal Address:	
Telephone No. (H)	
Email Address:	

Section 4: DEVELOPMENT COST - Estimated Cost of development for which the permit is required

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Section 5: PROPOSAL You must give full details of the proposal being applied for. Insufficient or unclear information will delay your application..

Advertised

For what use, development or other matter do you require a permit?

Development:

<input type="checkbox"/> Advertising Signage	<input type="checkbox"/> Development of 2 or more dwellings Qty: <input style="width: 50px;" type="text"/>
<input type="checkbox"/> Agricultural Outbuildings	<input type="checkbox"/> Mixed Use Development and Reduction of Carparking
<input type="checkbox"/> Buildings and Works and Reduction in Carparking	<input type="checkbox"/> Residential Outbuildings
<input type="checkbox"/> Commercial or Industrial Buildings and Works	<input type="checkbox"/> Single Dwelling
<input type="checkbox"/> Extension / Alteration to Dwelling	<input type="checkbox"/> Telecommunications

Use:

<input type="checkbox"/> Buildings and Works and Change of Use	<input type="checkbox"/> Home Based Business
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Sale and Consumption of Liquor
<input type="checkbox"/> Change of Use and Single Dwelling	

Subdivision:

<input type="checkbox"/> Boundary Realignment	<input type="checkbox"/> 3 or more Lot Subdivision Qty: <input style="width: 50px;" type="text"/>
<input type="checkbox"/> Variation/ Removal of Restriction	<input type="checkbox"/> Create an easement
<input type="checkbox"/> 2 Lot Subdivision	<input type="checkbox"/> 100 or more Lot Subdivision Qty: <input style="width: 50px;" type="text"/>

Subdivision / Vegetation Removal:

<input type="checkbox"/> Native Vegetation Removal or Lopping	<input type="checkbox"/> Non Native Vegetation Removal or Lopping (ESO4)
<input type="checkbox"/> Subdivision Qty: <input style="width: 50px;" type="text"/>	<input type="checkbox"/> Alteration of access RDZ1

Other:

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, Section 173 agreement or other obligation such as an easement or building envelope?

Yes No Not Applicable (no such covenant, section 173 agreement or restriction applies)

If yes, you should contact Council for advice as to how to proceed with the application.

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FURTHER DETAILS OF PROPOSAL (optional)

Section 6: EXISTING CONDITIONS Describe how the land is used and developed now.

Advertised

Provide a plan of the existing conditions. Photos are also helpful.

See attached report.

Section 7: PRE-APPLICATION MEETING Has there been a Pre-Application meeting with a Council Planning Officer?

No

Yes

If yes, with whom?

Date of this meeting

Section 8: DECLARATION This form must be signed. ** PLEASE COMPLETE EITHER box A or B

A. I declare that I am the Applicant and owner of this land and that all information given is true and correct.

Owner/ Applicant signature:

Date:

B. I/We the Applicant declare that I/We have notified the owner about this application and that all information given is true and correct.

Applicant Signature:

Date:
9/02/2026

CHECK LIST Please ensure you have included the following items with your application form. *Failure to provide all the information above may result in a delay in the processing of the application.*



A fully completed and signed copy of this form.

Most applications require a fee to be paid. *Please make payment at time of lodgement if submitting at Councils Customer Service Centre or submitting through our on-line portal. If emailing your application, a payment link will be sent to your nominated email once registered on the system.*



Contact Council to determine the appropriate fee.

Full and current copy of title and title plan (no older than 60 days) for each individual parcel of land forming the subject site. The title includes: the covering register search statement, the title plan and the associated title documents (known as instruments).



Provided plans showing the layout and details of the proposal



Provided any information required by the planning scheme, requested by Council



Provided a description of the likely effect of the proposal (if required)



Completed the declaration in Section 8



Provided a contact phone number and e-mail address

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PLEASE FORWARD THIS APPLICATION TO

Advertised

E-mail:	planning@bawbawshire.vic.gov.au	Mail:	Planning Department, Baw Baw Shire Council PO Box 304 Warragul VIC 3820
Phone:	5624 2411		
In Person:	Customer Service Centre: 33 Young Street Drouin		

The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application.

These third parties generally include, but are not limited to:

Transport Infrastructure Agencies such as VicRoads and VLine

Energy/Utilities Providers

Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

All information collected and held by Council is managed in accordance with Councils Privacy Policy which is available on our website. If you choose not to supply the requested information it may impair the ability of Council to consider your application or prevent Council from communicating with you in relation to your application.

If you have any concerns or require access to the information held by Council, please contact us on 5624 2411.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 09399 FOLIO 258

Security no : 124131957749S
Produced 06/02/2026 07:39 PM

LAND DESCRIPTION

Lot 2 on Plan of Subdivision 131856.
PARENT TITLE Volume 09164 Folio 855
Created by instrument H934929 10/04/1980

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE 26/04/2024
AUSTRALIA AND NEW ZEALAND BANKING GROUP LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP131856 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 130 VEYSEY ROAD NEERIM EAST VIC 3831

ADMINISTRATIVE NOTICES

NIL

eCT Control 16165A AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED
Effective from 26/04/2024

DOCUMENT END

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Document Assembled	06/02/2026 19:39

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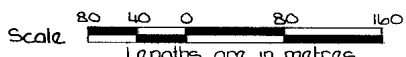
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Advertised

LP131856V
EDITION 1
APPROVED 18/12/79

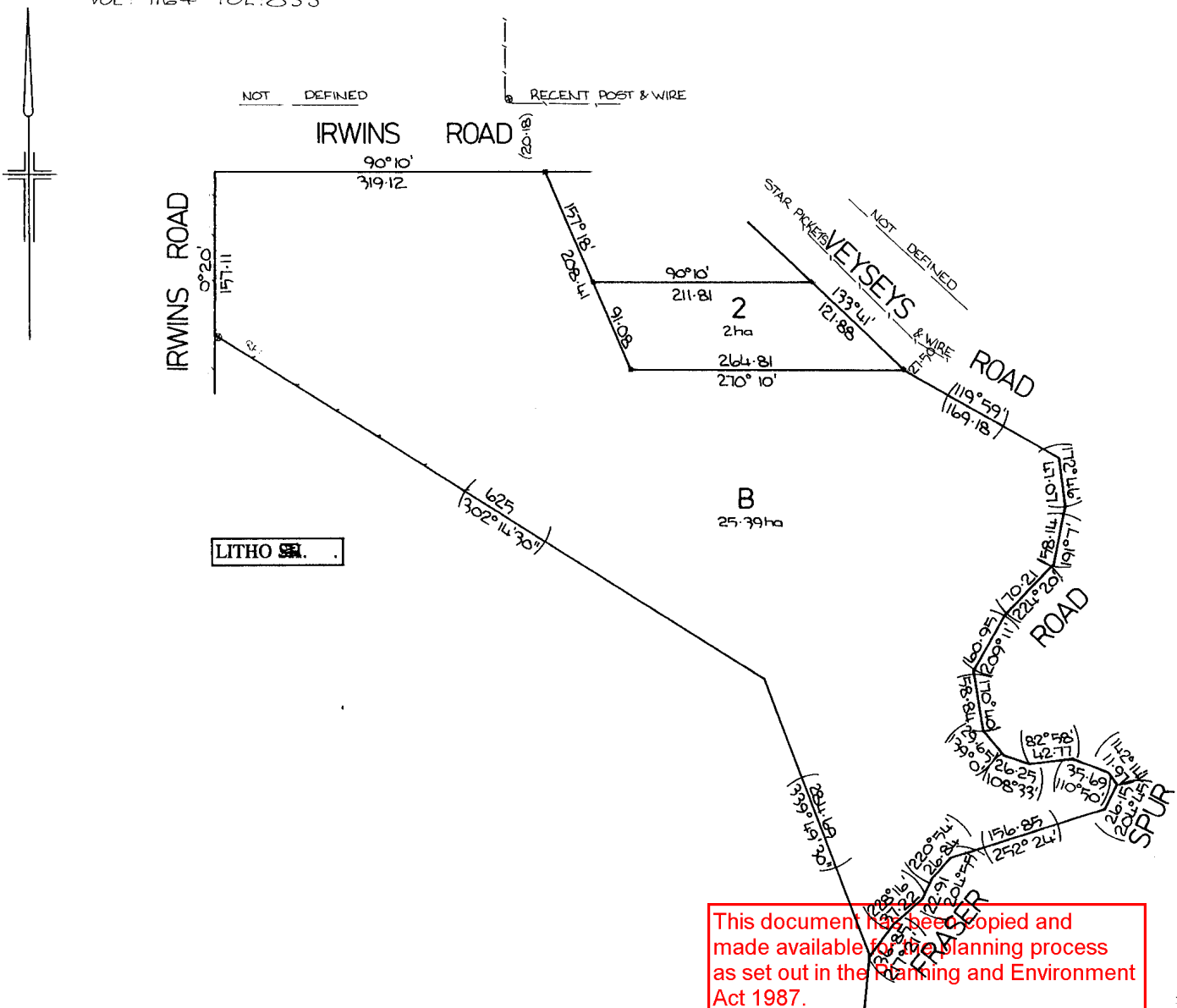
PLAN OF SUBDIVISION OF
PART OF CROWN ALLOTMENT 50B

PARISH OF NEERIM
COUNTY OF BULN BULN

Scale 
Lengths are in metres.

APPROPRIATIONS
131856
NOTATIONS
DIMENSIONS SHOWN ENCLOSED IN BRACKETS ARE NOT THE RESULT OF THIS SURVEY. ROAD WIDTHS ARE NOT TO SCALE. FOR REFERENCE MARKS SEE FIELDNOTES.

VOL: 9164 FOL: 855



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Euca Planning
Bushfire Specialists

May 1st, 2026

Principal Statutory Planner
Baw Baw Shire Council
planning@bawbawshire.vic.gov.au

Dear

RE: RFI response for PLA0017_26

I refer to the request for information dated 5 March 2026 and provide the following in response.

1. Amended written statement (planning report) – The required additional information has been included.
2. Land Capability Assessment – Enclosed with this documentation is a Land Capability Assessment prepared by dbmGeotech dated 30 April 2026 (Report Number: 26131_LCA). The findings of this report have been incorporated into the revised plans.
3. Amended Bushfire Management Statement – An amended Bushfire Management Plan reflecting the change in Effluent Field is included.
4. Revised Site Plan – Requirements have been included on the revised plans, including the inclusion of all the driveway that and relocation of the effluent field.
5. Revised Elevation Plans – Requirements have been included on the revised plans.

With regard to the preliminary assessment comments:

- Use of land – The application was lodged for ‘use and develop’ as it is acknowledged that council needs to issue a permit for both use and development consistent with Clause 63.10. In the processing of the application, it appears Council’s Administration has limited the application to ‘Construct a replacement dwelling’. The application form and the planning application were both clear at the time of lodgment that use was being applied for, unless Council provided further advice that the ‘use’ element was not required.
- Wastewater – A Land Capability Assessment is now provided to support the siting of the new system.

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Euca Planning

Bushfire Specialists

- Vegetation impacts – the re-siting of the effluent field has been restricted to impacting vegetation within the defendable space.
- Consistency of plans – The plans have been revised to hopefully reflect consistency, including the depiction of the current driveway that forms a circle and will be retained.
- Bushfire planning and referral of application – It is noted that CFA has provided conditional consent. It is assumed that since the BMP has been revised, Council may wish to refer it to CFA for endorsement.

I trust this provides all the further information required. Should this not satisfy the request, please provide additional time for this to be obtained.

Sincerely

Director

Enclosures:

1. Land Capability Assessment
2. Revised Bushfire Management Statement
3. Revised Bushfire Management Plan
4. Revised Planning Report
5. Revised Plans

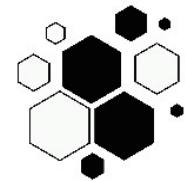
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This report assesses the proposed application for a permit to use and develop land for a replacement dwelling in the FZ and BMO of the Baw Baw Planning Scheme.



Euca Planning

**PLANNING APPLICATION:
USE AND DEVELOP OF LAND FOR A
REPLACEMENT DWELLING IN THE FARMING
ZONE AND BUSHFIRE MANAGEMENT OVERLAY**



130 Veysey Road Neerim East 3831

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Planning Policy Summary

Address	Lot 2 LP131856 130 Veysey Road Neerim East 3831
Zoning	Farming Zone (FZ)
Overlays	Bushfire Management Overlay (BMO) Development Contributions Plan Overlay – Schedule 1 (DCPO1)
Proposal	Use and develop a replacement dwelling
Total Area	2Ha
Other Considerations	Designated Bushfire Prone Area Replacement dwelling as house lost to housefire

1. Overview

A review of the Baw Baw Planning Scheme provisions and a detailed inspection of the site and surrounding area have been conducted to prepare the following report.

Our written assessment demonstrates that the proposal meets the:

- objectives of the State and Local Planning Policy including the Municipal Planning Strategy; and
- purpose and decision guidelines for the Bushfire Management Overlay (BMO); and
- particular provisions for Clause 52.06 Car parking, 53.02 Bushfire Planning;

It is submitted that the proposal appropriately responds to the constraints and opportunities of the site and the surrounding farming area and on this basis should be supported, particularly given the history of the site and location.

2. Background

Euca Planning has been engaged by . to prepare a planning report and respond to the Baw Baw Planning Scheme. In response, Euca Planning has prepared a planning assessment report which will support the planning application for the use and development of a dwelling.

This planning report should be read in conjunction with other information including:

- Copy of title and plan of subdivision (Attachment 1); and
- Site and Elevation Plans (Attachment 2); and
- Bushfire Planning Report V1.0 (Attachment 3).

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3. Site and Surrounds

3.1. Subject site

The subject is located at 130 Veysey Road Neerim East and is more particular known as Lot 2 on Plan of Subdivision LP131856 contained in Volume 09399 Folio 258. A copy of Certificate of Title and plan of subdivision is contained in Attachment 1. The property has no encumbrances other than a mortgage.

The lot has a 121.88 metres to Veysey Road and adjoining side boundaries depth of 211.81 metres (N boundary) and 264.81 metres (S boundary) with a total area of 2Ha. The site is located approximately 7 kilometres, northeast of the Neerim South township.

Currently the site contains two existing sheds, animal house, remnants of old house site and vegetation.

The site will have access to new onsite septic, potable water supply, electricity supply and telecommunications services which extend past the site. The lot has direct access to Veysey Road and has an existing crossover.

The proposed dwelling is a single-story building. The dwelling runs linear to the land to enable maximum separation from the north and south boundaries. The dwelling is being built on slab with minimal excavation (levelling only) as detailed on the plans. Existing retaining walls on the site are not being altered. The roof is colourbond metal and fibre-cement weatherboard cladding. Painted steel posts on brick piers and aluminum windows complete the design. The dwelling is screened by the upslope to the northerly neighbour. The dwelling is to be located central to the length of the lot where the burnt dwelling was located. Vegetation is only being removed as required by defendable space and to the extent that is prescribed by Table 6 to Clause 53.02-5.

The topography of the site and surrounding landscape is characterized by the gentle undulating hills and farming land. The external boundaries of the site are fenced with rural post and wire on the side and rear boundaries with the frontage unfenced. Site photos are shown over the page. The site falls north to south with the existing site cut being flat and the location of buildings.

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Figure 1 (Above): Aerial photograph of the subject site and contours (VicPlan, 2025)

Figure 2 (Below): Zoning plan and location map (VicPlan, 2025)



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Photograph 1, 2, and 3 – View of the existing driveway and crossover access to the site from Veysey Road. (source: site inspection)



Photograph 4 and 5 – View of the house site and the outbuildings (source: site inspection)



Photograph 6, 7 and 8 – View of vegetation in the front portion of the property, the existing retaining wall north of the dwelling and the cut of the burnt dwelling site (source: site inspection)

3.2. Surrounding Sites

The surrounding properties have a series of established houses in all directions, all accessing the surrounding road infrastructure.

North: 120 Veysey Road Neerim East 3831, an established farming property with dwelling, outbuilding and vegetation.

East: Veysey Road and 215 Fraser Spur Road Neerim Road 3831, an established farming property with dwelling, outbuildings and grazing paddocks.

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South and west: 544 Neerim East Road Neerim East 3831 is grazing paddocks.

Veysey Road is a good gravel road with grass shoulders and drainage. Existing access to this land has already been established with a crossover that meets Council requirements.

The local area in all directions is contained within the Farming Zone. In this location there are a number of established dwellings approved and developed over a period of time, some more recent than others.



Figure 3 Relationship to nearby dwellings

4. Proposal

This application seeks a permit to use and develop the land for a dwelling. This is shown on the site plan at Attachment 2.

The dwelling will be a four-bedroom house with garage. The proposed dwelling will contain:

- Four bedrooms
- Living area – kitchen, dining and living area
- Additional habitable spaces – study
- Amenities – Family bathroom, ensuite, toilet and laundry.
- Walk in robe and linen
- Garage.

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The dwelling will be primarily constructed of fibre-cement weatherboards with metal (Colorbond) roof. Aluminium window door frames, steel verandah posts and brick piers on concrete slab complete the dwelling. Colours and material schedule are contained on the plans.

The dwelling is proposed to be 20.41 metres from the north boundary, and 51.09 metres from the south boundary. The dwelling is setback a minimum of 47.65 metres from the front boundary. The location of the proposed dwelling is where the previous house, lost to house fire, was located. This is the flat area of the land. There are no onsite amenity concerns, with dwelling equipped with a CFA water tank in accordance to Bushfire Management Report, and a new septic tank and effluent lines will be installed to Council's requirements and the Land Capability Assessment.

A copy of the overall site plan, elevations and floor plans completes Attachment 2.



Photograph 9 – Looking west across the dwelling site (source: site inspection)

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5. Planning Policy Framework:

5.1. State Planning Policy Framework (SPPF)

Council is required to consider the Victoria Planning Provisions and give particular attention to the State Planning Policy Framework (SPPF). For this application it is considered that the policies and strategies outlined in the following clauses provide sufficient support for the proposed dwelling:

- Settlement (Clause 11.01-1S)
- Growth in Baw Baw (11.01-1L-01)
- Small towns and rural settlements – Limited growth (Clause 11-01-1L-04)
- Native Vegetation Management (Clause 12.01-2S)
- Bushfire Planning (Clause 13.02-1S)
- Protection of agricultural land (Clause 14.01-1S)
- Design for rural areas (Clause 15.01-6S)

For this application specific regard and analysis has been given to the following relevant clauses:

- Settlement (Clause 11.01-1S)

This clause has the objective *'To facilitate the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements'*. This application is supported by this clause because it seeks to develop an existing lot without impacting on the settlement expansion and growth of the existing rural area. The proposal implements the strategy *'limit urban sprawl and direct growth into existing settlements'*. Infill development is favorable as it utilises existing land subdivided and connections with the development being a replacement dwelling. The development is located within an established rural surrounding setting and adjacent properties of similar use and land. This clause is met.

- Growth in Baw Baw (Clause 11.01-1L-01)

This clause has the objective *'To direct population growth into towns having regard to their servicing, environmental and heritage constraints'*. The proposed development supports the strategy *'Discourage development outside township boundaries as shown on the Framework Plans to this Clause where reticulated services are available or capable of being delivered'*. There is no discouragement towards the development, as it is a replacement dwelling on an existing lot. This clause is met.

- Small towns and rural settlements – Limited growth (Clause 11.01-1L-04)

The development of a replacement dwelling on the site has had to address the policy that *'This policy applies to land within Willow Grove, Thorpdale, Rawson, Darnum, Nilma, Neerim, Neerim Junction, Jindivik, Rokeby, Bunt Bunt, Noojee, Erica, Tanjil Bren and Walhalla'*. The development supports the strategy *'Provide for limited population and growth in small towns of Willow Grove, Thorpdale, Rawson, Darnum,*

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Nilma, Neerim, Neerim Junction, Jindivik, Rokeby and Buln Buln as hubs supporting smaller towns and rural settlements'. The development provides maintained population by enabling a family to remain living on the land. This clause is met.

- Native Vegetation Management (Clause 12.01-2S)

This clause has the objective *'To ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation.'* The proposal has considered the Guidelines for the removal, destruction or lopping of native vegetation (Department of Environment, Land, Water and Planning, 2017) and only proposes removal of vegetation as required by defendable space. This clause is met.

- Bushfire Planning (Clause 13.02-1S)

This clause has the objective *'to strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life'*. The Bushfire Planning Report contained in Attachment Three demonstrates that the proposal responds to the protection of human life and has applied bushfire hazard identification and assessment at the local and landscape level. This clause is met.

- Protection of agricultural land (Clause 14.01-1S)

The clause has the objective *'To protect the state's agricultural base by preserving productive farmland'*. The proposal supports the strategy *'Limit new housing development in rural areas by: Directing housing growth into existing settlements'*. The proposed development is on an existing small lot, already lost to agriculture. It was previously developed with a dwelling. This clause is met.

- Design for rural areas (Clause 15.01-6S)

This clause has the objective *'To ensure development respects valued areas of rural character'*. This application is supported by this clause as it seeks to use materials and colours that blend the replacement dwelling into the rural landscape. The building design and siting provides balance within the existing landscape, with height from the public road not being intrusive to the eye and existing neighbours. The proposal has considered many of the strategies of this clause particularly *'Ensure that the siting, scale and appearance of development protects and enhances rural character'*. The siting of the proposed development is constrained to the existing dwelling (loss to housefire) and regulations. This clause is met.

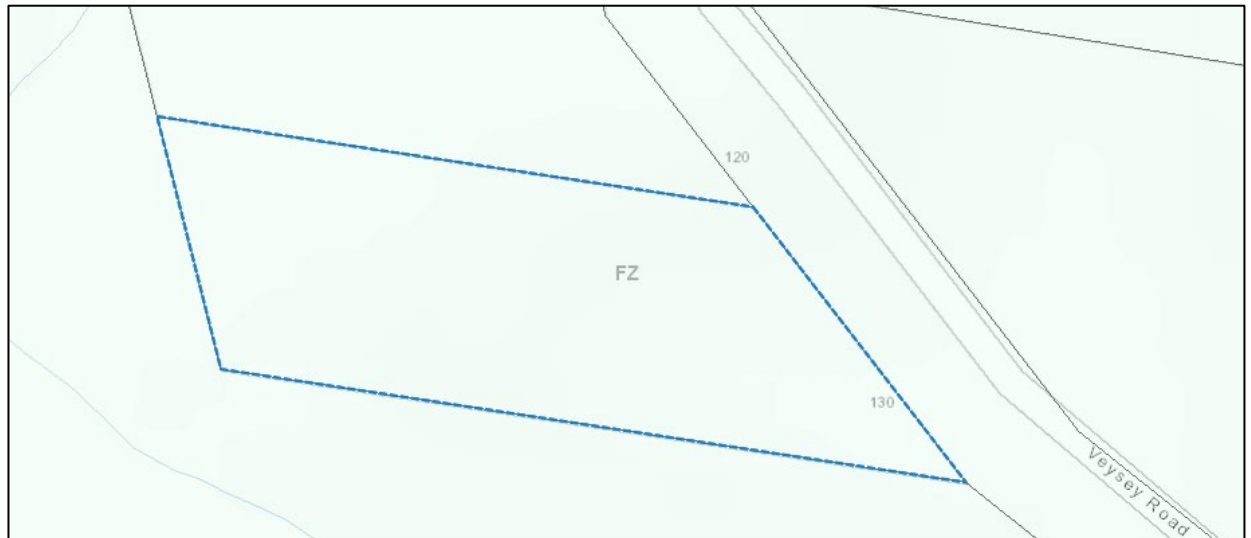
6. Zoning Controls – Farming Zone (FZ)

The subject site is in the Farming Zone; a zoning map is shown below.

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The purpose of the Farming Zone, as stated in Clause 37.05 of the Scheme, is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To provide for the use of land for agriculture.*
- *To encourage the retention of productive agricultural land.*
- *To ensure that non-agricultural uses, including dwellings, do not adversely affect the use of land for agriculture.*
- *To encourage the retention of employment and population to support rural communities.*
- *To encourage use and development of land based on comprehensive and sustainable land management practices and infrastructure provision.*
- *To provide for the use and development of land for the specific purposes identified in a schedule to this zone.*

In accordance with Clause 35.07 of the Farming Zone, a permit is required to use the land for a replacement dwelling (Uses - Section 2 – Permit required) and Clause 63.10.

In accordance with Clause 35.07-2 a lot used for a dwelling must meet the following requirements:

- *Access to the dwelling, small second dwelling or rural worker accommodation must be provided via an all-weather road with dimensions adequate to accommodate emergency vehicles.*
- *An all-weather driveway is being provided to connect the replacement dwelling to the public road.*
- *Each dwelling, small second dwelling or rural worker accommodation must be connected to reticulated sewage, if available. If reticulated sewage is not*

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available all wastewater from each dwelling must be treated and retained within the lot in accordance with the requirements of the Environment Protection Regulations under the Environment Protection Act 2017 for an on-site wastewater management system.

The replacement dwelling will be connected to septic system.

- *The dwelling, small second dwelling or rural worker accommodation must be connected to a reticulated potable water supply or have an alternative potable water supply with adequate storage for domestic use as well as for fire fighting purposes.*

The proposed dwelling will be connected to potable water supply. Additionally, firefighting water supply of 10,000 litres will be provided for emergency services.

- *The dwelling, small second dwelling or rural worker accommodation must be connected to a reticulated electricity supply or have an alternative energy source.*

The replacement dwelling will be connected to reticulated electricity supply, provided by the appropriate authority to front of lot.

6.1. Decision Guidelines of the Farming Zone

Clause 35.07-6 sets out the decision guidelines of the Farming Zone set out matters that the responsible authority must consider (as appropriate).

In responding to these guidelines:

- The use of the land for a dwelling has been established and is only up for consideration as the dwelling has been totally lost to housefire on 2 August 2025.
- The owners have progressed to replace the dwelling as expeditiously as possible.
- The owners continue to occupy the land daily.
- The land is adjacent to another small lot developed with a dwelling, common legacy lots from previous planning decisions.

7. Overlay Controls

7.1. Bushfire Management Overlay (BMO)

The site is subject to the Bushfire Management Overlay.

- *To implement the State Planning Policy Framework and the Local Planning Policy*

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Framework, including the Municipal Strategic Statement and local planning policies.

- *To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.*
- *To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.*
- *To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.*

A separate Bushfire Planning Report includes the following components:

- A Clause 13.02 Bushfire Assessment that considers the policy context.
- A Bushfire Hazard Landscape Assessment that considers the landscape risk and whether the Clause 53.02 modelled fire assumptions are adequate.
- A Bushfire Hazard Site Assessment considering localised hazards, defensible space and the bushfire attack level.
- The design response (Bushfire Management Statement) to the relevant approval measures in Clause 53.02 from the Baw Baw Planning Scheme.
- The Bushfire Management Plan that responds to the site and the proposed development, including the standard CFA permit conditions.

The Bushfire Management Statement demonstrates that the defensible space objectives can be met for Column D of Table 2 to Clause 53.02-5 with a construction level of BAL40, access and water supply provided.

Due to the grassland and forest beyond the site, and the grassland and forest close to the site, the proposed development is expected to be affected by a moderate level of ember attack in the event of a bushfire and some radiant heat from localised ignitions. A BAL of 40 is deemed appropriate for the construction as the siting is fixed due to the steep decline to the south and excessive cost and inability to resite a replacement dwelling for a greater separation.

The site is rather unique in that the dominant vegetation is 'forest' and when considering the slope. If Column C separation was achieved from the north then a separation of 25 metres would be required. This would require a complete recut of the site that is not financially viable for the client and the defensible space for Column C Forest does not fit on the south side so the dwelling has been forced to be Column D due to the vegetation, slope and site dimensions. Column D (BAL 40) is the only solution for the site.

The proposal responds to Clause 13.02-1S of the Baw Baw Planning Scheme by

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being a replacement dwelling for a dwelling lost to house fire. The development can meet the approval measures within Clause 53.02 for Column D of Table 2 to Clause 53.02-5, with a BAL of 40 based on an FFDI of 100 and a flame temperature of 1090K.

7.2. Development Contributions Plan Overlay – Schedule 1 (DCPO1)

The site is subject to the Development Contributions Plan Overlay – Schedule 1 (DCPO1). Noting this is a replacement dwelling, no payment is necessary.

8. Particular provisions

8.1 Clause 52.06 Car Parking

This clause has the purpose:

- *To ensure that car parking is provided in accordance with the Municipal Planning Strategy and the Planning Policy Framework.*
- *To ensure the provision of an appropriate number of car parking spaces having regard to the*
- *demand likely to be generated, the activities on the land and the nature of the locality.*
- *To support sustainable transport alternatives to the motor car.*
- *To promote the efficient use of car parking spaces through the consolidation of car parking facilities.*
- *To ensure that car parking does not adversely affect the amenity of the locality.*
- *To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.*

The proposed provides for undercover (in garage or car port) car parking and off-street carparking for the replacement dwelling, easily meeting the requirements of this particular provision.

8.2 Clause 53.02 Bushfire Planning

This clause is the supporting clause for Clause 13.02-1S and Clause 44.06. It has the purpose:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To ensure that the development of land prioritises the protection of human life*

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and strengthens community resilience to bushfire.

- *To ensure that the location, design and construction of development appropriately responds to the bushfire hazard.*
- *To ensure development is only permitted where the risk to life, property and community infrastructure from bushfire can be reduced to an acceptable level.*
- *To specify location, design and construction measures for a single dwelling that reduces the bushfire risk to life and property to an acceptable level.*

The proposal is required to respond to Clause 53.02-3 and this is provided in the Bushfire Planning Report (Attachment 3).

The application demonstrates that it meets the decision guidelines in that:

- It meets the Municipal Planning Strategy and the Planning Policy Framework.
- It provides a bushfire hazard landscape assessment, bushfire hazard site assessment and a bushfire management statement submitted with the application.
- All of the approved measures have been incorporated into the application.

8.3 Clause 52.17 Native Vegetation

This clause has the purpose:

To ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation. This is achieved by applying the following three step approach in accordance with the Guidelines for the removal, destruction or lopping of native vegetation (Department of Environment, Land, Water and Planning, 2017) (the Guidelines):

- 1. Avoid the removal, destruction or lopping of native vegetation.*
- 2. Minimise impacts from the removal, destruction or lopping of native vegetation that cannot be avoided.*
- 3. Provide an offset to compensate for the biodiversity impact if a permit is granted to remove, destroy or lop native vegetation.*

To manage the removal, destruction or lopping of native vegetation to minimise land and water degradation.

The removal of native vegetation will be in accordance with clause 52.17 and the requirement of the BMP V2 130 Veysey Road Neerim East dated 1/05/2026 and no further response is required for this provision. The removal of vegetation will be restricted to that to create defensible space compliant with Table 6 of Clause 53.02-3.

With defensible space copied and made available for the planning process as set out in the Planning and Environment Act 1987. This information must not be used for any other purpose.

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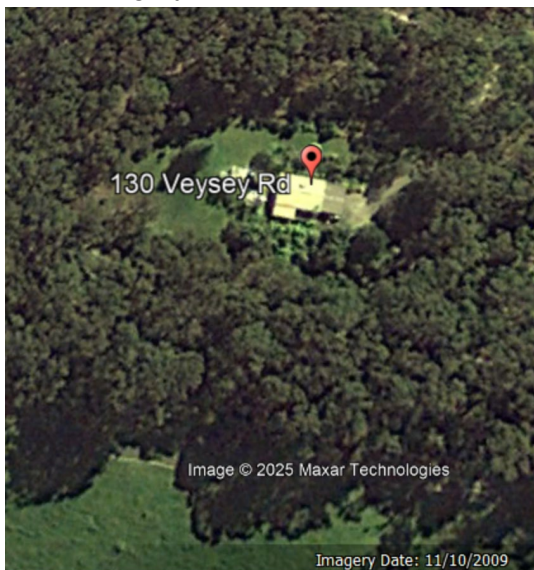
9. General provisions and decision guidelines of Clause 65

The decision guidelines contained in Clause 65 set out matters that the responsible authority must consider as appropriate.

Clause 63 Existing Uses

An existing use right is established in relation to use of land for dwelling under this scheme with proof of continuous use for 15 years is established under Clause 63.11.

The dwelling was built in 2003 (Source: Landchecker) and is evident on the first Google Earth imagery, dated 11 October 2009.



The dwelling was evident on Google image, 23 February 2023, and was occupied.



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The dwelling was lost to house fire on 2 August 2025 (date provided by owner) refer to Google image dated 1/12/2026 with no dwelling evident.



Clause 63.10 details that as at least 50 percent of the gross floor area of a building has been destroyed so that the use cannot continue without the building or works being reconstructed, the land must be used in conformity with this scheme, unless a permit is granted to continue the use, and to construct or carry out buildings or works. This application seeks a permit to be issued to use and develop a dwelling on this land.

Consistent with Clause 63.06, the use of the land for a dwelling has not stopped for a continuous period of 2 years. The dwelling burnt down on 2 August 2025, being 7 months before the planning permit application lodgment.

Council are requested to review their rate records, garbage collection and aerial photography as evidence that the dwelling has been consistently used for at least 15 years.

Clause 65.01 – Approval of an application or plan

- *The matters set out in Section 60 of the Act;*

These are matters that the responsible authority must take into account before making a decision on an application. These matters cannot be addressed in this report.

- *The Planning Policy Framework including the Municipal Strategic Statement and local*

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planning policies;

This has been addressed in section 5.1 of this report.

- *The purpose of the zone, overlay or other provision;*

The proposal achieves the purpose of the zone, the overlays and the particular provisions as it:

- Satisfies the relevant objectives and strategies stipulated in the State & Local Planning Policy Frameworks;
- Will provide for residential use in a faring settlement environment retaining the character of the area;
- Will not impact the natural resources, biodiversity, landscape and heritage values of the area; and
- All matters required to be considered in the zone, overlay or other provision.

This has been addressed earlier in the report.

- *The orderly planning of the area;*

The use and development of the land for a replacement dwelling is consistent with the original creation of the lot. The development of the replacement dwelling is considered entirely appropriate in the context of the site's location within an established rural and farming cluster, its abuttal to other properties that are used and developed for the similar purposes. Hence, approval of the proposal will represent an orderly approach to planning.

- *The effect on the amenity of the area;*

Land surrounding the site will not have a detrimental impact on adjoining dwelling and farming land. The replacement dwelling is set back from the road and the neighbouring dwelling to the north.

- *The proximity of the land to any public land;*

The site is not located near any public land, except for the road network.

- *Factors likely to cause or contribute to land degradation, salinity or reduce water quality;*

There are no known factors likely to cause or contribute to

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reduction in water quality other than what has been addressed by the design. A Land Capability Assessment has been prepared and provided.

- *Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site;*

Stormwater runoff from the development will be managed in accordance with Baw Baw Shire Council requirements.

- *The extent and character of native vegetation and the likelihood of its destruction.*

As previously stated, the removal of native vegetation will be restricted to that to create defensible space.

- *Whether native vegetation is to be or can be protected, planted or allowed to regenerate.*

The removal of native vegetation is appropriate in the protection of human life and property to bushfire and is restricted to the defensible space area.

- *The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.*

The proposed replacement dwelling will be located within a Designated Bushfire Prone Area and the Building Regulations 2006 will therefore apply bushfire protection standards for construction. The site has been assessed as BAL40 and designed accordingly.

10. Conclusion

The proposed application to use and develop the land for a replacement dwelling in the Bushfire Management Overlay, and Development Contributions Plan Overlay – Schedule 1 is appropriate for the site as it:

- Satisfies the purposes and decision guidelines of the zone; and
- Will result in more efficient usage of existing infrastructure; and
- Complies with both State and local planning policy objectives; and
- Retains the character, and landscape values of the area; and
- Will not adversely affect the landscape values of the site or surrounding area.

It is considered that the proposal has planning merit and it is therefore requested that

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Baw Baw Shire Council issue a planning permit for use and development of a replacement dwelling at 130 Veysey Road Neerim East without delay as it is a replacement dwelling due to housefire.

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ATTACHMENTS 1: Certificate of Title and Plan of subdivision

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ATTACHMENT 2 – Site plan, floor plan and elevations

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Attachment 4 – Bushfire Planning Report

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30 April 2026

LAND CAPABILITY ASSESSMENT

PROPOSED DEVELOPMENT
130 VEYSEY ROAD,
NEERIM EAST, VICTORIA, 3831



Prepared for:

G.J. Gardner Homes
Warragul, VIC, 3820

Report Number: 26131_LCA

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Reports of Boreholes

Water Balance Calculations

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SUMMARY

Location:

Address: 130 Veysey Road, Neerim East, VIC, 3831

SPI: 6M\PP2328

Land Features:

Slope of Land: 15 % - 20 %

Distance To Surface Water: 120 m

Aspect: Southerly

Flooding: > 1 in 100 years

Evaporation: 1477 mm

Rainfall: 944 mm

Soil Properties:

Soil Texture (Limiting Layer): Light Clay (5a)

Permeability: <0.06m/day

Treatment System:

EPA Approved Secondary Treatment

Land Application System:

Subsurface Drip Irrigation

Design Loading Rate (DLR):

Subsurface Irrigation: 3.0mm/day

Land Application Area Minimum Size

Design Flow Rate	Subsurface Irrigation
4-bedroom dwelling – 720 L/day	440 m ²

Site Constraints:

Light Clay, Aspect, Slope, Dispersive Soils

Special Conditions & Mitigation Measures:

Light Clay: Treat wastewater to secondary level and dispose of via subsurface irrigation.

Aspect: Increase land application area by 10%.

Slope: Increase land application area by 20%.

Dispersive Soils: Soil Amelioration is recommended. Add gypsum to base of trenches at a rate of 1kg/m². Treat wastewater to secondary level and dispose of via subsurface irrigation.

Key Buffer Distances:

Site Boundaries and Buildings: 1.5m downslope; 3.0m upslope

Waterway (Potable): 100m

Waterway (Non-Potable): 30m

Management:

Desludging Primary Tank: Every **3 Years**

Quarterly servicing of treatment plant and inspection of effluent dispersal area

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1.0 INTRODUCTION

G.J. Gardner Homes has engaged DBM Geotech Consulting Pty Ltd (DBM Geotech) to undertake a Land Capability Assessment for the proposed development at 130 Veysey Road, Neerim East, VIC, 3831. The field investigation and report have been undertaken and prepared by suitably experienced consultants.

This report will accompany an application for a Septic Tank Permit to Install submitted to the Baw Baw Shire Council for an Onsite Wastewater Management System at 130 Veysey Road, Neerim East, VIC, 3831. The report provides information about the site and soil conditions. It also provides a Land Capability Assessment (LCA) for the site and includes a conceptual design for a suitable Onsite Wastewater Management System, including recommendations for monitoring and management requirements.

2.0 DESCRIPTION OF THE DEVELOPMENT

The site is a small rural allotment of 2.0 Hectares. The land is currently occupied by multiple sheds. The land slopes down to the south at a slope gradient of about 10% to 20% (5 to 10 degrees) across the northeast part of the site. The slope gradient increases to 40 - 60% (20 – 30 degrees) to the south of the access road. The proposed residential dwelling comprises a 4-bedroom dwelling and will be constructed on the cut/fill platform between the two sheds.

The closest waterway is located about 120 m south of the property.

Site Address: 6M\PP2328; 130 Veysey Road, Neerim East, VIC, 3831 (Figure 1)

Council Area: Baw Baw Shire Council

Zoning: FZ – Farming Zone

Domestic Water Supply: Tank Water

Anticipated Wastewater Load: Assume a residence with full water-reduction fixtures at maximum occupancy. Wastewater generation = 120 L/person/day; Table 4.1 of EPA Guidelines (2024) (1).

Availability of Sewer: The area is unsewered and unlikely to be sewerred within the next 10-20 years.

3.0 SITE AND SOIL ASSESSMENT

3.1 SITE ASSESSMENT

DBM Geotech undertook a site investigation on the 21 April 2026. Table 1 summarises the key features of the site in relation to effluent management proposed for the site.

NOTE:

- The site is not in a special water supply catchment area.
- The risk of effluent transport offsite is low.

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Figure 1 attached provides a site plan and indicates the location of the proposed dwelling. Site photos are shown in Figures 2 - 3.

Table 1: Site Assessment

Characteristic	Level of Constraint		
	Nil or Minor	Moderate	Major
Aspect	North / North-East / North-West	East / West / South-East / South-West	South
Climate	Excess of evaporation over rainfall in the wettest months	Rainfall approximates to evaporation	Excess of rainfall over evaporation in the wettest months
Erosion	Nil or minor	Moderate	Severe
Exposure To Sun and Wind	Full sun and/or high wind or	Dappled light	Heavily shaded and little wind
Fill (Imported)	No fill or minimal fill, or fill is good quality topsoil	Moderate coverage and fill is good quality	Extensive poor-quality fill and variable quality fill
Flood Frequency (ARI)	Less than 1 in 100 years	Between 100 and 20 years	More than 1 in 20 years
Groundwater Bores	No bores onsite or on neighbouring properties	Setback distance from bore complies with requirements in EPA Guidelines 2024	Setback distance from bore does not comply with requirements in EPA Guidelines 2024
Land Area Available for LAA	Exceeds LAA and duplicate LAA and buffer distance requirements	Meets LAA and duplicate LAA and buffer distance requirements	Insufficient area for LAA
Landslip	Nil	Minor to moderate	High or Severe
Slope Form	Convex or divergent side-slopes	Straight side-slopes	Concave or convergent side-slopes
Slope Gradient (%)			
(a) For Absorption Trenches and Beds	< 6%	6 - 15%	> 15%
(c) For Subsurface Irrigation	< 10%	10 - 30%	> 30%
Soil Drainage (Qualitative)	No visible signs or likelihood of dampness, even in wet season	Some signs or likelihood of dampness	Wet soil, moisture-loving plants, standing water in pit; water ponding on surface, soil pit fills with water

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Table 1: Site Assessment

Characteristic	Level of Constraint		
	Nil or Minor	Moderate	Major
Stormwater Run-On	Low likelihood of stormwater run-on		High likelihood of inundation by stormwater run-on
Surface Waters - Setback Distance (m)	Setback distance complies with requirements in EPA Guidelines 2024		Setback distance does not comply with requirements in EPA Guidelines 2024
Vegetation Coverage Over the Site	Plentiful vegetation with healthy growth and good potential for nutrient uptake	Limited variety of vegetation	Sparse vegetation or no vegetation

3.2 SITE ASSESSMENT RESULTS

Moderate or major site constraints were identified in the site assessment. These constraints are listed in Table 2 along with proposed mitigation measures for controlling the risks identified at the site.

Based on the most constraining site features, the overall land capability of the site to sustainably manage all effluent onsite is satisfactory. The proposed effluent management area is located above the 1:100 flood level and by using secondary treatment, there will be suitable protection of surface waters and groundwater.

Table 2: Site Constraints

Constraint	Proposed Mitigation Measures
Aspect	Increase the size of the effluent field by 10 % to take into account reduce sun exposure.
Climate	Use a water balance to size the Land Application Area (LAA).
Slope Form	Adopt secondary treatment system with subsurface irrigation and increase the size of the effluent field by 20%.
Landslip	Locate effluent field appropriately on the site. Ensure effluent field is located away from the steep slope to the south and away from any fill platforms or cut slopes.

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3.3 SOIL ASSESSMENT

The site's soils have been assessed for their suitability for an Onsite Wastewater Management System by a combination of soil survey and desktop review of published soil survey information as outlined below.

A soil survey was carried out at the site to determine suitability for application of treated effluent. Soil investigations were conducted at three locations as shown in Figure 1. The investigation was carried out with a push tube sampler to depths of up to 1.5 m below ground level. In addition, samples were collected and tested for pH, EC and dispersive soils. A summary of the soil properties for the different soil types encountered are presented in Table 3. Full profile descriptions of the soils are provided in Appendix A.

Table 3: Soil Properties Summary


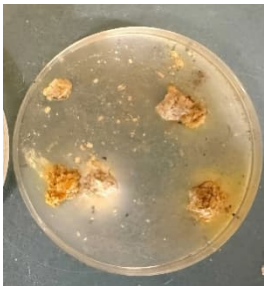
Soil Texture	Silty clay loam	Light Clay
Depth Range	0m – 0.3m	0.3m – 1.5m
Soil Category	3a	5a
EC (ECe) (dS/m)	0.04	0.08
pH	5.9	6.2
Soil Dispersion	Dispersive	Dispersive
		
Estimated Soil Permeability (Ksat)	0.5 m – 1.5 m/day	0.12 m – 0.5 m/day
Design Loading Rate		
(a) Subsurface	4.0mm/day	3.0mm/day

Table 4 provides a risk assessment based on the physical and chemical characteristics of each soil type.

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Table 4: Soil Risk Assessment

Characteristic	Level of Constraint		
	Nil or Minor	Moderate	Major
Electrical Conductivity (ECe) (dS/m)	<0.8	0.8 - 2	>2
Dispersive Soils	Non-Dispersive (4, 5, 6, 8)	7	Dispersive (1, 2, 3)
Gleying	Nil	Some evidence of greenish grey / black or bluish grey soil colours	Predominant greenish grey / black, bluish grey / black colours
pH (Favoured Range for Plants)	5.5 - 8 is the optimum range for a wide range of plants; 4.5 - 5.5 suitable for many acid-loving plants		<4.5, >8
Rock Fragments (Size & Volume %)	0 – 10%	10 – 20 %	>20%
Soil Depth to Rock or Other Impermeable Layer; Trenches (Irrigation/Mounds)	> 1.2 m (> 0.7m)	1.2 – 0.9 m	< 0.9 m (< 0.7m)
Soil Structure (Pedality)	Highly or Moderately Structured	Weakly-Structured	Structureless, Massive or Hardpan
Soil Category (Indicative Permeability)	Cat. 2b, 3a, 3b, 4a	Cat. 4b, 4c, 5a	Cat. 1, 2a, 5b, 5c, 6
Depth to Water Table	> 1.5 m	1.0 – 1.5 m	< 1.0 m

3.4 SOIL ASSESSMENT RESULTS

The soils the site at were typically categorised as a clay loam overlying a light clay. Considering the physical characteristics of the subsoil in the area of the site, effluent application via subsurface irrigation is a suitable and viable disposal system for this site.

Moderate or major soil constraints were identified in the soil assessment. These constraints are listed in Table 5 along with proposed mitigation measures for controlling the risks identified at the site.

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Table 5: Soil Assessment Migration Measures

Constraint	Proposed Mitigation Measures
Dispersive Soils	Treat wastewater to secondary level and dispose of via subsurface irrigation. Apply liquid gypsum to the tank on commission and every 2 – 3 years ongoing.
Soil Structure Soil Category	Treat wastewater to secondary level and dispose of via subsurface irrigation.

3.5 OVERALL LAND CAPABILITY RATING

For the soil in the proposed Land Application Area, no features present a moderate or major constraint that cannot be mitigated.

Based on the results of the site and soil assessment tabled above and provided in the Appendices, the overall land capability of the proposed effluent management area is constrained. However, the effluent management system will be designed, installed and maintained in ways which will mitigate these factors.

4.0 SYSTEM SELECTION AND DESIGN

The following sections provide an overview of a suitable Onsite Wastewater Management System, with sizing and design considerations and justification for its selection. Detailed design for the system should be undertaken at the time of the building application and submitted to Council.

4.1 TARGET EFFLUENT QUALITY

Based on the site constraints a **secondary treatment system** is recommended at this site. The secondary effluent quality required is:

- Biochemical Oxygen Demand, less than 20 mg/L.
- Total Suspended Solids, less than 30 mg/L.

The property owner has the responsibility for the final selection of the secondary treatment system and will include the details of it in the Septic Tank Permit to Install application form for Council approval.

4.2 EFFLUENT MANAGEMENT OPTIONS

A range of possible land application systems have been considered, such as absorption trenches, evapo-transpiration/absorption (ETA) beds, subsurface irrigation, and mounds.

Provided that the effluent is secondary treated at the site we consider that the following land application systems are suitable at the site:

- Subsurface Irrigation

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These systems are considered suitable to overcome the site constraints and ensure that that the risk of effluent being transported off-site will be negligible.

4.3 WASTEWATER LOADING RATE

In sizing the effluent dispersal field envelope one of the key input parameters is the volume of wastewater expected at the site. Table 4.1 of EPA Guidelines 2024 (1) has been used to size the volume of wastewater generated per allotment. We have adopted a loading rate of **120 L/person/day** assuming WELS scheme water fixtures with tank water supply. The plans provided indicate that a 4-bedroom dwelling with a separate lounge and study. We have considered 5-bedroom house for the water balance calculations. This equates to a design wastewater volume of **720 L/day**.

4.4 WATER BALANCE

To determine the necessary size of the Land Application Area, water balance modelling has been undertaken using the method and Water Balance Tool in the Victorian Land Capability Assessment Framework (2014) and EPA, 2024.

The Water Balance can be expressed by the following equation:

$$\text{Precipitation} + \text{Effluent Applied} = \text{Evapotranspiration} + \text{Percolation}$$

The assumptions and parameters adopted for the Water Balance Calculation are provided below:

- We have adopted a rainfall runoff factor of 0.7 for the site. This rainfall runoff factor was selected based on the slope of the land and because rainfall exceeds evaporation during the winter months. Given that winter months are the critical months in the water balance calculations and the fact that rainfall exceeds evaporation during this period, we consider this factor appropriate for the site.
- A design irrigation rate of 3.0 mm/day for Light Clay Soil was adopted (Table 4-8, EPA Guidelines 2024).
- Crop factors for Pasture from section 4.4.2.3 of EPA 2024 (1) were used.
- Rainfall and Evaporation Data – See Table 6

The full Water Balance Calculations are provided in Appendix A and a summary of the results are provided in Table 6.

Table 6: Rainfall and Evaporation Data

Rainfall (mm) – Neerim South Station No. 85202												
Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Total
62.6	53.9	65.1	73.4	71.7	76.6	79	87.5	103.1	102	88.5	80.6	944.0
Evaporation (mm) – Neerim South (BoM – Australian Water Outlook)												
Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Total
218.6	179.0	148.2	91.5	63.6	47.0	53.3	74.9	99.8	137.7	163.0	201.2	1477.8

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4.4.1 EFFLUENT DISPERSAL FIELD SIZING

The nominated area method was used to calculate the area required to balance all inputs and outputs to the Water Balance. As a result of these calculations a minimum Land Application Area required for subsurface irrigation is shown in Table . The full Water Balance Calculation is shown in Appendix A.

Table 7: Land Application Area

Number of Bedrooms*	Total Daily Wastewater Flow (L/day)	Required LAA Size Subsurface Irrigation
5	720	440 m ²

***In accordance with EPA Guidelines 2024 any room such as a study, library or sunroom that can be closed off with a door, shall be treated as a bedroom.**

4.4.2 NUTRIENT BALANCE

Nutrient balance calculations are provided in Appendix A. The nutrient balance calculations indicate a required area of 240 m² for Nitrogen and 170 m² for Phosphorus. Therefore, the Water Balance Calculation governs the design of the effluent field at this site.

4.5 SITING AND CONFIGURATION OF THE IRRIGATION SYSTEM

We have provided an approximate location of the Land Application Area on the attached site plan, Figure 1. Final placement and configuration of the irrigation system will be determined by the client and/or system installer, provided it remains close to the nominated locations in Figure 1 and satisfies the minimum area required according to the Water Balance.

We understand that vegetation within 50 m of the proposed dwelling will be removed for defendable space. We consider that the steep slope to the south of dwelling is unsuitable for application of effluent. However, the land to the west of the dwelling may be suitable for effluent application. This could be used as an alternative land application area provided that additional testing is completed after removal of vegetation.

It is important that appropriate buffer distances be maintained. It is important to note that buffers are measured as the overland flow path for run-off water from the effluent irrigation area.

It is recommended that the owner consult a wastewater contractor familiar with effluent system construction to construct the system, and an appropriately registered plumbing/drainage practitioner to install the system.

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4.6 STORMWATER RUN-ON MEASURES

Stormwater run-on protection measures are recommended at this site. Stormwater run-on from buildings and significant rainstorm events pose a risk to the effluent disposal field. Stormwater run-on should be mitigated by the following:

- Diversion of roof drainage away from the effluent dispersal area.
- The construction and maintenance of a subsurface diversion drain upslope of the Land Application Area.

An upslope cut-off drain should be constructed at the site in accordance with the below diagram. The upslope drain should be keyed a minimum 150mm into clay soils at the site. We recommend the drain is constructed 3m upslope of the Land Application Area.

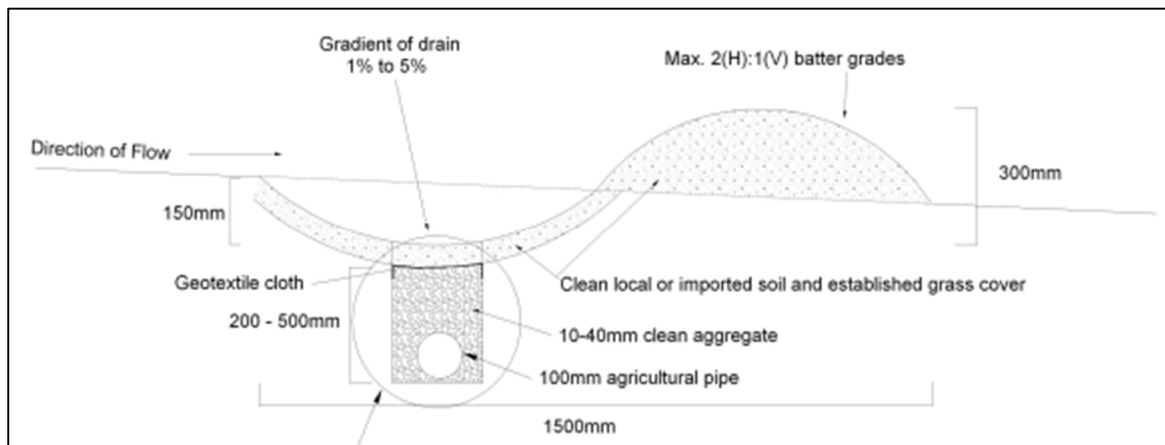


Diagram 1: Upslope Diversion Drain.

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4.7 BUFFER DISTANCES

Setback buffer distances from EDRS systems are required to help prevent human contact, maintain public amenity and protect sensitive environments. The relevant buffer distances for this site, taken from Table 4-10 of the EPA Guidelines 2024 (1) are provided in Table 8.

Table 8: Secondary Treatment Buffer Distances

Site Feature	Setback Distance (m)
Building / Allotment Boundaries / Swimming Pool / Water and Gas Pipes	3m – Up-Slope
	1.5m – Down-Slope
Services	3m – Closed Stormwater Drain
	30m – Open Stormwater Drain
Surface Waters	100m – Up-Slope from Waterways in a Potable Water Supply Catchment
	30m – Up-Slope from Non-Potable Waterways
	20m – Up-Slope from Drainage Lines
	15m – Up-Slope of Cutting/Escarpment
Groundwater Bores	20m – Category 2b to 6 Soils
Soil Depth	1.5m – Depth to Water Table
	0.6m – Depth to Hydraulic Limiting Layer

5.0 MONITORING, OPERATION AND MAINTENANCE

Maintenance is to be carried out in accordance with the EPA Certificate of Approval of the selected secondary treatment system and Council's permit conditions. The treatment system will only function adequately if appropriately and regularly maintained.

To ensure the treatment system functions adequately, residents must:

- Have a suitably qualified maintenance contractor service the secondary treatment system at the frequency required by Council under the permit to use.
- Use household cleaning products that are suitable for septic tanks.
- Keep as much fat and oil out of the system as possible.
- Conserve water (AAA rated fixtures and appliances are recommended).
- Do not discharge your unwanted and expired medicine into your OWMS.
- Avoid use of products containing PFAS (Per- and Polyfluoroalkyl Substances)

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To ensure the Land Application System functions adequately, residents must:

- Regularly harvest (mow) vegetation within the EDRS and remove this to maximise uptake of water and nutrients.
- Monitor and maintain the subsurface irrigation system following the manufacturer's recommendations, including flushing the irrigation lines.
- Regularly clean in-line filters.
- Not erect any structures and paths over the EDRS.
- Avoid vehicle and livestock access to the EDRS, to prevent compaction and damage.
- Ensure that the EDRS is kept level by filling any depressions with good quality topsoil (not clay).

6.0 CONCLUSION

As a result of our investigations, we conclude that sustainable Onsite Wastewater Management is feasible with appropriate mitigation measures, as outlined, for the proposed residence at 130 Veysey Road, Neerim East, VIC, 3831.

Specifically, we recommend the following:

- Secondary treatment of wastewater by an EPA-accredited treatment system.
- Land application of treated effluent via subsurface irrigation (which may be subdivided into two or more evenly sized zones using an indexing or sequencing valve).
- Installation of water saving fixtures (minimum 4-star WELS) and appliances (minimum 3-star WELS) in the new residence to reduce the effluent load.
- Use of low phosphorus and low sodium (liquid) detergents to improve effluent quality and maintain soil properties for growing plants.
- Operation and management of the treatment and disposal system in accordance with manufacturer's recommendations, the EPA Certificate of Approval, the EPA Guidelines 2024 and the recommendations made in this report.

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7.0 REFERENCES

- Environment Protection Authority (2024) (1). Guideline for Onsite Wastewater Management (GOWM).
- Environment Protection Authority (2024) (2). Guideline for Onsite Wastewater Effluent Dispersal and Recycling Systems (EDRS).
- Municipal Association of Victoria, Department of Environment and Sustainability and EPA Victoria (2014) Victorian Land Capability Assessment Framework.
- Standards Australia / Standards New Zealand (2012). AS/NZS 1547:2012 On-Site Domestic Wastewater Management.

8.0 LIMITATIONS

Your attention is drawn to the document – ‘Limitations’ which is included in Appendix B of this report. The statements presented in this document are intended to advise you of what your realistic expectations of this report should be. The document is not intended to reduce the level of responsibility accepted by DBM Geotech, but rather to ensure that all parties who may rely on this report are aware of the responsibilities each assumes is so doing.

DBM Geotech

BEng (Hons), MEngSc (Res), MIEAust CPEng
EA Membership number:
ABN 69 666 900 643



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Not to scale.
Aerial Imagery, April 2026.

LEGEND:	
BOREHOLE	
SITE PHOTO	
SLOPE ANGLE	
WATERWAY	
PROPOSED DWELLING	
PROPOSED LAAs	



FIGURE DETAILS:
Figure 1 – Site Plan

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CLIENT:
G.J. Gardner Homes Warragut

SITE ADDRESS:
130 Veysey Road, Neerim East



Photo 1



Photo 2



Photo 3



Photo 4

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FIGURE DETAILS:

Figure 2 – Site Photos

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CLIENT:
G.J. Gardner Homes Warragul

SITE ADDRESS:
130 Veysey Road, Neerim East

JOB NUMBER:



Photo 5 – Aerial photo of the slope of adjacent property

Not to scale.

FIGURE DETAILS:
Figure 3 – Site Photos

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CLIENT:
G.J. Gardner Homes Warragul
SITE ADDRESS:
130 Veysey Road, Neerim East

JOB NUMBER:

Appendix A

Reports of Boreholes

Water Balance Calculations

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DBM GEOTECH

REPORT OF BOREHOLE: BH1

Job No : 26131
 Client : . Owner / Designer
 Project : 130 Veysey Road, Neerim East
 Location : 130 Veysey Rd, Neerim East VIC 3831, Australia
 Contractor : DBM Geotech

Easting : 412121.20
 Northing : 5794149.49
 UTM : 55H
 Drill Rig : Push Tube
 Inclination :

Sheet : 1 OF 1
 Logged :
 Logged Date : 21/04/2026
 Checked :
 Checked Date : 28/04/2026

Drilling Method	Water	Depth (m)	Graphic Log	Classification Code	Material Description	Moisture	Consistency	Samples	SPT Testing	Shear Strength	DCP								
											0	2	4	6	8	10	12	14	16
		0.3		ML	Clayey SILT ML: firm, low plasticity, grey, dry, (category 3a).	D	F												
		0.9		CI	Silty CLAY CI: stiff to very stiff, medium plasticity, brown red, inorganic, dry, (category 5a).	D	St-VSt												
		1.0		CI	Orange brown and pale grey.	D	St-VSt												
					BH1 Terminated at 1.6 m														



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DBM GEOTECH

REPORT OF BOREHOLE: BH2

Job No : 26131
 Client : . Owner / Designer
 Project : 130 Veysey Road, Neerim East
 Location : 130 Veysey Rd, Neerim East VIC 3831, Australia
 Contractor : DBM Geotech

Easting : 412090.02
 Northing : 5794158.03
 UTM : 55H
 Drill Rig : Push Tube
 Inclination :

Sheet : 1 OF 1
 Logged
 Logged Date : 21/04/2026
 Checked :
 Checked Date : 28/04/2026

Drilling Method	Remarks	Water	Depth (m)	Graphic Log	Classification Code	Material Description	Moisture	Consistency/Density	Samples
			0.2		ML	Clayey SILT ML: firm, low plasticity, grey, dry, (category 3a).	D	F	
					CI	Silty CLAY CI: stiff to very stiff, medium plasticity, light brown and pale grey, inorganic, dry, (category 5a).		St-VSt	
BH2 Terminated at 1.5 m									

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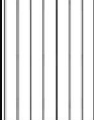

DBM GEOTECH

REPORT OF BOREHOLE: BH3

Job No : 26131
 Client : . Owner / Designer
 Project : 130 Veysey Road, Neerim East
 Location : 130 Veysey Rd, Neerim East VIC 3831, Australia
 Contractor : DBM Geotech

Easting : 412155.09
 Northing : 5794117.45
 UTM : 55H
 Drill Rig : Push Tube
 Inclination :

Sheet : 1 OF 1
 Logged
 Logged Date : 21/04/2026
 Checked :
 Checked Date : 28/04/2026

Drilling Method	Remarks	Water	Depth (m)	Graphic Log	Classification Code	Material Description	Moisture	Consistency/Density	Samples
			0.3		ML	Clayey SILT ML: firm, low plasticity, grey, dry, (category 3a).	D	F	
			0.7		CI	Silty CLAY CI: stiff to very stiff, medium plasticity, brown with some red, inorganic, dry, (category 5a).		St-VSt	
					CI	Light brown and pale grey.			
						BH3 Terminated at 1.6 m			

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EXPLANATION OF ABBREVIATIONS AND DESCRIPTIVE TERMS USED ON BOREHOLE AND TEST PIT LOGS

DRILLING/EXCAVATION METHOD

AD	Auger Drilling	EX	Tracked Hydraulic Excavator
HA	Hand Auger	BH	Backhoe
W	Washbore	HAND	Excavated by Hand Methods

WATER

	Water level shown at date		Water Inflow
GROUNDWATER NOT OBSERVED	The observation of groundwater, weather present or not, was not possible due to drilling water, surface seepage or cave in of the borehole/test pit		
GROUNDWATER NOT ENCOUNTERED	The borehole/test pit was dry soon after excavation. However, groundwater could be present in less permeable strata. Inflow may have been observed had the borehole/test pit been left open for a longer period.		

SAMPLING AND TESTING

SPT	Standard Penetration Test
DS	Disturbed sample
BDS	bulk disturbed sample
W	water sample
FP	field permeability test over section noted
FV	field vane shear tests expressed as uncorrected shear strength
U50	thin walled tube sample
PP	pocket penetrometer test expressed as instrument reading in kPa

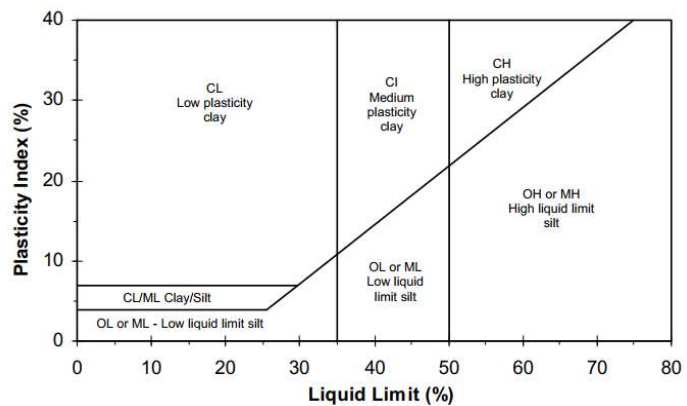
CLASSIFICATION AND INFERRED STRATIGRAPHY

Soil and Rock is classified and describe in Report of Boreholes and Test pits using the preferred method given in AS1726 – 2017, Appendix A. The material properties are assessed in the field by visual/tactile methods.

Particle Size

Major Division	Sub Division	Particle Size
BOULDERS		> 200 mm
COBBLES		63 to 200 mm
GRAVEL	Coarse	20 to 63 mm
	Medium	6.0 to 20 mm
	Fine	2.0 to 6.0 mm
SAND	Coarse	0.6 to 2.0 mm
	Medium	0.2 to 0.6 mm
	Fine	0.075 to 0.2 mm
SILT		0.002 to 0.075 mm
CLAY		< 0.002 mm

Plasticity Properties



MOISTURE CONDITION

AS1276 - 2017

Symbol	Term	Description
D	Dry	Sand and gravels are free flowing. Clays & silts may be brittle or friable and powdery.
M	Moist	Soils are darker than in the dry condition and may fell cool. Sans and gravels tend to cohere.
W	Wet	Soils exude free water. Sands and gravels tend to cohere.

CONSISTENCY AND DENSITY

Symbol	Term	Undrained Shear strength	Symbol	Term	Density index %
VS	Very Soft	0 to 12 kPa	VL	Very Loose	Less than 15
S	Soft	12 to 25 kPa	L	Loose	15 to 35
F	Firm	25 to 50 kPa	MD	Medium Dense	35 to 65
St	Stiff	50 to 100 kPa	D	Dense	65 to 85
VSt	Very Stiff	100 to 200 kPa	VD	Very Dense	Above 85
H	Hard	Above 400 kPa			

In the absence of test results, consistency and density may be assessed from correlations with the observed behaviour of the material.

ROCK MATERIAL WEATHERING

RS	Residual Soil	Soil developed on extremely weather rock; the mass structure and substance fabric are no longer evident; there is a large change in volume but the soil has not been significantly transported.
EW	Extremely weathered	Rock is weathered to such an extent that it has soil properties, i.e. it either disintegrates or can be remoulded, in water.
HW	Highly weathered	The whole of the rock material is discoloured to the extent that the colour of the original rock is not recognizable. Rock strength is significantly changed by weathering.

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Victorian Land Capability Assessment Framework
Subsurface Irrigation DLR = 3.0mm/day

Please read the attached notes before using this spreadsheet																
Irrigation area sizing using Nominated Area Water Balance for Zero Storage																
Site Address:		130 Veysey Road, Neerim East, VIC, 3831														
Date:		21-Apr-26				Assessor:										
INPUT DATA																
Design Wastewater Flow	Q	720	L/day	Based on 5 bed home, 120L/day loading rate												
Design Irrigation Rate	DIR	3.0	mm/day	Based on soil texture class/permeability and derived from Table 4.8 in the EPA 2024												
Nominated Land Application Area	L	285	m ²													
Crop Factor	C	0.8	unitless	Estimates evapotranspiration as a fraction of pan evaporation; varies with season and crop type ²												
Rainfall Runoff Factor	RF	0.7	unitless	Proportion of rainfall that remains onsite and infiltrates, allowing for any runoff												
Mean Monthly Rainfall Data	Neerim South (85202)			BoM Station and number												
Mean Monthly Pan Evaporation Data	Neerim South			Synthetic Pan Evaporation from BOM Australian Water Outlook [-37.996 145.998]												
Parameter	Symbol	Formula	Units	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Total
Days in month	D		days	31	28	31	30	31	30	31	31	30	31	30	31	365
Rainfall	R		mm/month	62.6	53.9	65.1	73.4	71.7	76.6	79	87.5	103.1	102	88.5	80.6	944
Evaporation	E		mm/month	218.6	179.0	148.2	91.5	63.6	47.0	53.3	74.9	99.8	137.7	163.0	201.2	1477.7561
Crop Factor	C		unitless	0.80	0.80	0.70	0.70	0.60	0.60	0.60	0.60	0.70	0.80	0.80	0.80	
OUTPUTS																
Evapotranspiration	ET	ExC	mm/month	175	143	104	64	38	28	32	45	70	110	130	161	1100.4878
Percolation	B	DIRxD	mm/month	93.0	84	93.0	90.0	93.0	90.0	93.0	93.0	90.0	93.0	90.0	93.0	1095.0
Outputs		ET+B	mm/month	267.9	227.1609756	196.8	154.0	131.2	118.2	125.0	137.9	159.9	203.1	220.4	253.9	2195.5
INPUTS																
Retained Rainfall	RR	RxRF	mm/month	43.82	37.73	45.57	51.38	50.19	53.62	55.3	61.25	72.17	71.4	61.95	56.42	660.8
Applied Effluent	W	(QxD)/L	mm/month	78.3	70.7	78.3	75.8	78.3	75.8	78.3	78.3	75.8	78.3	75.8	78.3	922.1
Inputs		RR+W	mm/month	122.1	108.5	123.9	127.2	128.5	129.4	133.6	139.6	148.0	149.7	137.7	134.7	1582.9
STORAGE CALCULATION																
Storage remaining from previous month			mm/month	0.0	0.0	0.0	0.0	0.0	0.0	11.2	19.8	21.5	9.6	0.0	0.0	
Storage for the month	S	(RR+W)-(ET+B)	mm/month	-145.8	-118.7	-72.9	-26.9	-2.7	11.2	8.6	1.6	-11.9	-53.4	-82.7	-119.2	
Cumulative Storage	M		mm	0.0	0.0	0.0	0.0	0.0	11.2	19.8	21.5	9.6	0.0	0.0	0.0	
Maximum Storage for Nominated Area	N		mm	21.46												
	V	NxL	L	6116												
LAND AREA REQUIRED FOR ZERO STORAGE																
			m ²	100	106	148	210	276	334	320	291	246	169	136	113	
MINIMUM AREA REQUIRED FOR ZERO STORAGE:				335.0	m ²											
+30% FOR SLOPE AND ASPECT				435.5	m ²											
CELLS																
				Please enter data in blue cells												
		XX		Red cells are automatically populated by the spreadsheet												
		XX		Data in yellow cells is calculated by the spreadsheet, DO NOT ALTER THESE CELLS												
NOTES																
¹ This value should be the largest of the following: land application area required based on the most limiting nutrient balance or minimum area required for zero storage																
² Values selected are suitable for mixture of grass and eucalyptus trees																

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Victorian Land Capability Assessment Framework

Advertised

Please read the attached notes before using this spreadsheet									
Nitrogen Balance									
Site Address:		130 Veysey Road, Neerim East, VIC, 3831							
SUMMARY - LAND APPLICATION AREA REQUIRED BASED NITROGEN BALANCE								239	m ²
INPUT DATA ¹									
Wastewater Loading					Nutrient Crop Uptake				
Hydraulic Load	720	L/day	Crop N Uptake	220	kg/ha/yr	which equals	60.27	mg/m ² /day	
Effluent N Concentration	25	mg/L							
% N Lost to Soil Processes (Geary & Gardner 1996)	0.2	Decimal							
Total N Loss to Soil	3600	mg/day							
Remaining N Load after soil loss	14400	mg/day							
NITROGEN BALANCE BASED ON ANNUAL CROP UPTAKE RATES									
Minimum Area required with zero buffer			Determination of Buffer Zone Size for a Nominated Land Application Area (LAA)						
Nitrogen	239	m ²	Nominated LAA Size	239	m ²				
			Predicted N Export from LAA	0.00	kg/year				
			Minimum Buffer Required for excess nutrient	0	m ²				
CELLS									
	XX		Please enter data in blue cells						
	XX		Red cells are automatically populated by the spreadsheet						
	XX		Data in yellow cells is calculated by the spreadsheet, DO NOT ALTER THESE CELLS						
NOTES									
¹ Model sensitivity to input parameters will affect the accuracy of the result obtained. Where possible site specific data should be used. Otherwise data should be obtained from a reliable source such as:									
- EPA Guidelines for Effluent Irrigation									
- Appropriate Peer Reviewed Papers									
- Environment and Health Protection Guidelines: Onsite Sewage Management for Single Households									
- USEPA Onsite Systems Manual									

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Appendix B

Limitations

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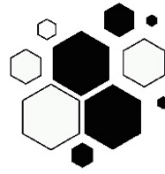
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Euca Planning

Bushfire Specialists



Bushfire Planning Report Version 1.1 (Including Bushfire Management Statement)

Lot 2 LP131856
130 Veysey Road Neerim East 3831

February 6th, 2026.

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Memberships

- Member of Planning Institute of Australia (MPIA)
- Corporate Bronze Member of Fire Protection Association of Australia

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Requirements detailed in this document do not guarantee survival of the buildings or the occupants. The client is strongly encouraged to develop and practice a bushfire survival plan.

Information and assistance including a template for a Bushfire Survival Plan is provided as part of the 'Fire Ready Kit' available through the CFA website at www.cfa.vic.gov.au or through your local CFA Regional office.

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Version Control

	Name	Date Completed	Comments
Field Assessment		5/02/2026	
Mapping		14/10/2025	
Initiate report		14/10/2025	
Draft report		06/02/2026	
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Revision		01/05/2026	

Revised BMP

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Executive Summary

This report has been prepared to support a planning permit for a replacement dwelling at 130 Veysey Road Neerim East. The site is within the Bushfire Management Overlay (BMO) and is required to demonstrate that the development has regard for the surrounding bushfire hazards.

This report presents a comprehensive assessment of the hazards and suggests mitigation measures to improve the protection of life and property for the development. The site is within the Farming Zone and requires a Pathway 2 application to meet the objectives and approval measures of Clause 53.02 of the Baw Baw Planning Scheme. As such a Pathway 2 style response has been adopted for this report.

This report includes the following components:

- A **Clause 13.02 Bushfire Assessment** that considers the policy context.
- A **Bushfire Hazard Landscape Assessment** that considers the landscape risk and whether the Clause 53.02 modelled fire assumptions are adequate.
- A **Bushfire Hazard Site Assessment** considering localised hazards, defensible space and the bushfire attack level.
- The design response (**Bushfire Management Statement**) to the relevant approval measures in Clause 53.02 from the Baw Baw Planning Scheme.
- The **Bushfire Management Plan** that responds to the site and the proposed development, including the standard CFA permit conditions.

The development site is in West Gippsland, approximately 7 kilometres north-east of the Neerim South Township. Grassland and forest exist close to the site, with grassland and forest in the broader landscape. Veysey Road is the egress route from this area connecting to the south and north. The site is a 6-minute travel time by car to the Neerim South Township.

The Bushfire Management Statement demonstrates that the defensible space objectives can be met for Column D of Table 2 to Clause 53.02-5 with a construction level of BAL40 access and water supply provided.

Due to the grassland and forest beyond the site, and the grassland and forest close to the site, the proposed development is expected to be affected by a moderate level of ember attack in the event of a bushfire and some radiant heat from localised ignitions. A BAL of 40 is deemed appropriate for the construction as the siting is fixed due to the steep decline to the south with forest presence and excessive cost to resite a replacement dwelling. The proposal responds to Clause 13.02-1S of the Baw Baw Planning Scheme by being a replacement dwelling for a dwelling lost to house fire.

The development can meet the approval measures within Clause 53.02 for Column D of Table 2 to Clause 53.02-5, with a BAL of 40 based on an FFDI of 100 and a flame temperature of 1090K.

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1.0 Introduction

This Bushfire Management Statement (BMS) has been prepared to enable the applicants to respond to the requirements of Clause 44.06 Bushfire Management Overlay (BMO) (known from this point on as Clause 44.06), and in accordance with the application requirements of Clause 53.02 – Bushfire Protection: Planning Requirements (known from this point on as Clause 53.02).

The statement contains these components:

1. A **Clause 13.02-1S assessment** that considers the strategic intent of the Baw Baw Planning Scheme.
2. A **bushfire hazard landscape assessment** including a plan that describes the bushfire hazard of the general locality more than 150 metres from the site.
3. A **bushfire hazard site assessment** including a plan that describes the bushfire hazard within 150 metres of the proposed development. The description of the hazard has been prepared in accordance with Section 2.2.3 to 2.2.5 of AS3959:2018 Construction of buildings in bushfire prone areas (Standards Australia) and is supported by photographs to assist in describing the bushfire hazard.
4. A **bushfire management statement** describing how the proposed development responds to the requirements of Clause 44.06 and 53.02.
5. A **bushfire management plan** that spatially records the bushfire mitigation measures for endorsement with the planning permit.

1.1 Application Details

Municipality	Baw Baw Shire Council
Title description	Lot 2 LP131856 130 Veysey Road Neerim East
Overlays	Bushfire Management Overlay (BMO), Development Contributions Plan Overlay – Schedule 1 (DCPO1)
Zoning	Farming Zone (FZ)

1.2 Site Description

Site shape	Polygon
Site Dimensions	The property has front to Veysey Road of approximately 122 metres and a property depth of 211 metres and 264 metres.
Site area	Approximately 2ha
Existing use and siting of buildings and works on and near the land	The land is rural lifestyle with existing outbuildings and dwelling lost to housefire
Existing vehicle arrangements	From Veysey Road
Nearest fire hydrant	Not applicable
Private bushfire shelter	Not proposed
Any other site features relevant to bushfire risk	State forest to the north and west in the greater landscape Grassland close to site

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1.3 Site Location



Figure One – Property Location – identified with the blue dot, and the dashes central to the map (VicPlan, 2025)



Figure Two – Property Location (VicPlan, 2025)

2.0 Planning Policy Framework

2.1 Planning Policy Framework

Clause 71.02-3 (integrated decision making) of the Planning Scheme has been recently amended and provides that:

Planning authorities and responsible authorities should endeavour to integrate the range of planning policies relevant to the issues to be determined and balance conflicting objectives in favour of net community benefit and sustainable development for the benefit of present and future generations. However in bushfire affected areas, planning authorities and responsible authorities must prioritise the protection of human life over all other policy considerations.

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Clause 13.02-1S (Bushfire) of the Planning Scheme applies to all decision making and seeks to:

*To strengthen the resilience of settlements and communities to bushfire through **risk-based planning** that prioritises the protection of human life.*

[Emphasis added]

Clause 13.02-1S includes a number of strategies to achieve that objective. Broadly these strategies include:

- prioritising the protection of human life;
- requiring a robust assessment of the bushfire hazard and risk assessment before any strategic or statutory decision is made; and
- directing population growth and new settlements to low risk locations.

Importantly in relation to the protection of human life, clause 13.02-1S includes the following requirements:

Give priority to the protection of human life by:

- *Prioritising the protection of human life over all other policy considerations.*
- *Directing population growth and development to low risk locations and ensuring the availability of, and safe access to, areas where human life can be better protected from the effects of bushfire.*
- *Reducing the vulnerability of communities to bushfire through the consideration of bushfire risk in decision-making at all stages of the planning process.*

In relation to Bushfire hazard identification and assessment, clause 13.02-1S includes the following relevant requirements:

Identify bushfire hazard and undertake appropriate risk assessment by:

- *Applying the best available science to identify vegetation, topographic and climatic conditions that create a bushfire hazard.*
- *Considering the best available information about bushfire hazard including the map of designated bushfire prone areas prepared under the Building Act 1993 or regulations made under that Act.*
- *Considering and assessing the bushfire hazard on the basis of:*
 - *Landscape conditions - meaning conditions in the landscape within 20 kilometres (and potentially up to 75 kilometres) of a site;*
 - *Local conditions - meaning conditions in the area within approximately 1 kilometre of a site;*
 - *Neighbourhood conditions – meaning conditions in the area within 400 metres of a site; and*
 - *The site for the development.*
- *Consulting with emergency management agencies and the relevant fire authority early in the process to receive their recommendations and implement appropriate bushfire protection measures.*
- *Ensuring that strategic planning documents, planning scheme amendments,*

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planning permit applications and development plan approvals properly assess bushfire risk and include appropriate bushfire protection measures.

- *Not approving development where a landowner or proponent has not satisfactorily demonstrated that the relevant policies have been addressed, performance measures satisfied or bushfire protection measures can be adequately implemented.*

Importantly in relation to settlement planning, clause 13.02-1S includes the following requirements:

Plan to strengthen the resilience of settlements and communities and prioritise protection of human life by:

- *Directing population growth and development to low risk locations, being those locations assessed as having a radiant heat flux of less than 12.5 kilowatts/square metres under AS 3959-2018 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2018).*
- *Ensuring the availability of, and safe access to, areas assessed as a BAL-LOW rating under AS 3959-2018 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2018) where human life can be better protected from the effects of bushfire.*
- *Ensuring the bushfire risk to existing and future residents, property and community infrastructure will not increase as a result of future land use and development.*
- *Achieving no net increase in risk to existing and future residents, property and community infrastructure, through the implementation of bushfire protection measures and where possible reduce bushfire risk overall.*
- *Assessing and addressing the bushfire hazard posed to the settlement and the likely bushfire behaviour it will produce at a landscape, settlement, local, neighborhood and site scale, including the potential for neighborhood-scale destruction.*
- *Assessing alternative low risk locations for settlement growth on a regional, municipal, settlement, local and neighborhood basis.*
- *Not approving any strategic planning document, local planning policy, or planning scheme amendment that will result in the introduction or intensification of development in an area that has, or will on completion have, more than a BAL-12.5 rating under AS 3959-2018 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2018).*

In relation to use and development control in a Bushfire Prone Area as set out in the Planning and Environment Act 1987, clause 13.02-1S includes the following relevant requirements:

Use and development control in a Bushfire Prone Area in a bushfire prone area designated in accordance with regulations made under the Building Act 1993, bushfire risk should be considered when assessing planning applications for the following uses and development:

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... Accommodation

When assessing a planning permit application for the above uses and development:

- Consider the risk of bushfire to people, property and community infrastructure.
- Require the implementation of appropriate bushfire protection measures to address the identified bushfire risk.
- Ensure new development can implement bushfire protection measures without unacceptable biodiversity impacts.

When these strategies are read together it is clear that any future development would be required to provide a considered assessment of the bushfire risk. As such, the development must ensure it responds to bushfire risk. The purpose of this report is to undertake such an assessment for the site including an assessment of the likely fire behaviour and the risk to future residents. It is acknowledged that this site is subject to the Bushfire Management Overlay and Parts 3 to 5 of this report specifically address the application requirements of Clause 44.06 and 53.02 of the Baw Baw Planning Scheme.

In the context of strategic planning decisions, these strategies need to be read as on balance and consider the 'net increase in risk to existing and future residents'. As it relates to the objectives at Clause 13.02-1S of the Planning Scheme, it is necessary to ensure that the protection of human life is prioritised when decisions are made. However the strategies listed at Clause 13.02-1S in the Planning Scheme are not 'mandatory requirements' and it is not necessary to 'tick every box'. It is more important to ensure that decisions are consistent with the State policy objectives and build resilient communities.

2.2 Planning Policy Framework Assessment

2.2.1 Objective

Clause 13.02-1S seeks 'to strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life'.

2.2.2 Application

The policy must be applied to all planning and decision making under the Planning and Environment Act 1987 relating to land which is within a designated bushfire prone area; or subject to a Bushfire Management Overlay.

Bushfire Prone Area and Bushfire Management Overlay

The planning proposal area is included in the Bushfire Prone Area (BPA) as described in Planning Advisory Note 46 (2013), the BPA is a building regulation tool that identifies where moderate bushfire hazard can be expected. It applies to areas subject to the BMO, and to areas that experience a lower head fire intensity modelled to be between 4,000kW/m and 30,000kW/m. This level of hazard informs areas declared as bushfire prone in the building system. Areas at the upper end of the bushfire intensity range (that is 28,000kW/m and above and referred to as BHL1b) are considered, where appropriate, for applying the BMO based on the advice of the

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relevant fire authority. The land is contained in the BMO. The entire planning proposal site is subject to the BPA and the BMO. The greater area in Neerim East is also in the BPA and BMO reflecting the moderate to high bushfire hazard that can be expected from the vegetation.

In December 2017, Clause 13.02-1S of the Baw Baw Planning Scheme was amended to specifically refer to Bushfire Prone Areas and to strengthen the consideration of bushfire risk in all planning decisions. As the site is fully contained within the Bushfire Prone Area, the minimum level of construction for all dwellings is BAL 12.5, and this bushfire risk must be considered.

2.2.3 Strategies

Protection of human life

<i>Give priority to the protection of human life by:</i>	<i>Response</i>
<p>Prioritising the protection of human life over all other policy considerations.</p>	<ul style="list-style-type: none"> - This proposal provides for a replacement dwelling that responds to the risk of bushfire through siting and construction. - The proposal can be undertaken in a manner that will maintain the safety of adjacent properties and residents at a similar level. - The existing clearing is used in addition to additional vegetation management.
<p>Directing population growth and development to low risk locations and ensuring the availability of, and safe access to, areas where human life can be better protected from the effects of bushfire.</p>	<ul style="list-style-type: none"> - The lot has existed for many years and is a legacy rural lifestyle lot with an existing dwelling lost to housefire and outbuildings. - The overall design can respond to the location by setback from the boundaries and establishment of defensible space around the replacement dwelling as far as practicable given the existing earthworks on site for the house-pad. - The existing road network facilitates reasonable egress towards the established Neerim South Township.
<p>Reducing the vulnerability of communities to bushfire through the consideration of bushfire risk in decision-making at all stages of the planning process.</p>	<ul style="list-style-type: none"> - An application to develop land needs to articulate how the design responds to the identified bushfire risk. - The replacement dwelling has been designed and sited to respond to bushfire with the assessment of the bushfire risk being undertaken to ensure the replacement dwelling maximises the separation from the hazard and achieves a radiant heat exposure no greater than 40kW/m². Resulting further from the northern boundary was considered but the earthworks would be substantial. The northern elevation benefits from a large cut.

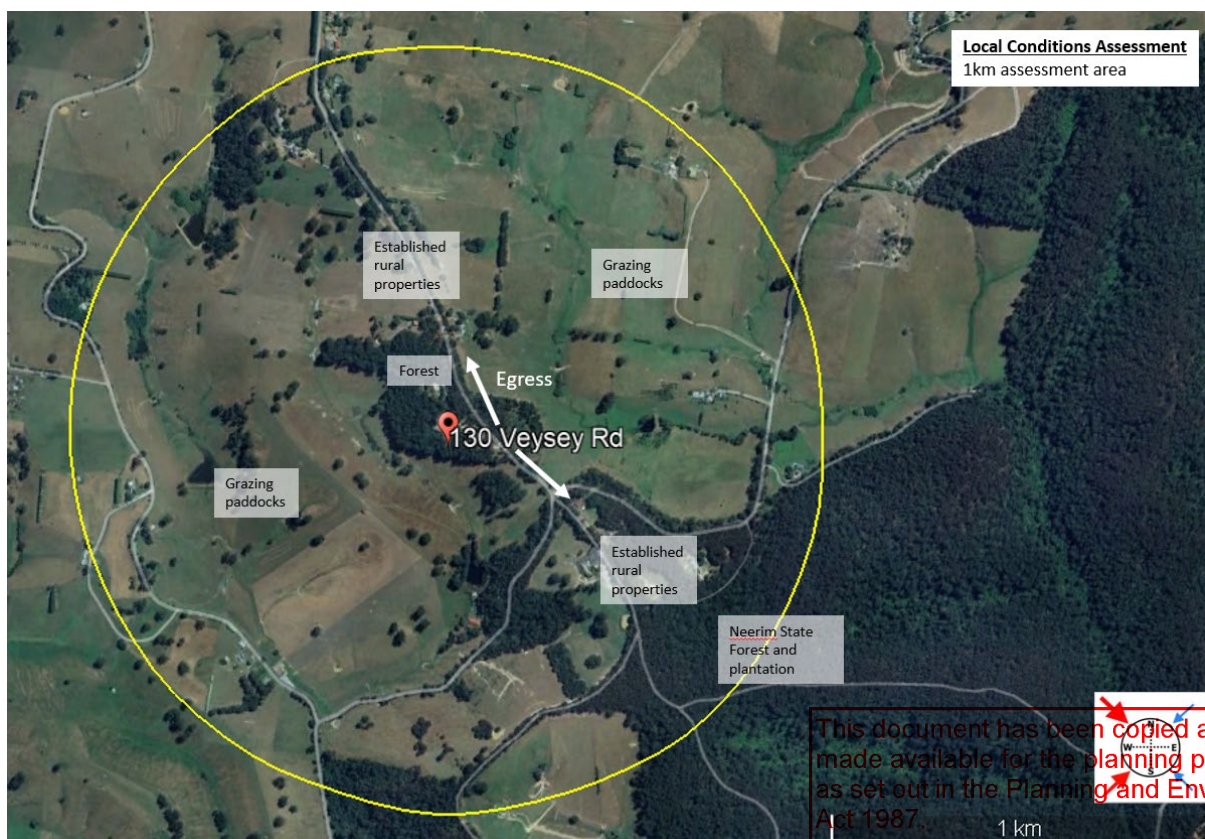
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Bushfire hazard identification and assessment

<i>Identify bushfire hazard and undertake appropriate risk assessment by:</i>	<i>Response</i>
Applying the best available science to identify vegetation, topographic and climatic conditions that create a bushfire hazard.	<ul style="list-style-type: none"> - The Baw Baw Planning Scheme relies on the planning proposal to respond to bushfire based on current assessment methods. - Clauses 13.02-1S, 44.06 and 53.02 are to be considered for proposal. - Clause 71.02-3 <i>Integrated Decision Making</i> strengthens the importance of bushfire planning as an appropriate tool to reconcile potential conflicts in design and vision. - The assessment method aligns with AS3959-2018 and is provided in this report (see Section 4).
Considering the best available information about bushfire hazard including the map of designated bushfire prone areas prepared under the Building Act 1993 or regulations made under that Act.	<ul style="list-style-type: none"> - Consistent with the revised Clause 13.02-1S, the planning proposal responds to the Bushfire Prone Area and the Bushfire Management Overlay. - This report demonstrates that sufficient setbacks from the vegetation can be achieved to meet Column D of Table 2 of Clause 53.02. - Detailed design and consideration of the development application is reinforced by the preliminary planning drawings.
Applying the Bushfire Management Overlay in planning schemes to areas where the extent of vegetation can create an extreme bushfire hazard	The BMO does apply to this land recognising that the land is in an area of high bushfire hazard. The BMO is addressed in Sections 3 to 5 of this report.
Considering and assessing the bushfire hazard on the basis of: <ul style="list-style-type: none"> • Landscape conditions - meaning the conditions in the landscape within 20 kilometres and potentially up to 75 kilometres from a site; • Local conditions - meaning conditions in the area within approximately 1 kilometre from a site; • Neighbourhood conditions - meaning conditions in the area within 400 metres of a site; and, • The site for the development 	<ul style="list-style-type: none"> - An assessment of Clause 13.02 is provided in Section 3.0 of this report. - As it is a replacement dwelling in the BMO all scales of consideration are applied. - The site conditions are considered through the Bushfire Hazard Site Assessment.
Consulting with emergency management agencies and the relevant fire authority early in the process to receive their recommendations and implement appropriate	It is expected that this development would be referred to CFA for consideration as it is in the Bushfire Management Overlay.

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bushfire protection measures.	
Ensuring that strategic planning documents, planning scheme amendments, planning permit applications and development plan approvals properly assess bushfire risk and include appropriate bushfire protection measures	<ul style="list-style-type: none"> - The content of this report provides a solid foundation for the design and subsequent approval of the planning proposal, with regard to bushfire risk. - Assessing the site-based bushfire risk and including appropriate bushfire protection measures (e.g. managed land, BALs, separation from the hazard) enables the achievement of the direction of the Planning Scheme.
Not approving development where a landowner or proponent has not satisfactorily demonstrated that the relevant policies have been addressed, performance measures satisfied or bushfire protection measures can be adequately implemented.	<ul style="list-style-type: none"> - This element of the revised Clause 13.02-1S is the most important element and empowers the Responsible Authority to not approve a permit application until it is satisfied with the bushfire protection measures being implemented. - This report demonstrates that the risk of bushfire should not be a reason for refusal.

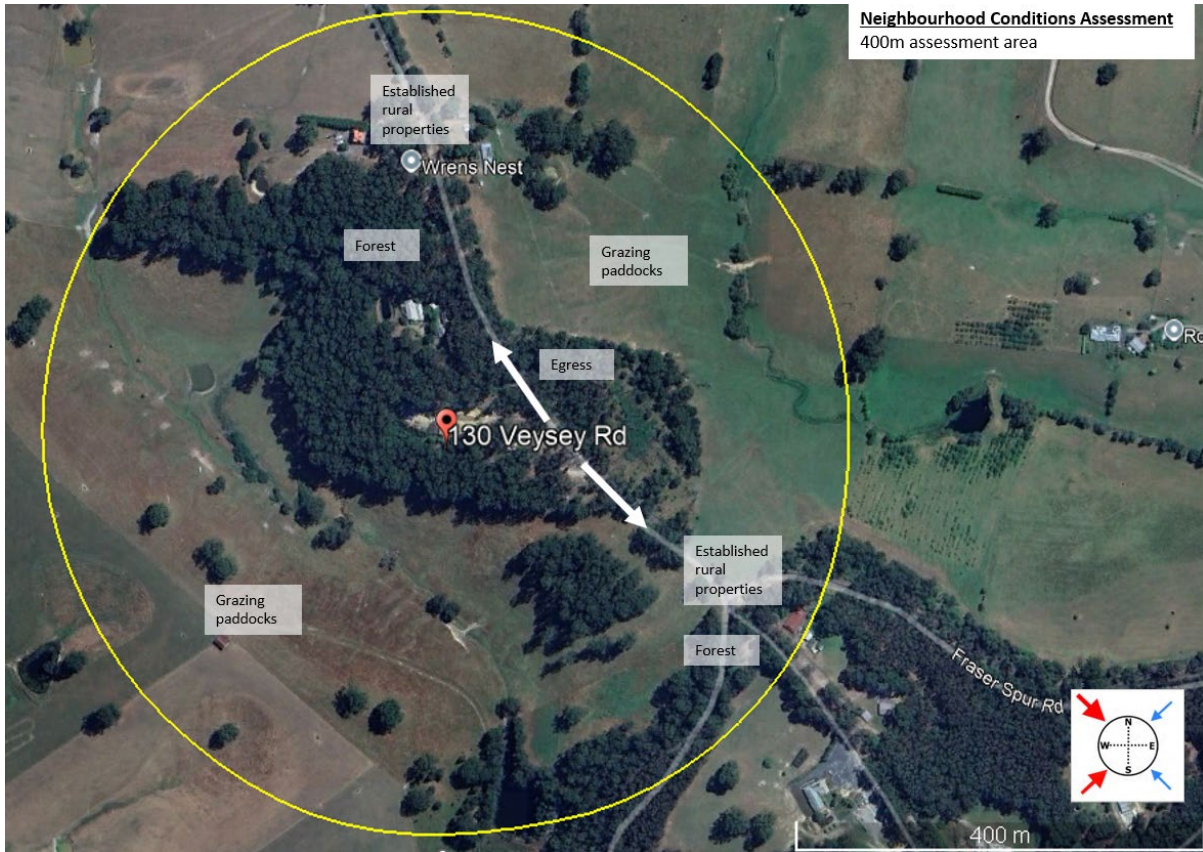


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Settlement Planning

<i>Plan to strengthen the resilience of settlements and communities and prioritise protection of human life by:</i>	<i>Response</i>
Directing population growth and development to low risk locations, being those locations assessed as having a radiant heat flux of less than 12.5 kilowatts/square metres under AS3959-2018 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2018).	<ul style="list-style-type: none"> - Recognising the land is at high risk from bushfire, development of land with a dwelling should only proceed where all elements of the BMO are achieved. - This report demonstrates that this goal is achieved including the provision of the greatest separation from the hazard and appropriate level of construction within the constraints of the site. - The replacement dwelling has a siting that has been assessed as having a radiant heat flux of less than 40 kW/m² under AS3959-2018.
Ensuring the availability of, and safe access to, areas assessed as a BAL-LOW rating under AS3959-2018 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2018) where human life can be better	<ul style="list-style-type: none"> - The nature of the settlement of Neerim East, provides access with a 6 minute drive to areas of the Neerim South township that constitute BAL-LOW.

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protected from the effects of bushfire	
Ensuring the bushfire risk to existing and future residents, property and community infrastructure will not increase as a result of future land use and development.	<ul style="list-style-type: none"> - The establishment and maintenance of defensible space will accompany the approval of the replacement dwelling. The increased level of vegetation management will reduce the risk of bushfire for the existing properties and residents.
Achieving no net increase in risk to existing and future residents, property and community infrastructure, through the implementation of bushfire protection measures and where possible reduce bushfire risk overall.	<ul style="list-style-type: none"> - The replacement dwelling will implement the current regulations pertaining to bushfire construction. This measure has been implemented in the design of the building and will be carried out through to the completion of the building.
Assessing and addressing the bushfire hazard posed to the settlement and the likely bushfire behaviour it will produce at a landscape, settlement, local, neighbourhood and site scale, including the potential for neighbourhood-scale Destruction	<ul style="list-style-type: none"> - An assessment is provided in Section 3.0 and 4.0 of this report. - As it is a replacement dwelling in the BMO all scales of consideration are applied. - The site conditions are best considered through the Bushfire Hazard Site Assessment methodology.
Assessing alternative low risk locations for settlement growth on a regional, municipal, settlement, local and neighbourhood basis.	<ul style="list-style-type: none"> - The proposal is an existing lot in an established farming and lifestyle area.
Not approving any strategic planning document, local planning policy, or planning scheme amendment that will result in the introduction or intensification of development in an area that has, or will on completion have, more than a BAL-12.5 rating under AS3959-2018.	<ul style="list-style-type: none"> - The proposal is a statutory planning application only.

Areas of high biodiversity conservation value

Ensure settlement growth and development approvals can implement bushfire protection measures without unacceptable biodiversity impacts by discouraging settlement growth and development in bushfire affected areas that are of high biodiversity conservation value.

Assessment of the development

- The clearing on the north side of the existing dwelling (lost to housefire) has been used to minimise the removal of vegetation.
- Removal of vegetation in accordance with defensible space requirements.

Use and development control in a Bushfire Prone Area

In a bushfire prone area designated in accordance with regulations made under the Building Act 1993, bushfire risk should be considered when assessing planning applications for accommodation.

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Assessment of the proposal's response:

When assessing a planning permit application for the above uses and development:	Response
Consider the risk of bushfire to people, property and community infrastructure.	Consistent with Clause 13.02-1S, Clause 53.02 of the Scheme has been used as a guide and is supported by a landscape analysis that demonstrates that the risk to people, property and the asset can be appropriately mitigated by its inherent design features in this specific location – specifically siting, separation from the hazard, building construction, and defensible space.
Require the implementation of appropriate bushfire protection measures to address the identified bushfire risk.	<ul style="list-style-type: none"> - The development provides a siting that achieves Column D separation to the hazard in the north. - The design of the replacement dwelling is in accordance with BAL40 of AS3959.
Ensure new development can implement bushfire protection measures without unacceptable biodiversity impacts.	This report assesses the bushfire hazard and does not make any specific judgement on biodiversity.

2.2.4 Policy Guidelines

Planning must consider as relevant:	Response
Any relevant approved State, regional and municipal fire prevention plan.	Fire prevention measures ensure that planned burns of the landscape forest occurs.
AS3959-2018 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2018).	This is relevant through the derivation of Bushfire Attack Levels and is considered when referring to BAL40.
Building in bushfire-prone areas - CSIRO & Standards Australia (SAA HB36-1993, May 1993).	This is the handbook to AS3959-2018 and does not need to be considered directly by the planning proposal.
Any Bushfire Prone Area map prepared under the Building Act 1993 or regulations made under that Act.	The updated Bushfire Prone Area map has been considered in this report.

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3.0 Bushfire Hazard Landscape Assessment

The Bushfire Hazard Landscape Assessment includes a plan that describes the bushfire hazard of the general locality surrounding the site (Figure Three).

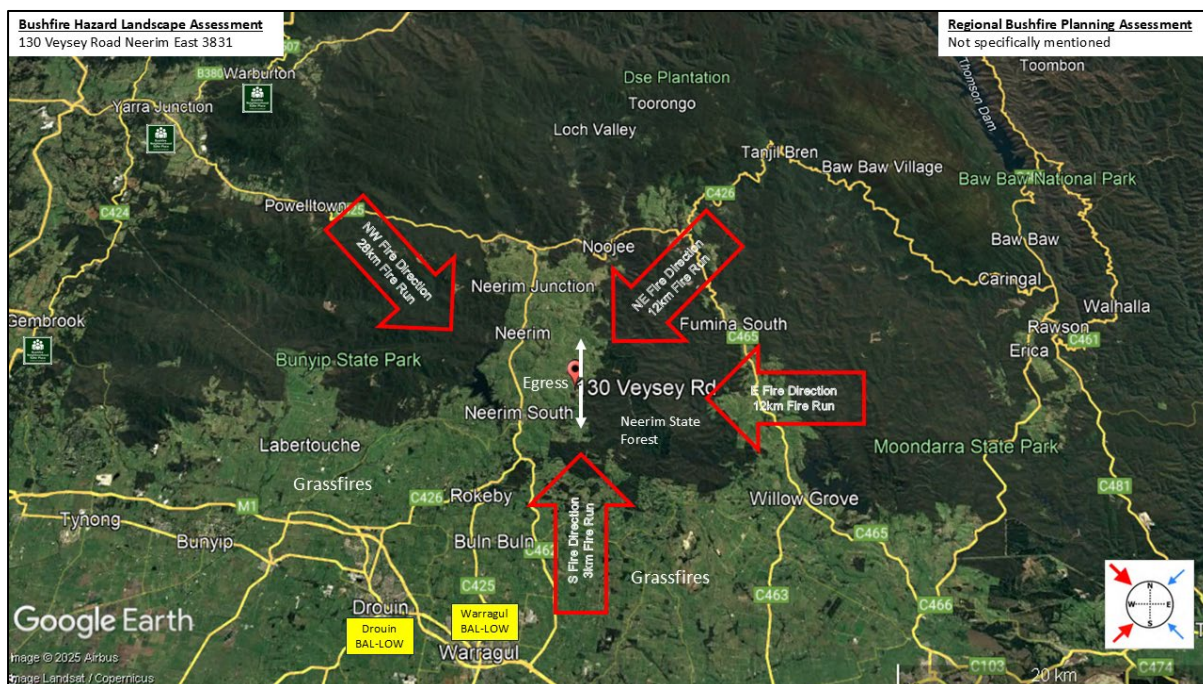


Figure Three – Bushfire Hazard Landscape Assessment

The landscape risk of a site is an important consideration when mitigating bushfire hazards. The landscape risk is the combination of several elements in the surrounding landscape. These relate to the vegetation extent, the area available to a landscape bushfire, the orientation of the ridgelines and the steepness of the terrain, the accessibility to low threat areas and the quality of the road networks surrounding the site.

The site is considered ‘**Landscape Type 3**’ as defined by DELWP guidance:

- The type and extent of vegetation located more than 150 metres from the site may result in neighbourhood-scale destruction as it interacts with the bushfire hazard on and close to a site.
- Bushfire can approach from more than one aspect.
- The site is located in an area that is not managed in a minimum fuel condition.
- Access to an appropriate place that provides shelter from bushfire is not certain.

The site will experience landscape fire scenarios that are within the assumptions of the Bushfire Management Overlay. The design of the replacement dwelling, the defendable space and consideration of egress is necessary to develop an appropriate site-escape plan. The site will experience ember attack, radiant heat and localised ignitions associated with the landscape fire.

3.1 Regional Bushfire Planning Assessment

The Regional Bushfire Planning Assessment (RBPA) for the Gippsland Region (2012) provides a high-level analysis of locations where the bushfire hazard may impact on planning objectives. The RBPA

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provides information where a range of land use planning matters intersect with a bushfire hazard to influence the level of risk to life and property from bushfire. This information is required to be used as part of strategic land use and settlement planning at the regional, municipal and local levels.

“The RBPA is not a statutory planning provision and does not directly translate into planning schemes. However, it complements planning scheme provisions such as the Bushfire Management Overlay (BMO) by providing spatial and qualitative information from a variety of sources which together can inform considerations about where bushfire should be assessed early in the strategic planning process.” RBPA – Gippsland Region (2012)

After review of the RBPA, it is noted that there is no reference to this area.

3.2 Vegetation Extent in the Broader Landscape

The vegetation in the broader landscape is predominantly forest and grassland. The vegetation is associated with large tracts in public ownership. To the north-west is the Bunyip State Forest and in the north-east is the Neerim State Forest and plantations. An indication of the Ecological Vegetation Classes in the landscape is provided below (site central to image).

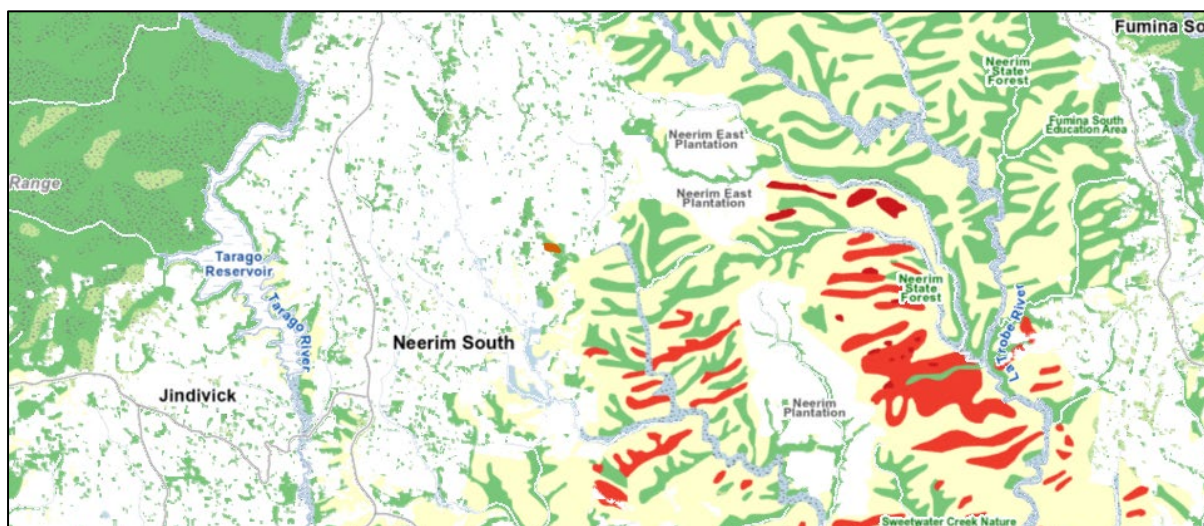


Figure Four – NatureKit Map of surrounds with subject site central to the image showing Heathy Woodland and Heathy (red), Lowland Forests (pale pink), Damp Forest and Wet Forest (green), and Riparian Forest (blue with dots) (NatureKit, 2025)

3.3 Topography

The topography of the surrounding landscape is typical of this area of the hinterland. The terrain comprises gentle rising from the highway corridor. More rugged terrain is located further north.

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site has been undertaken in refining the options and to inform the building design, siting, extent of vegetation management and building construction levels.

Scenario 1 – Bushfire from northeast

A fire from the northeast in the Neerim State Forest and plantations has the potential for a 12-kilometre fire run propagated by rugged terrain and extensive fuel load. This fire can be a landscape as forest extends further northeast into National Park. This fire is unlikely to block egress from the site towards Warragul, however early evacuation is advisable.

Scenario 2 – Bushfire from east

A fire of approximately 12 kilometres from the east in the Neerim State Forest can pass through the east of the site. This fire can be a landscape fire and will present to the site as ember attack, and localised ignition. This fire is unlikely to block egress from the site towards Warragul, however early evacuation is advisable.

Scenario 3 – Bushfire from south-west

A fire of approximately 3 kilometres through state forest will present to the site as ember attack and localised ignition. A convection column collapse will occur as forest interfaces the grassland, minimising fuel load. This fire cannot be a landscape fire, and could block egress to the Neerim South and Warragul, and early evacuation is advisable.

Scenario 4 – Bushfire from north-west

A fire approaching from the north-west has the potential for a 25km fire run propagated by a strong summer wind. This fire can be a landscape fire and will present to the site as ember attack, and localised ignition. This fire is unlikely to block egress from the site towards Warragul, however early evacuation is advisable, and historically has threatened the area.

3.7 Neighbourhood Safer Place – Place of Last Resort

There are no nearby designated Neighbourhood Safer Place – Place of Last Resort, with Warragul providing the nearest BAL-LOW shelter, with Neerim South increasing in size and expected to now provide BAL-LOW shelter in the main street area.

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4.0 Bushfire Hazard Site Assessment

The Bushfire Hazard Site Assessment includes a plan that describes the bushfire hazard within 150 metres of the proposed development. The description of the hazard is prepared in accordance with AS3959:2018 Construction of buildings in bushfire prone areas (Standards Australia, 2018) excluding any exclusions i.e. paragraph (a) of section 2.2.3.2 (Vegetation exclusions). Refer to Figure Seven.

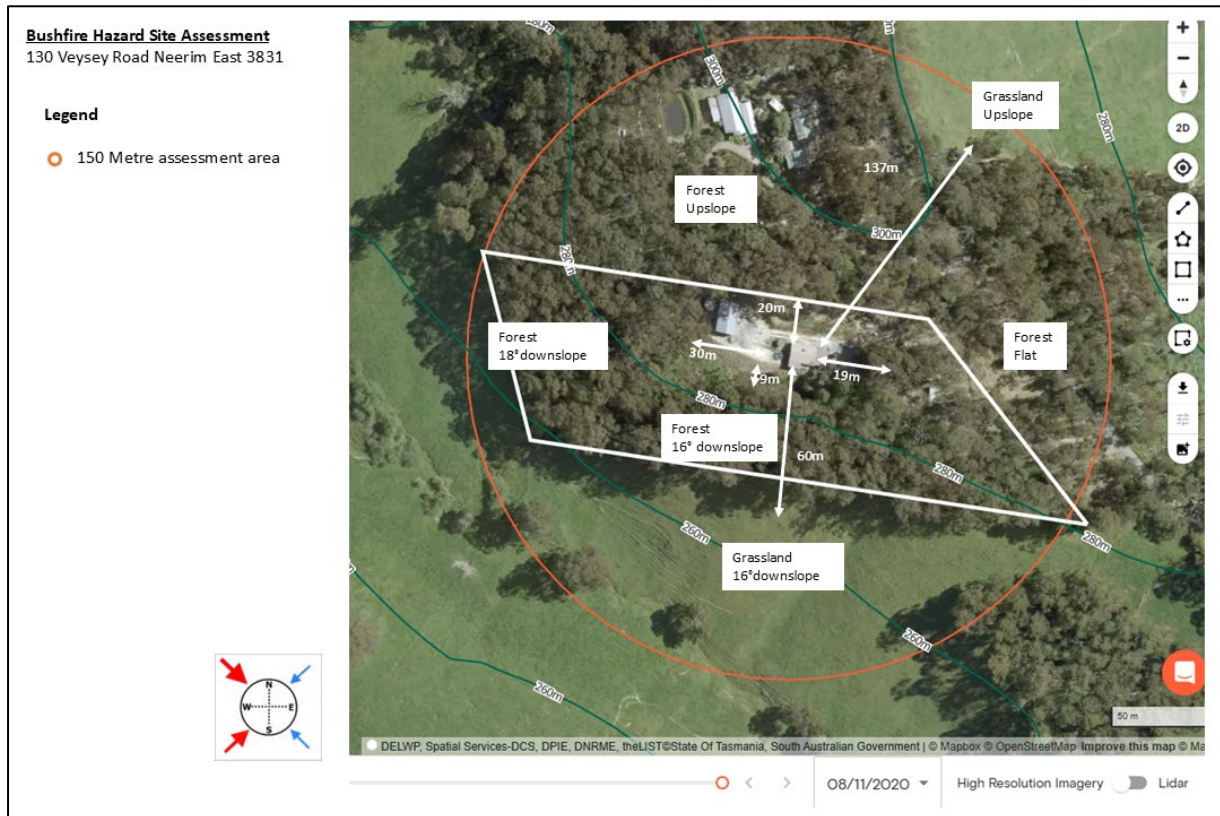


Figure Seven – Bushfire Hazard Site Assessment

4.1 Vegetation

The vegetation within the 150-metre assessment area was classified according to AS 3959, Practice Note 65 (DTPLI 2014) and the Overall Fuel Hazard Assessment Guide (DSE, 2010).

The Bushfire Hazard Site Assessment has been conducted to deliver the ‘Bushfire hazard identification and assessment’ strategy outlined in Clause 13.02-1S of the Scheme. This report demonstrates that the application meets the objective of Clause 13.02-1S ‘To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life’ by avoiding the bushfire hazard using maximum separation, and implementing bushfire mitigation measures that respond to the planning zone, the neighbourhood and site context, and the outcome of the assessment.

The Standard AS 3959 approach uses a generalised description of vegetation based on the AUSLIG Australian Natural Resources Atlas” No.7 Native Vegetation classification system. According to this method, vegetation can be classified into seven categories. Each category indicates a particular type of fire behaviour and these categories or classifications are then used to determine bushfire intensity. Information gained from the Ecological Vegetation Classes (Figure five) reinforces the purpose

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vegetation classification chosen and provides an indication of connectivity within the greater landscape.

The forms of classifiable vegetation identified on this site are described below.

Vegetation Classification: Forest

AS3959:2018 Definition:

Open forest – Trees up to 30 m high; 30%-70% foliage cover (may include understorey of sclerophyllous low trees and shrubs). Typically dominated by eucalypts, melaleuca or callistemon (may include riverine and wetland environments) and callitris. Includes eucalypt plantations.

Site Description:

The site has a significant area of forest within the property boundaries, and adjacent land. Forest in the north is upslope and approximately 20 metres, also located on neighbouring property. In the east, forest is located in the road reserve of Veysey Road, approximately 55 metres and continues east into private ownership. In the south, forest is 16 degrees downslope and approximately 9 metres. In the west, forest is 18 degrees downslope and approximately 30 metres from the dwelling.



Image – Typical Forest, photo taken looking west into the forest onsite (site inspection, 2026)

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Image – Typical Forest, photo taken looking south into the forest onsite (site inspection, 2026)



Image – Typical Forest, photo taken looking north up to the forest onsite (site inspection, 2026)

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Image – Typical Forest, photo taken looking east across the forest onsite (site inspection, 2026)

Vegetation Classification: Grassland

AS3959:2018 Definition:

Sown pasture – All forms (except tussock morelands), including situations with shrubs and trees, if the overstorey foliage cover is less than 10%. Includes pasture and cropland.

Site Description:

The site has grassland within the assessment area. The grassland in the northeast is upslope and is 137 metres from the site. The grassland in the south is approximately 60 metres and 16 degrees downslope.

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Image – Typical grassland to the south, looking form the road (site inspection, 2026)

Vegetation Classification: Excludable and Low threat vegetation

AS3959:2018 Definition:

2.2.3.2 Exclusions – Low threat vegetation and non-vegetated areas

The following vegetation shall be excluded from a BAL assessment:

- a. Vegetation of any type that is more than 100 m from the site*
- b. Single areas of vegetation less than 1 ha in area and not within 100 m of other areas of vegetation being classified vegetation.*
- c. Multiple areas of vegetation less than 0.25 ha in area and not within 20 m of the site, or each other or of other areas of vegetation being classified vegetation.*
- d. Strips of vegetation less than 20 m in width (measured perpendicular to the elevation exposed to the strip of vegetation) regardless of length and not within 20 m of the site or each other, or other areas of vegetation being classified vegetation.*
- e. Non-vegetated areas, that is, areas permanently cleared of vegetation, including waterways exposed beaches, roads, footpaths, buildings and rocky outcrops*
- f. Vegetation regarded as low threat due to factors such as flammability, moisture content or fuel load. This includes grassland managed in a minimal fuel condition, mangroves and other saline wetlands, maintained lawns, gold courses (such as playing areas and fairways), maintained public reserves and parklands, sporting fields, vineyards, orchards, banana plantations, market gardens (and other non-curing crops), cultivated gardens, commercial nurseries, nature strips and windbreaks.*

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NOTES:

1. Minimal fuel condition means there is insufficient fuel available to significantly increase the severity of the bushfire attack (recognizable as short-cropped grass for example, to a nominal height of 100 mm).
2. A windbreak is considered a single row of trees used as a screen or to reduce the effect of wind on the leeward side of the trees.

Site Description

The replacement dwelling has low threat vegetation in its immediate surrounds (Clause 2.2.3.2(f)), the neighbouring dwelling and the road (Clause 2.2.3.2(e)).



Image – Low threat vegetation (cl.2.2.3.2(e)), photo taken looking south down Veysey Road (site inspection, 2026)

4.2 Topography

The topography of the site and the surrounding area is characterised by the higher land to the north and land fall to the southwest. The site batters to the south and west giving the revegetated lot tree cover on a steeper slope than would otherwise be expected.

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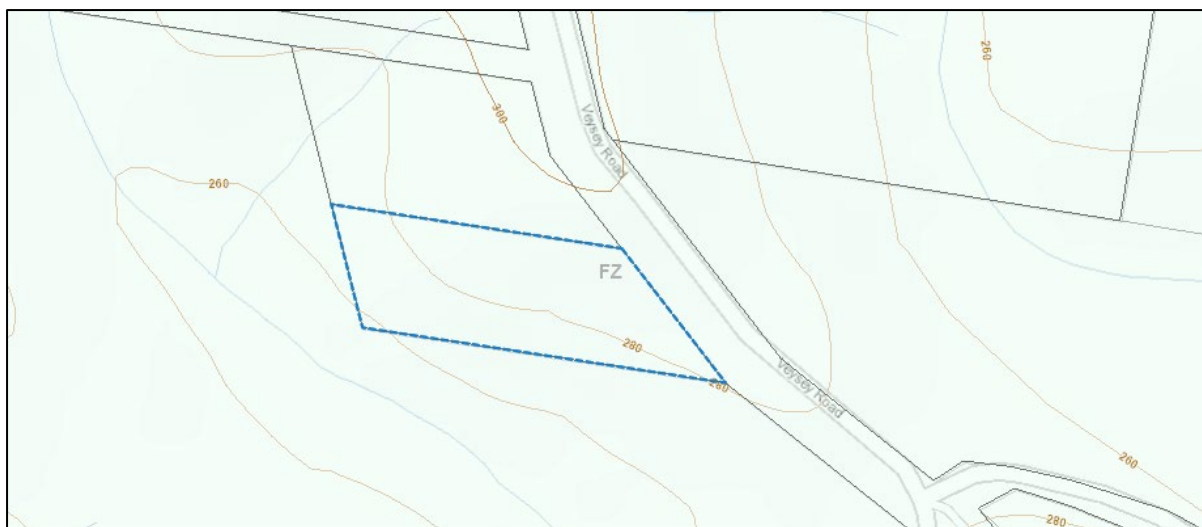


Figure Nine – Topography local to the site (VicPlan, 2025)

4.3 Separation from the Hazard and Bushfire Attack Level for the Proposed Development

The bushfire attack level (BAL) is a means of measuring the severity of a building’s potential exposure to ember attack, radiant heat and direct flame contact, using increments of radiant heat expressed in kilowatts per meter squared. The BAL is also the basis for establishing the requirements for construction to improve protection of building elements from attack by bushfire.

The highest BAL determines the construction requirements for the dwelling. A reduction of one BAL level may be applied if facades of the house are shielded from the bushfire hazard. The BAL for this site has been calculated using a Forest Fire Danger Index (FFDI) of 100 and a Flame Temperature of 1090K. These parameters are in accordance with the risk parameters set in Clause 53.02.

An assessment of the site conditions without modification was made and informs the BAL assessment (Table 1).

Table 1 – Separation from the Hazard Assessment (without modification)

Orientation	Classified vegetation	Average slope under classifiable vegetation	Separation distance	Separation achieved
North	Forest	Upslope	20 metres	Column D
	Grassland	Upslope	117 metres	Column A
East	Forest	Flat	19 metres	Column D
South	Forest	16 degrees downslope	9 metres	<Column D
	Grassland	16 degrees downslope	60 metres	Column A
West	Forest	18 degrees downslope	30 metres	<Column D

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Table 2 – Separation determination – BAL40 – Column D

Orientation	Highest threat vegetation	Average slope under classifiable vegetation	Separation distance currently	Separation achieved
North	Forest	Upslope	20 metres	BAL40 19 metres
East	Forest	Flat	19 metres	BAL40 19 metres
South	Forest	16 degrees downslope	9 metres	BAL40 50 metres
West	Forest	18 degrees downslope	30 metres	BAL40 50 metres

In determining the defensible space to be established the following principles have been applied:

- The highest threat vegetation will be used to determine the defensible space in each direction, being forest in the north and south.
- The defensible space of 50 metres or to the property boundary whichever is lesser is applied to in all directions.
- ‘Column D, Forest, upslope’ has been applied in the north for siting.
- ‘Column D, Forest, 18 degrees downslope’ has been applied in the east, south and west.

5.0 Bushfire Management Plan

A Bushfire Management Plan is provided in Appendix One for endorsement with the planning permit.

5.1 Proposed Planning Permit Conditions

The following are the expected planning permit conditions.

The bushfire management plan prepared by Euca Planning (Version 2, dated 01/05/2026) be endorsed by the Responsible Authority and form part of this permit.

5.2 Design Response Against Clause 53.02

In accordance with Clause 44.06 Bushfire Management Overlay a response is provided against Clause 53.02. A selection of the sub clauses and associated objectives, approved measures (AM), alternative measures (AltM) and decision guidelines applies to this application. Table 4 details which clauses are relevant to this application and the following pages demonstrate how the requirements have been met for each relevant standard.

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Table 4 - Specification of Relevant Clauses

Clause	Approved Measure	Achieved	Justification
Clause 53.02-3 Dwelling in existing settlements – Bushfire protection objective	AM 1.1	Not applicable	
	AM 1.2	Not applicable	
	AM 1.3	Not applicable	
Clause 53.02-4.1 Landscape, siting and design objectives	AM 2.1	Applicable	
	AM 2.2	Applicable	
	AM 2.3	Applicable	
Clause 53.02-4.2 Defendable space and construction objectives	AM 3.1	Applicable	The building is a replacement dwelling (housefire)
	AM 3.2	Not applicable	
	AltM 3.3	Not applicable	
	AltM 3.4	Not applicable	
	AltM 3.5	Not applicable	
Clause 53.02-4.3 Water supply and access objectives	AM 4.1	Applicable	The building is a replacement dwelling (housefire)
	AM 4.2	Not applicable	
Clause 53.02-4.4 Subdivision objectives	AM 5.1	Not applicable	
	AM 5.2	Not applicable	
	AM 5.3	Not applicable	
	AM 5.4	Not applicable	
	AM 5.5	Not applicable	

The following part of the application outlines each of the relevant clauses and provides justification as to how this design responds to the requirements.

Clause 53.02-2.1 Bushfire Protection Objective

Landscape, siting and design objective

Development is appropriate having regard to the nature of the bushfire risk arising from the surrounding landscape.

Development is sited to minimise the risk from bushfire.

Development is sited to provide safe access for vehicles, including emergency vehicles.

Building design minimises vulnerability to bushfire attack.

Approved Measure	Requirement
AM 2.1	<p>The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level.</p> <p>Response: The site is in an area that has forest and grassland in the broader environment. The land is a rural lifestyle parcel that is already developed with an existing dwelling (lost to housefire) and outbuildings. The terrain is undulating including through the forest.</p>

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	<p>The terrain is not rugged, however is rugged further in the broader landscape. It is expected that a landscape fire could occur near the site. Scenarios are detailed earlier in this report. It is noted that site has reasonable access from the south; and is in a lower area of risk being proximal to clear farming land. All bushfire scenarios are within the scope of the Bushfire Management Overlay assumptions. The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level by adopting a Column D of Table 2 to Clause 53.02-5 separation to create a site-responsive defensible space. A bushfire resilient home will be provided that is a substantial improvement on the previous dwelling's lack of bushfire safety.</p>
<p>AM 2.2</p>	<p>A building is sited to ensure the site best achieves the following:</p> <ul style="list-style-type: none"> • The maximum separation distance between the building and the bushfire hazard • The building is in close proximity to a public road • Access can be provided to the building for emergency services vehicles <p>Response: The replacement dwelling siting is constrained to the location of the existing dwelling (lost to housefire) due to extensive costs if the land was reformed to move the site to the south. More restrictive is the width of the lot preventing the achievement of Column C Forest separation on both sides as the slope on the south under forest would need to be accounted for. Achieving separation from the boundaries, the vegetation, and all defensible space being onsite as proposed is a viable option. The replacement dwelling will be accessed by the existing all-weather driveway that connects to the public road. Emergency vehicles will be able to access the building and water supply from the access, with already established.</p>
<p>AM 2.3</p>	<p>A building designed to be responsive to the landscape risk and reduce the impact of bushfire on the building.</p> <p>Response: The proposed replacement dwelling is a simple dwelling design that responds to the location and bushfire mitigation measures. It will meet the requirements of BAL40 and is on a concrete slab.</p>

Clause 53.02-2.2 Defendable space and construction objective

Defendable space and building construction mitigate the effect of flame contact, radiant heat and embers on buildings.

Approved Measure	Requirement
<p>AM 3.1</p>	<p>A building used for a dwelling (including an extension or alteration to a dwelling), small second dwelling, industry, office or retail premises is provided with defendable space in accordance with:</p>

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- Table 2 Columns A, B or C and Table 6 to Clause 53.05 wholly within the title boundaries of the land; or
- If there are significant siting constraints, Table 2 Column D and Table 6 to clause 53.02-5.

The building is constructed to the bushfire attack level that corresponds to the defendable space provided in accordance with Table 2 to Clause 53.02-5.

Response: The development is sited within 150 metres of forest and grassland. The grassland has upslope in the north, and downslope to the south, both associated with grazing paddocks as described in the Bushfire Hazard Site Assessment. The replacement dwelling achieves a separation from the hazard in accordance with Column D of Table 2 of Clause 53.02-5. The width of the lot prevents the dwelling from achieving Column C separation from forest as it presents on three sides of the development. The replacement dwelling will be designed to meet the requirements of BAL40 as detailed in AS3959-2018, to respond to ember attack and radiant heat. Vegetation will be removed to achieve the requirements of Table 6 of Clause 53.02-5.

Clause 53.02-2.3 Water supply and access objectives

A static water supply is provided to assist in protecting property.

Vehicle access is designed and constructed to enhance safety in the event of a bushfire.

Approved Measure	Requirement
AM 4.1	<p>A building used for a dwelling (including an extension or alteration to a dwelling), a small second dwelling, industry, office or retail premises is provided with:</p> <ul style="list-style-type: none"> • A static water supply for firefighting and property protection purposes specified in Table 4 to Clause 53.02-5. • Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02-5. <p>The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for firefighting water supplies.</p> <p>Response: A new tank will be installed near the shed that is within 60 metres of the dwelling and within 4 metres of the driveway. Additional water supply is located to the west of the large outbuilding. Access is provided by the existing driveway that provides turning by encircling the existing shed and chicken enclosure.</p>

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6.0 References

Standards Australia (2018) Construction of Buildings in Bushfire Prone Areas. Standards Australia, North Sydney, NSW.

The State of Victoria - Department of Environment, Land, Water and Planning (2025) NatureKit.

The State of Victoria Department of Environment, Land, Water and Planning (2015) Fire Operations Plan 2015/16-2017/18 Gippsland Region.

The State of Victoria Department of Planning and Community Development (2012) Regional Bushfire Planning Assessment – Gippsland Region.

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NCC 2022

Construction Standards To Comply With Australian Standard 3959 -2018 Bush Fire Attack Level (BAL) - BAL 40

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CLIENT:

DRAWING TITLE:
Working Drawings

PROJECT: PROPOSED NEW DWELLING
LOT 2, 130 Veysey Road,
Neerim East, 3831

NO	DESCRIPTION	AREA	SQM
01	Living Area	186.20	
02	Garage Area	49.05	
03	Porch Area	7.29	
04	Alfresco Area	27.43	
		231.06 m²	

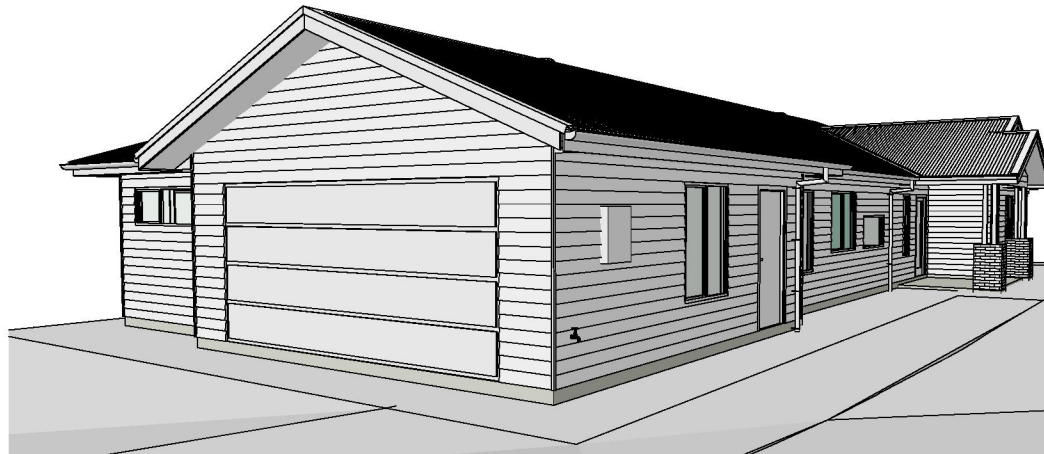
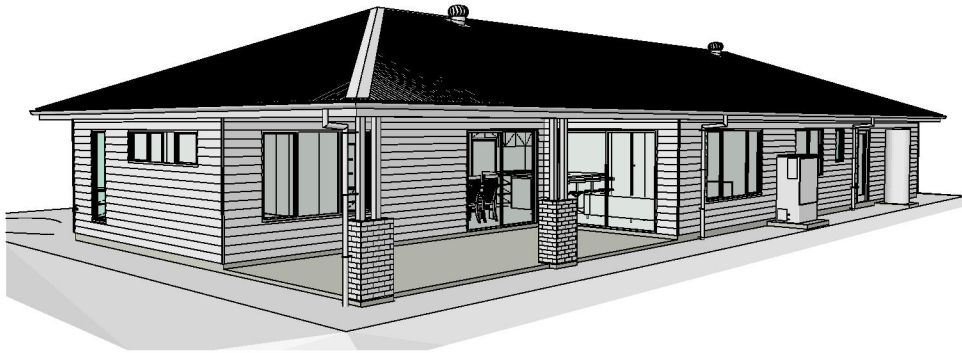
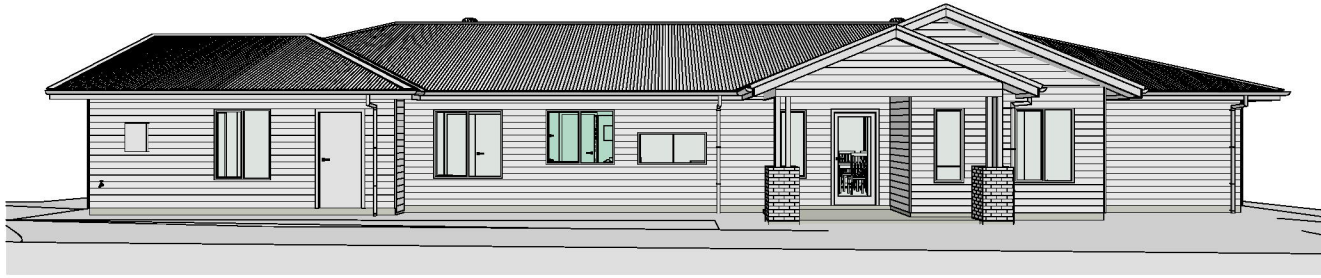
I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

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Construction Standards To Comply With Australian Standard 3959 -2018 Bush Fire Attack Level (BAL) - BAL 40

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G.J. Gardner. HOMES

FLAXTON 224 - CUSTOM

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Tymell Constructions Pty Ltd CDB-U 54497
Trading as G.J. Gardner Homes Warragul
26 Hazel Drive Rd, Warragul, Vic 3820

CLIENT:

DRAWING TITLE:

Working Drawings

PROJECT: PROPOSED NEW DWELLING

LOT 2, 130 Veysey Road,
Neerim East, 3831

DATE: 10/09/2025
DRAWN: SNW
PLOT: 1/05/2026
JOB NO: 370357
WD: 2/23

AREA SUMMARY	
AREA	SQM
01 Living Area	186.20
02 Garage Area	49.05
03 Porch Area	7.29
04 Alfresco Area	27.43
TOTAL	231.06 m²

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED BY THE CLIENT ARE AT THE CLIENT'S RISK AND IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

LAYOUT INDEX	
ID	Layout Name
WD-1	NCC 2022
WD-2	3D Perspectives
WD-3	Cover Sheet
WD-4	General Notes
WD-5	BAL Notes
WD-6	Feature Survey
WD-7	Site Plan
WD-8	Site Plan
WD-9	Site Plan
WD-10	Floor Plan
WD-11	Roof Plan
WD-12	Elevations
WD-13	Elevations
WD-14	Schedules
WD-15	Section
WD-16	Slab Plan
WD-17	Electrical Plan
WD-18	Floor Coverings
WD-19	Internals
WD-20	Internals
WD-21	NCC Details
WD-22	Step-Free Garage & Doors
WD-23	Heating & Cooling Plan

ENGINEER & BUILDER ADVICE

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS, ENGINEERS DESIGNS, COMPUTATIONS AND GEOTECHNICAL REPORTS.

WRITTEN SPECIFICATION TAKE PRECEDENCE OVER THESE DRAWINGS.

LOCAL AUTHORITIES TO ADVISE REQUIREMENTS FOR LOCATION OF LPOD
SEWER POINT LOCATION
AUTHORITIES ASSET LOCATIONS
SNOW LOAD REQUIREMENTS
FLOOD INUNDATION
BUSHFIRE PROTECTION
TERMITE TREATMENT
WIND SPEED
CALL 1100 DIAL BEFORE YOU DIG

ENERGY RATING NOTES

Energy Rating Key Construction & Insulation Materials

INSULATION
Walls - R2.5
Roof - R6.0 Ceiling + R1.2 Roof Blanket
Floor - R Nil

GLAZING
Aluminium Double Glazed

Type	U-Value	SHGC
ALS-025-01 A 50mm Carinya Classic Awning Window DG 4Cir/10/4Cir	4.18	0.58
ALS-037-01 A 92mm Carinya Classic Sliding Door DG 4Cir/10/4Cir	3.83	0.62
ALS-045-03 A Carinya Select 125 Hinged Door DG 4/16/4	3.90	0.53
ALS-028-01 A 50mm Carinya Classic Fixed Window DG 4/10/4	3.31	0.69

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NO	DESCRIPTION	AREA	SQM
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		231.06 m²	

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OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

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GENERAL NOTES

INTELLECTUAL PROPERTY AND USE OF THIS DOCUMENT

- This document has been prepared for the exclusive use of the client of GJ Gardner Warragul, for the purpose expressly notified to the designer. Any other person who uses or relies on these plans without the designer's written consent does so at their own risk and no responsibility is accepted by the designer for such use and/or reliance.
This document is to be read in conjunction with all drawings, details and information provided by the consultants named herein, and with any other written instructions issued in the course of the contract.
A building permit is required prior to the commencement of these works. The release of this document is conditional on the client obtaining the required building permit.

MATERIALS AND TRADE PRACTICES

- All materials, construction and work practices shall comply with but not be limited to the current issue of Building Regulations 2018, National Construction Code 2022 Building Code Of Australia Vol. 2 (hereafter referred to as BCA), and all relevant current Australian Standards referred to therein.
Work and site management practices shall comply with all relevant laws and by-laws.
If any performance solution is proposed, it shall be assessed and approved by the [relevant building surveyor/building certifier] as meeting BCA performance requirements prior to implementation or installation.
Installation of all services shall comply with the respective supply authority's requirements.

VARIATIONS

- Should any conflict arise between these plans and BCA, Australian Standards or a manufacturer's instructions, this discrepancy shall be reported immediately to the designer, before any other action is taken.
The client and/or the client's builder shall not modify or amend the plans without the knowledge and consent of the designer, except where the [relevant building surveyor/building certifier] makes minor necessary changes to facilitate the building permit application, and where such changes are reported back to the designer within 48 hours of their making.
The approval by the designer of a substitute material, work practice or the like is not an authorisation for its use or a contract variation. Any variations and/or substitutions to materials or work practices shall be accepted by all parties to the building contract and, where applicable, the [relevant building surveyor/building certifier], prior to implementation.

MEASUREMENTS

- Figured dimensions take precedence over scaled dimensions.
Site plan measurements are in metres. All other measurements are in millimetres, unless noted otherwise.
Unless noted otherwise, dimensions on floor plans, sections and external elevations represent timber frame and structural members, not finished linings/cladding.
Window sizes are nominal only. Actual size may vary according to manufacturer.
The builder and subcontractors shall check and verify all dimensions, setbacks, levels, specifications, and all other relevant documentation prior to the commencement of any works. Report all discrepancies to the designer for clarification.

SITE CLASSIFICATIONS & PROPERTY INFORMATION

- The climate zone for this site is ZONE 7.
Assumed design gust wind speed / wind classification is N2 (to be confirmed on site by [relevant building surveyor/building certifier]).
Environmental classification (saline and/or aggressive industrial environment per BCA Table 7.2.2a) is LOW.
Soil classification is CLASS P.
Refer to soil report N° 458665 by SIMON ANDESON CONSULTANTS.
The builder shall immediately report to the engineer any observable variation from this soil type.
No cut/fill shall be within 100mm of neighbouring boundaries.
This site IS IN a declared termite area.
This site IS IN a declared bushfire area.
Site bushfire attack level assessment is BAL 40
This site IS NOT subject to flood overlay.
This site IS NOT in an alpine area.

SITE PROTECTION DURING THE CONSTRUCTION PERIOD

- Protective outriggers, fences, awnings, hoarding, barricades and the like shall be installed where necessary to guard against danger to life or property or when required by the relevant building surveyor and/or council.
Where required by council, the builder shall construct a temporary crossing placed over the footpath.
All practicable measures shall be implemented to minimise waste to landfill. The builder may use a construction waste recovery service, or sort and transport recyclable materials to the appropriate registered recycler. Materials shall not be burned on site.
A site management plan shall be implemented from the commencement of works, to control sediment run-off in accordance with relevant state/council guidelines or regulation. Silt fences shall be provided to the low side of the allotment and around all soil stockpiles and storm water inlet pits/sumps and 'silt stop' filter bags or equivalent shall be placed over all storm water entry pits. Erosion control fabric shall be placed over garden beds to prevent surface erosion.
Dust-creating material shall be kept sprayed with water so as to prevent any nuisance from dust.
Waste materials shall not be placed in any street, road or right of way.
Earthworks (unretained) shall not exceed 2m.
Cut and fill batters shall comply with BCA Table 3.2.1.

Construction Standards To Comply With Australian Standard 3959 -2018 Bush Fire Attack Level (BAL) - BAL 40

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PROTECTION OF THE BUILDING FABRIC

- The builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.
Windows, doors and service penetrations shall be flashed all around.
All pliable membranes shall be installed to comply and be in accordance with BCA 10.8.1
Gutters and drainage shall be supplied and installed in accordance with AS3500.3.
Anti-pouring devices/boards shall be installed according to BCA 7.3.5.
Dampcourses with weepholes and cavity flashings shall be installed in accordance with AS4773.2.
Surfaces around the perimeter of a residential slab shall fall away from that slab by not less than 50mm over the first 1m. Where not stipulated in the geotechnical report, freeboard shall be not less than 50mm from an impermeable surface or 150mm from a permeable surface.
Subfloor vents shall be located >600mm from corners and be installed below bearers. Such vents shall provide a rate per 1000mm run of external or internal cross walls of:
7,500mm² clear ventilation where particle board flooring is used; or
6,000mm² for other subfloor types.
[Where a building other than detached class 10 is located in a termite-prone area] the building shall be provided with a termite management system compliant with AS3660.1 or AS3660.2.
In saline or industrial environments, masonry units, mortar, and all built-in components shall comply with the durability requirements of Table 4.1 of AS4773.1, Part 1: Design.
Building tie-downs shall be appropriate for the site wind classification and provided in accordance with BCA 5.6.6.
Corrosion protection shall be suited to the site context and provided for built-in structural steel members such as steel lintels, shelf angles, connectors, accessories (other than wall ties) in accordance with Table 4.1 of AS4773.1 Masonry in Small Buildings, Part 1: Design.
Sheet roofing shall be protected from corrosion in a manner appropriate to the site context, in accordance with BCA Table 7.2.2a.
Single leaf masonry walls shall be weatherproofed per BCA 5.7.6.
[In climate zones 6, 7 and 8] Unless excluded by BCA 10.8.3(2) roofs shall be provided with ventilation openings per BCA 10.8.3.
External waterproofing for on flat roofs, roof terraces, balconies and terraces and other similar horizontal surfaces located above internal spaces of a building shall comply with BCA H2D8.
Waterproofing of wet areas - being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like - shall be provided in accordance with BCA 10.2.
Balcony waterproofing shall be installed in accordance with AS4654.1 & AS4654.2.

GLAZING

- Glazing units shall be installed in accordance with BCA 8.3.2.
Fully framed glazing installed in the perimeter of buildings shall comply with BCA 8.3.3.
Glass - including, but not limited to, windows, doors, screens, panels, splashbacks and barriers - shall comply with BCA 3.3.3.
Glazing subject to human impact shall comply with BCA 8.4.

FOOTINGS

- Footings shall not, under any circumstance, encroach over title boundaries or easement lines.
Where concrete stumps are to be used, these shall be:
100 x 100mm (1x 5mm HD wire) if up to 1400mm long
100 x 100mm (2x 5mm HD wires) if 1401mm to 1800mm long
125 x 125mm (2x 5mm HD wires) if 1801mm to 3000mm long.
100mm x 100mm stumps that exceed 1200mm above ground level shall be braced where no perimeter base brickwork is provided.
All concrete footings shall be founded at a depth to a minimum required bearing capacity and/or in accordance with recommendations contained in soil report (or otherwise at engineer's discretion).

STORMWATER AND SEWERS

- 90mm dia. Class 6 UPVC stormwater line min grade 1:100 shall be connected to the legal point of discharge to the relevant authority's approval. Provide inspection openings at 9m centres and at each change of direction.
Covers to underground stormwater drains shall be not less than:
100mm under soil
50mm under paved or concrete areas
100mm under unreinforced concrete or paved driveways
75mm under reinforced concrete driveways
The builder and subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings, footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.

SAFETY OF BUILDING USERS

- Where stairs, ramps and balustrades are to be constructed, these shall comply with all provisions of BCA 11.2.
Other than spiral stairs:
Risers shall be 190mm max and 115mm min
Goings shall be 355mm max and 240mm min
2rfg shall be 700mm max and 550mm min
There shall be less than 125mm gap between open treads.
All treads, landings and the like shall have a slip resistance classification of P3 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip-resistance classification of P3 for dry surface conditions and P4 for wet surface conditions.
Barriers shall be provided where it is possible to fall 1m or more from the level of the trafficable surface to the surface beneath. Such barriers (other than tensioned wire barriers) shall be:
1000mm min above finished stair level (FSL) of balconies, landings etc; and
865mm min above FSL of stair nosing or ramp; and
vertical, with gaps of no more than 125mm.
Where the floor below a bedroom window is 2m or more above the surface beneath, the window shall comply with BCA Clause 11.3.7.
Where the floor below a window other than in a bedroom is 4m or more above the surface beneath, the window shall comply with BCA Clause 11.3.8.
Where a bedroom window is 2m or more above the surface beneath, or it is possible to fall 4m or more from the level of any trafficable surface to the surface beneath, any horizontal element within a barrier between 150mm and 760mm above the floor shall not facilitate climbing.
Handrails shall be continuous, with tops set >865mm vertically above stair nosing and floor surface of ramps.
Wire barriers shall comply with BCA 11.3.4 and 11.3.6.
A glass barrier or window serving as a barrier shall comply with BCA H1D8.
Class 1 buildings with air permeability of not more than 5 m³/hr.m² at 50 Pa shall be provided with a mechanical ventilation system complying with H6V2. Inward-opening swing doors to fully enclosed sanitary compartments shall comply with BCA Clause 10.4.2.
All shower walls and walls adjacent to toilet shall be braced with 12mm ply for future grab rails or supply noggings with a thickness of at least 25mm in accordance with recommendations of Liveable Housing Design Guidelines.
Flooring in wet areas, laundry and kitchen shall be slip resistant.
Door hardware shall be installed 900mm - 1100mm above the finished floor.
There shall be a level transition between abutting internal surfaces (a maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or bevelled).

SERVICES

- Solar collector panel locations are indicative only. Location and size are dependent on manufacturer's/installer's recommendation.
Ductwork for heating and cooling systems shall comply with AS4254 & AS/NZS 4859.1 in accordance with climate zone requirements set down in BCA Table 3.

TIMBER FRAMING

- Standard timber roofing and wall framing shall be provided in accordance with AS1684 (Residential Timber-Framed Construction) and all relevant supplements.

ELECTRICAL

- Smoke detectors shall be fitted where none are present, or where existing are non-compliant with AS3786.
New smoke detectors shall be interconnected; mains-powered; and located and installed per BCA 9.5.2 and 9.5.4.
In a Class 10a private garage, an alternative alarm may be installed per BCA 9.5.1(b).
Light switches shall be positioned in a consistent location 900mm - 1100mm above the finished floor level; horizontally aligned with the door handle at the entrance to a room.
Power points shall not be installed lower than 300mm above finished floor level.
All electrical penetrations shall be sealed using material appropriate to the rating of the cable and/or device.
Only stamped IC4-rated downlights shall be installed and insulation shall not be penetrated for downlights.
Ductwork for exhaust fans and heating and cooling systems shall comply with AS4254 & AS/NZS 4859.1 in accordance with climate zone requirements set down in BCA 13.7.4.
Exhaust from a bathroom, sanitary compartment or laundry shall be discharged directly via an insulated shaft or R1 insulated ducting to outdoor air. Minimum flow rates shall be:
40 l/s for kitchen & laundry
25 l/s for bathroom or sanitary compartment.
An exhaust system shall not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with BCA 10.6.2(a) shall be interlocked with the room's light switch and include a 10 minute time delay.
Exhaust fans, rangehoods and the like shall be installed with self-closing dampers.

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Table with columns: AREA, SQM. Rows include Living Area (166.50), Garage Area (49.05), Porch Area (7.29), Alfresco Area (27.43), Total (231.06 m²).

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED ARE AT MY OWN RISK. IN ADDITION TO THE COST OF THE VARIATION ITEMS I AND MY FURTHER PLANS TO BE PROVIDED.
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

Bushfire Assessment Level (BAL 40):
SECTION 8 CONSTRUCTION REQUIREMENTS FOR BAL—40
8.1 GENERAL
 A building assessed in Section 2 as being BAL—40 shall conform with Section 3 and Clauses 8.2 to 8.8.
 Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements of Clauses 8.2 to 8.8 (see Clause 3.8).
 NOTE: BAL—40 is primarily concerned with protection from ember attack, increased likelihood of flame contact and radiant heat greater than 29 kW/m² and up to and including 40 kW/m².

8.2 SUB-FLOOR SUPPORTS
 This Standard does not provide construction requirements for subfloor supports where the subfloor space is enclosed with a wall that conforms with Clause 8.4, except that sarking is not required where specified in Clause 8.4.1(b).
 Where the subfloor space is unenclosed, the support posts, columns, stumps, piers and poles shall be—
 (a) of non-combustible material; or
 (b) a system conforming with AS 1530.8.1; or
 (c) a combination of items (a) and (b).
 NOTE: This requirement applies to the subject building only and not to verandas, decks, steps, ramps and landings (see Clause 8.7).
 C8.2 Combustible materials stored in the subfloor space may be ignited by embers and impact the building.

8.3 FLOORS
8.3.1 General
 This Standard does not provide construction requirements for concrete slabs on the ground.
8.3.2 Elevated floors
8.3.2.1 Enclosed subfloor space
 This Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring, where the subfloor space is enclosed with a wall that conforms with Clause 8.4, except that sarking is not required where specified in Clause 8.4.1(b).
8.3.2.2 Unenclosed subfloor space
 Where the subfloor space is unenclosed, the bearers, joists and flooring, shall—
 (a) be non-combustible; or
 (b) have the underside of the combustible elements of the floor system protected with a non-combustible material (e.g. fibre-cement sheet or metal sheet); or
 (c) be a system conforming with AS 1530.8.1; or
 (d) be a combination of any of items (a), (b) or (c).

8.4 WALLS
8.4.1 General
 The exposed components of external walls shall be as follows:
 (a) Non-combustible material including the following provided the minimum thickness is 80 mm:
 (i) Full masonry or masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone.
 (ii) Precast or in situ walls of concrete or aerated concrete.
 (iii) Earth wall including mud brick.
 or
 (iv) Cladding that is fixed externally to a timber-framed or a steel-framed wall that is sarked on the outside of the frame and is—
 (i) fibre-cement a minimum of 8 mm in thickness; or
 (ii) steel sheeting; or
 (iii) a combination of items (i) and (ii).
 (c) A system conforming with AS 1530.8.1.
 or
 (d) A combination of any of items (a), (b) or (c).
8.4.2 Joints
 All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or built-jointed.
8.4.3 Vents and weepholes
 Except for exclusions provided in Clause 3.6, vents and weepholes in external walls shall be screened with a mesh made of corrosion-resistant steel, bronze or aluminium.

8.5 EXTERNAL GLAZED ELEMENTS, ASSEMBLIES AND DOORS
8.5.1 Bushfire shutters
 Where fitted, bushfire shutters shall conform with Clause 3.7 and be made from non-combustible material.
8.5.2 Screens for windows and doors
 Where fitted, screens for windows and doors shall have a mesh or perforated sheet made of corrosion-resistant steel or bronze. The frame supporting the mesh or perforated sheet shall be metal. Screen assemblies shall be attached using metal fixings.
8.5.3 Windows and sidelights
 Window assemblies shall—
 (a) be completely protected by a bushfire shutter that conforms with Clause 3.7 and Clause 8.5.1; or
 or
 (b) conform with the following:
 (i) Frame material Window frames and window joinery shall be metal.
 (ii) Hardware Externally fitted hardware that supports the sash in its functions of opening and closing shall be metal. Trims or other components may use material other than metal.
 (iii) Glazing Glazing shall be toughened glass a minimum of 6 mm thick or glass blocks with no restriction on glazing methods.
 NOTE: Where double-glazed assemblies are used, the above requirements apply to the external face of the glazed assembly only.
 (iv) Where used, seals and weather strips to sills, head and sills or thresholds shall be manufactured from materials having a flammability index not exceeding 5 or from silicone.
 (v) Screens Both the operable and fixed portions of the window shall be screened externally with screens that conform with Clause 3.6 and Clause 8.5.2.
 C8.5.3 Components other than metal may be used provided they are shielded by the metal components of the window/door frame.

8.5.4 Doors—Side-hung external doors (including French doors, panel fold and bi-fold doors)
 Side-hung external doors, including French doors, panel fold and bi-fold doors, shall—
 (a) be completely protected by bushfire shutters that conform with Clause 3.7 and Clause 8.5.1; or
 or
 (b) conform with the following:
 (i) Frame material Window frames and window joinery shall be metal.
 (ii) Hardware Externally fitted hardware that supports the sash in its functions of opening and closing shall be metal. Trims or other components may use material other than metal.
 (iii) Glazing Glazing shall be toughened glass a minimum of 6 mm thick or glass blocks with no restriction on glazing methods.
 NOTE: Where double-glazed assemblies are used, the above requirements apply to the external face of the glazed assembly only.
 (iv) Where used, seals and weather strips to sills, head and sills or thresholds shall be manufactured from materials having a flammability index not exceeding 5 or from silicone.
 (v) Screens Both the operable and fixed portions of the window shall be screened externally with screens that conform with Clause 3.6 and Clause 8.5.2. C8.5.3 Components other than metal may be used provided they are shielded by the metal components of the window/door frame.
 (vi) Screens There is no requirement to screen the operable part of the door at this BAL level. Where glazing is incorporated in the door, it shall be screened externally with screens that conform with Clause 8.5.2.
 (vii) Doors shall be light-fitting to the door frame and to an abutting door, if applicable.

8.5.5 Doors—Sliding doors
 Sliding doors shall—
 (a) be completely protected by a bushfire shutter that conforms with Clause 3.7 and Clause 8.5.1; or
 or
 (b) conform with the following:
 (i) Frame material The material for door frames, including fully framed glazed doors, shall be made from metal.
 (ii) Hardware Externally fitted hardware that supports the panel in its functions of opening and closing shall be metal. Trims or other components may use materials other than metal.
 (iii) Glazing Where doors incorporate glazing, the glazing shall be toughened glass a minimum of 6 mm in thickness.
 (iv) Seals and weather strips Seals to sills, head and sills or thresholds shall be manufactured from materials with a flammability index not exceeding 5.
 (v) Screens Both the fixed and operable portions of doors shall be screened externally with screens that conform with Clause 3.6 and Clause 8.5.2.
 (vi) Sliding doors shall be light-fitting in the frames.

8.5.6 Doors—Vehicle access doors (garage doors)
 The following applies to vehicle access doors:
 (a) Vehicle access doors shall be non-combustible.
 (b) All vehicle access doors shall be protected with suitable weather strips, draught excluders, draught seals or brushes. Door assemblies fitted with guide tracks do not need edge gap protection.
 NOTES:
 1 Refer to AS/NZS 4505 for door types.
 2 Gaps of door edges or building elements should be protected as per Section 3. C8.5.6(b) These guide tracks do not provide a direct passage for embers into the building.
 (c) Weather strips, draught excluders, draught seals or brushes to protect edge gaps or thresholds shall be manufactured from materials having a flammability index not exceeding 5.
 (d) Vehicle access doors shall not include ventilation slots.
 C8.5.6 Components other than metal may be used provided they are shielded by the metal components of the door assembly.

8.6 ROOFS (INCLUDING PENETRATIONS, EAVES, FASCIAS AND GABLES, AND GUTTERS AND DOWNPIPES)
8.6.1 General
 The following applies to all types of roofs and roofing systems:
 (a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.
 (b) The roof/wall and roof/roof junction shall be sealed either by the use of fascia and eaves linings or by sealing between the top of the wall and the underside of the roof and between the rafters at the line of the wall. They shall also be protected in accordance with Clause 3.6.
 (c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet conforming with Clause 3.6 and made of corrosion-resistant steel or bronze.
 (d) Roof-mounted evaporative coolers are not permitted in BAL—40.

8.6.2 Tiled roofs
 Tiled roofs shall be fully sarked. The sarking shall—
 (a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;
 (b) cover the entire roof area including ridges and hips; and
 (c) extend into gutters and valleys.

8.6.3 Sheet roofs
 Sheet roofs shall—
 (a) be fully sarked in accordance with Clause 8.6.2, except that foil-backed insulation blankets may be installed over the battens; or
 (b) have any gaps sealed at the fascia or wall line hips and ridges by—
 (i) a mesh or perforated sheet that conforms with Clause 3.6 and that is made of corrosion-resistant steel or bronze; or
 (ii) mineral wool; or
 (iii) other non-combustible material; or
 (iv) a combination of any of items (i), (ii) or (iii).
 C8.6.3 Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.

8.6.4 Veranda, carport and awning roof
 The following applies to veranda, carport and awning roofs:
 (a) A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 8.6.1 to 8.6.6.
 (b) A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures D1(b) and D1(c), Appendix D] conforming with Clause 8.4 shall have a non-combustible roof covering and the complete support structure shall be—
 (i) of non-combustible material; or
 (ii) timber rafters lined on the underside with fibre-cement sheeting a minimum of 6 mm in thickness, or with material conforming with AS 1530.8.1; or
 (iii) a system conforming with AS 1530.8.1; or
 (iv) a combination of any of items (i), (ii) or (iii).

8.6.5 Roof penetrations
 The following applies to roof penetrations:
 (a) Roof penetrations, including roof lights, roof ventilators, aerials, vent pipes and supports for solar collectors or the like, shall be sealed. The material used to seal the penetration shall be non-combustible.
 (b) Glazed assemblies for roof lights and skylights shall have an FRL of -/300-.
 (c) External single plane glazed elements of roof lights and skylights, where the pitch of the glazed element is 18 degrees or less to the horizontal, shall conform with Clause 3.6 and be made of corrosion-resistant steel or bronze.
 (d) A pipe or conduit that penetrates the roof covering shall be non-combustible.
 NOTE: AS/NZS 5601 contains requirements for gas appliance flue systems and cowls. Advice can be obtained from manufacturers and State and Territory gas technical regulators.

8.6.6 Eaves linings, fascias and gables
 The following applies to eaves linings, fascias and gables:
 (a) Gables shall conform with Clause 8.4.
 (b) Fascias and bargeboards shall conform with AS 1530.8.1.
 (c) Eaves linings shall be—
 (i) fibre-cement sheet, a minimum of 6 mm in thickness; or
 (ii) calcium silicate sheet, a minimum of 6 mm in thickness; or
 (iii) a combination of items (i) and (ii) above.
 (d) Eaves penetrations shall be protected the same as for roof penetrations as specified in Clause 8.6.5.
 (e) Eaves ventilation openings shall be fitted with ember guards in accordance with Clause 3.6 made of corrosion-resistant steel or bronze.
 (f) Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds.

8.6.7 Gutters and downpipes
 This Standard does not provide requirements for downpipes. If installed, gutter and valley leaf guards shall be non-combustible. Gutters shall be non-combustible. Box gutters shall be non-combustible and flashed at the junction with the roof with non-combustible materials.

8.7 VERANDAS, DECKS, STEPS AND LANDINGS
8.7.1 General
 Decking shall not be spaced.
 There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.
8.7.2 Enclosed subfloor spaces of verandas, decks, steps, ramps and landings
8.7.2.1 Materials to enclose a subfloor space
 The subfloor spaces of verandas, decks, steps, ramps and landings are deemed to be 'enclosed' when—
 (a) the material used to enclose the subfloor space conforms with Clause 8.4, except that sarking is not required where specified in Clause 8.4.1(b); and
 (b) all openings are protected in accordance with Clause 3.6 and made of corrosion-resistant steel or bronze.
8.7.2.2 Supports
 This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.
8.7.2.3 Framing
 This Standard does not provide construction requirements for the framing of verandas, pergolas, decks, ramps or landings (i.e. bearers and joists).
8.7.2.4 Decking, stair treads and the trafficable surfaces of ramps and landings
 Decking, stair treads and the trafficable surfaces of ramps and landings shall be—
 (a) of non-combustible material; or
 (b) a system conforming with AS 1530.8.1; or
 (c) a combination of items (a) and (b).
8.7.3 Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings
8.7.3.1 Supports
 Support posts, columns, stumps, stringers, piers and poles shall be—
 (a) of non-combustible material; or
 (b) a system conforming with AS 1530.8.1; or
 (c) a combination of items (a) and (b).
8.7.3.2 Framing
 Framing of verandas, decks, ramps or landings (i.e. bearers and joists) shall be—
 (a) of non-combustible material; or
 (b) a system conforming with AS 1530.8.1; or
 (c) a combination of items (a) and (b).
8.7.3.3 Decking, stair treads and the trafficable surfaces of ramps and landings
 Decking, stair treads and the trafficable surfaces of ramps and landings shall be—
 (a) of non-combustible material; or
 (b) a system conforming with AS 1530.8.1; or
 (c) a combination of items (a) and (b).
8.7.4 Balustrades, handrails or other barriers
 These parts of the handrails and balustrades shall be made of non-combustible material or have a minimum thickness of 125 mm from any glazing or any combustible wall shall be of non-combustible material. These parts of the handrails and balustrades that are 125 mm or more from the building have no requirements.

8.7.5 Veranda posts
 Veranda posts shall be made from non-combustible material.

8.8 WATER AND GAS SUPPLY PIPES
 Above-ground, exposed water supply pipes shall be metal. External gas pipes and fittings above ground shall be of steel or copper construction having a minimum wall thickness in accordance with gas regulations or 0.9 mm whichever is the greater. The metal pipes shall extend a minimum of 400 mm within the building and 100 mm below ground.
 NOTE: Refer to State and Territory gas regulations, AS/NZS 5601.1 and AS/NZS 4645.1. C8.8 Concern is raised for the protection of bottled gas installations where the gas bottles are not considered.

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G.J. Gardner. HOMES
 Tyrell Constructions Pty Ltd CDB-U 54497
 Trading as G.J. Gardner Homes Warragul
 26 Hazel Drive Rd, Warragul, Vic 3820

FLAXTON 224 - CUSTOM
 HAMPTONS
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CLIENT:
 DRAWING TITLE:
 Working Drawings

PROJECT: PROPOSED NEW DWELLING
 LOT 2, 130 Veysey Road,
 Neerim East, 3831

DATE: 10/09/2026	DATE: 10/09/2026
WD: 5/23	AREA
JOB NO: 370357	Living Area
DATE: 10/05/2026	02 Garage Area
	03 Porch Area
	04 Alfresco Area
	231.06 m²

I HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING THIS DRAWING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PROVIDED.

OWNER SIGNED: _____ DATE: _____
 BUILDER SIGNED: _____ DATE: _____

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 Page 95 of 114

NOTES:

DENOTES NATURAL SURFACE LEVEL 10.23

DENOTES FLOOR LEVEL [FL 12.00 APP.]

ALL LENGTHS ARE IN METRES

DENOTES HABITABLE ROOM WINDOW
DENOTES NON HABITABLE ROOM WINDOW
(UPPER FLOOR & SILL R.L. WHERE NOTED)

CONTOUR INTERVAL IS 0.20m

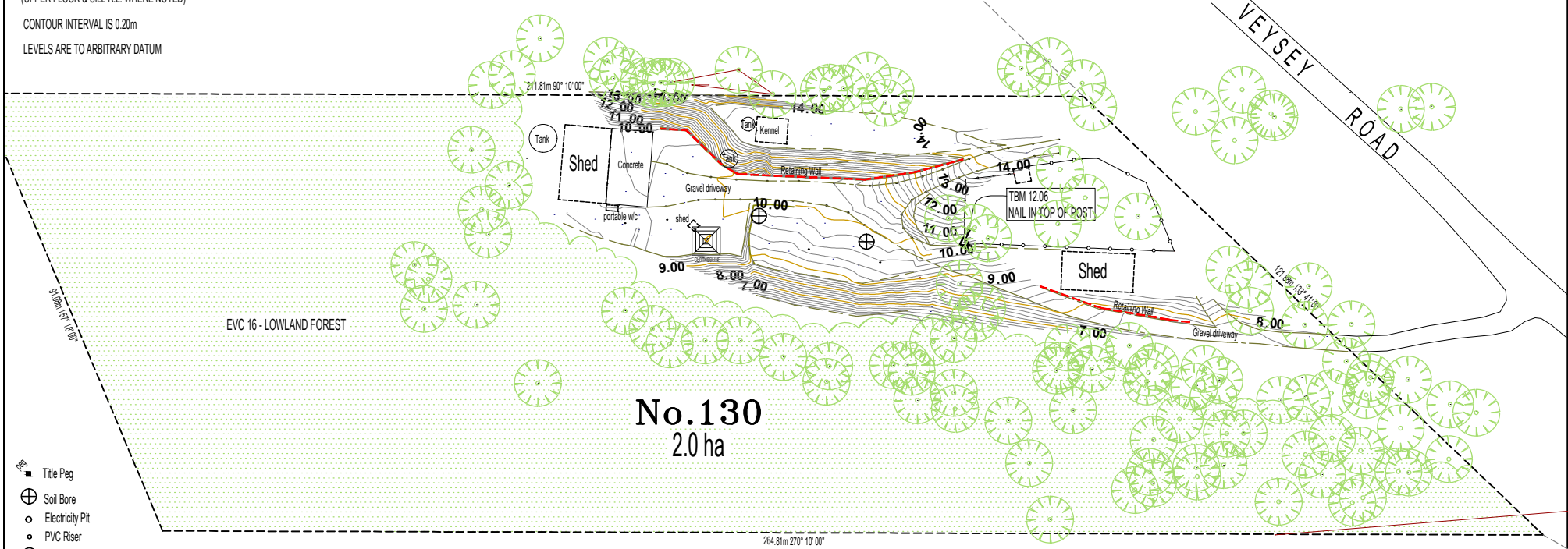
LEVELS ARE TO ARBITRARY DATUM



PLEASE NOTE:
TITLES BOUNDARIES SHOWN MAY NOT REPRESENT
EXACT TITLE POSITION.
FOR EXACT TITLE POSITION IT IS RECOMMENDED THAT A
TITLE RE ESTABLISHMENT SURVEY BE CARRIED OUT BY A
LICENCED SURVEYOR



ALL EXISTING SERVICES
ARE TO BE LOCATED
BY CONTRACTOR PRIOR
TO COMMENCEMENT
OF WORKS.



SITE FEATURES PLAN

SCALE 1:750

REV	DESCRIPTION	CHKD	DATE
A	DRIVEWAY ACCESS OFF VEYSEY ROAD	JDP	29/1/26

Design: _____
Drawn: JDP
Checked: SJA
Date: 15 Oct 2025

Project:
SITE ANALYSIS
130 Veysey Road, Neerim East
Client:
GJ Gardner Homes

Job No: 458665
Drawing No: SA1
Revision No: A



Simon Anderson
Consultants

CIVIL | STRUCTURAL | PROJECT ENGINEERS

P.O. Box 1700 111 Main St, Bairnsdale
T: 03 5153 1500
bairnsdale@simonandersonconsultants.com.au
BAIRNSDALE | SALE | GEELONG

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LEGEND

	PROPOSED CUT
	PROPOSED FILL

SITE NOTES

THE SITE CUT INDICATED IS APPROXIMATE ONLY. THE BUILDER SHALL ASSESS AND ADJUST THE CUTS AS NECESSARY TO ACCOMMODATE CONSTRUCTION VARIABLES SUCH AS:

- SITE DRAINAGE (TO COMPLY WITH AS 3500 & NCC 3.1.2)
- SLAB FORMING/BOXING SYSTEM
- TERMITE TREATMENT/CONTROL SYSTEM
- PROPOSED LANDSCAPE FEATURES INCLUDING FINISHED LEVELS, BACKFILLING, PAVEMENT DEPTHS, CROSS FALLS FOR DRAINAGE ETC...

GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM 1:20)
THE HEIGHT OF THE SLAB-ON-GROUND ABOVE EXTERNAL FINISHED SURFACES MUST BE NOT LESS THAN 100mm ABOVE THE FINISHED GROUND LEVEL IN LOW RAINFALL INTENSITY AREAS OR SANDY, WELL-DRAINED AREAS OR 50mm ABOVE IMPERMEABLE (PAVED OR CONCRETED AREAS) THAT SLOPE AWAY FROM THE BUILDING OR 150mm IN ANY OTHER CASE. (TO COMPLY WITH NCC 3.1.2.2)

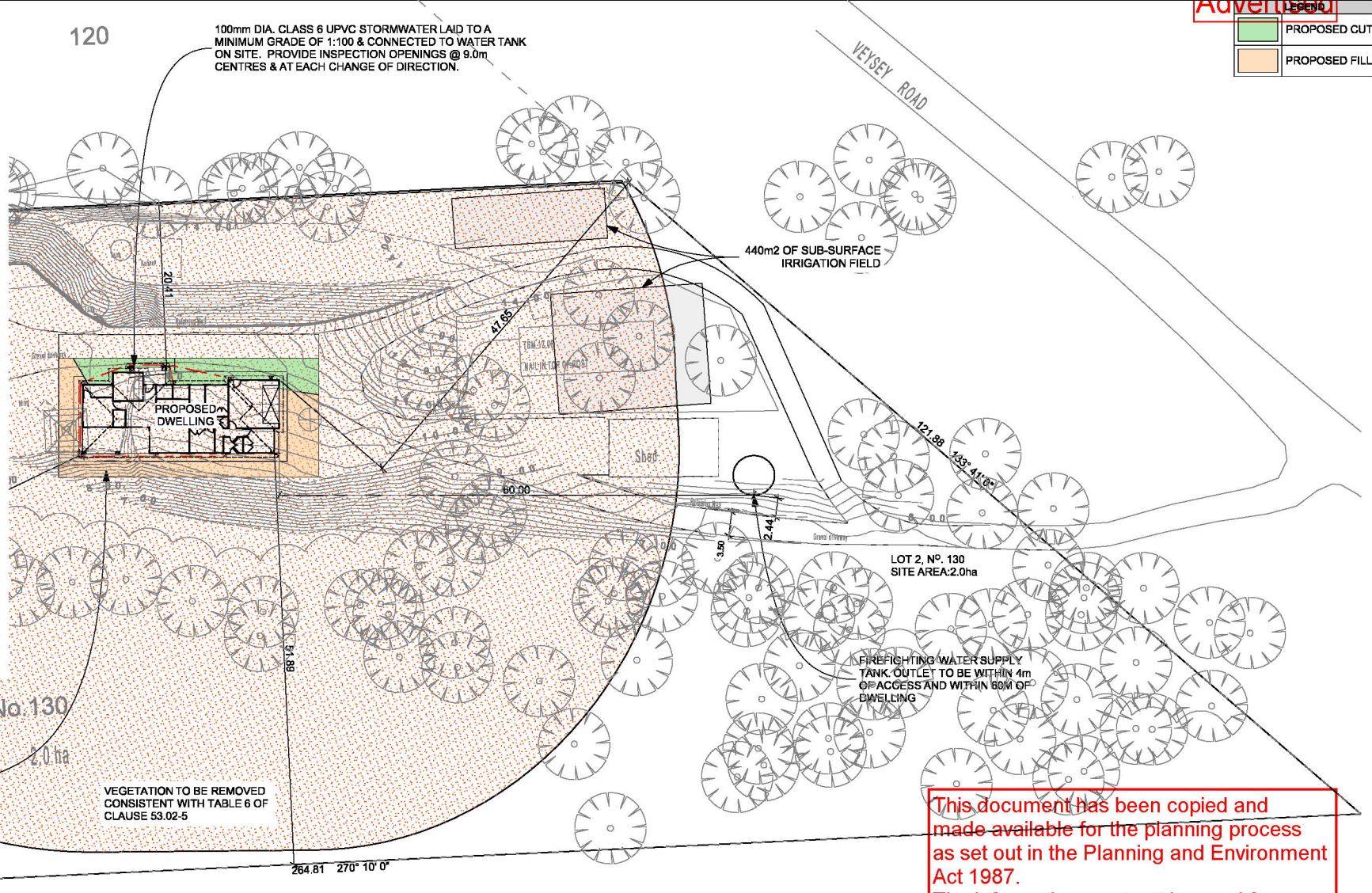
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ON SITES WHERE LANDSCAPED AREAS REQUIRE IN EXCESS OF 100mm BACK FILL CLEAN EXCAVATED MATERIAL MAY BE USED IN 150mm COMPACTED LAYERS TO WITHIN 100mm OF F.G.L.

BACKFILL UNDER SLABS SHALL BE TO ENGINEER DESIGN/DETAILS.

ALL SITE CUTS ARE TO HAVE CROSS FALL TO PROVIDE POSITIVE DRAINAGE. THE TOE OF EVERY CUT BATTER TO BE PROVIDED WITH 90mm uPVC SLOTTED AGGI DRAIN CONNECTED TO STORMWATER SYSTEM VIA A SILT PIT PROTECTED BY GRAVEL FILTERS.

MAX. 45 DEGREE BATTER TO ALL EXCAVATIONS AG DRAIN TO BE PROVIDED TO BASE OF EXCAVATIONS TO DISCHARGE TO LEGAL POINT OF DISCHARGE.



Site Plan
SCALE 1:500

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26 Hazel Drive Rd, Warragul, Vic 3820

FLAXTON 224 - CUSTOM

HAMPTONS

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CLIENT:

DRAWING TITLE:
Working Drawings

PROJECT: PROPOSED NEW DWELLING

LOT 2, 130 Veysey Road,
Neerim East, 3831

DATE: 10/09/2025

NO	DESCRIPTION	AREA	SQM
01	Living Area	186.10	
02	Garage Area	49.05	
03	Porch Area	7.29	
04	Alfresco Area	27.43	
		231.06 m²	

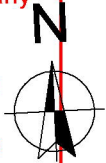
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BUILDER SIGNED: DATE:

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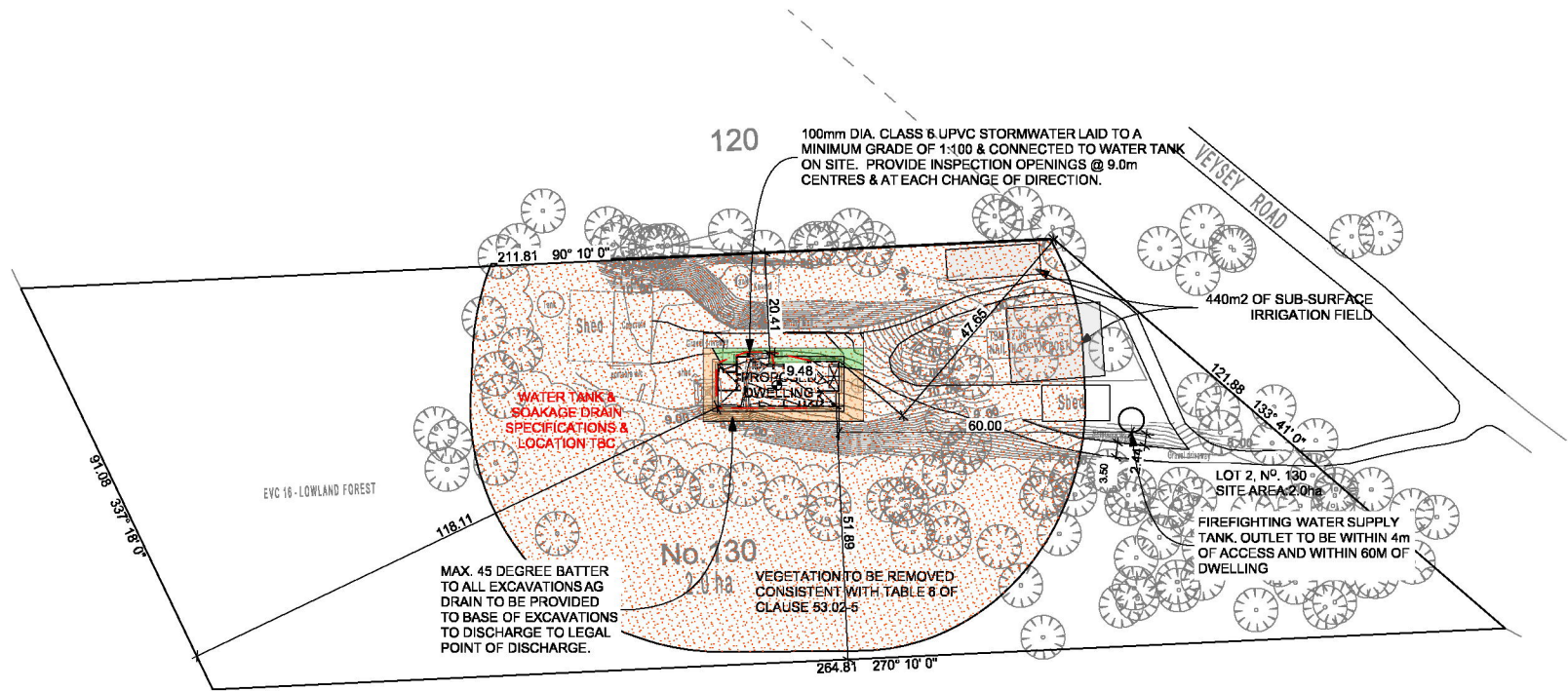
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Site Plan
SCALE 1:1000



LEGEND	
	PROPOSED CUT
	PROPOSED FILL

Construction Standards To Comply With Australian Standard 3959 -2018 Bush Fire Attack Level (BAL) - BAL 40

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Trading as G.J. Gardner Homes Warragul
26 Hazel Drive Rd, Warragul, Vic 3820

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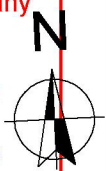
DRAWING TITLE:
Working Drawings

PROJECT: PROPOSED NEW DWELLING

LOT 2, 130 Veysey Road,
Neerim East, 3831

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NO.	DESCRIPTION	AREA	SQM
01	Living Area	186.10	
02	Garage Area	48.05	
03	Porch Area	7.29	
04	Alfresco Area	27.43	
		231.06 m²	

DATE: 10/09/2026

OWNER SIGNED: _____ DATE: _____

BUILDER SIGNED: _____ DATE: _____

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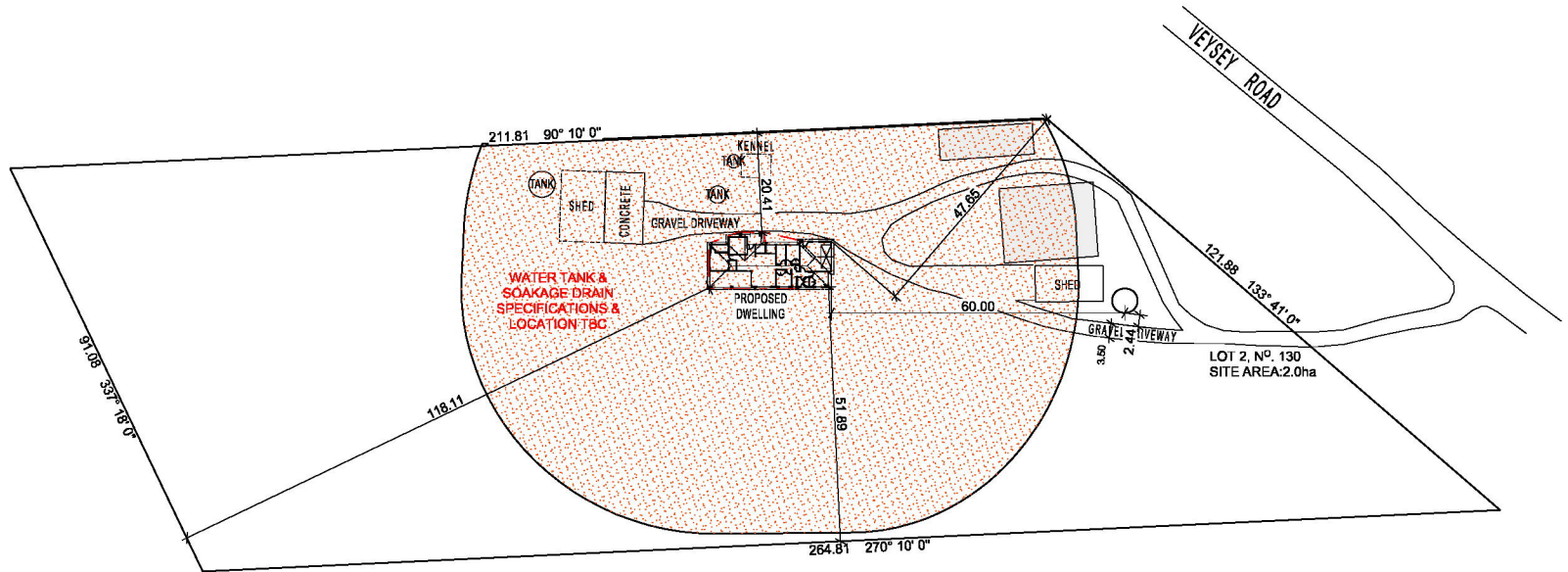
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Site Plan
 SCALE 1:1000

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 LOT 2, 130 Veysey Road,
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		231.06	m²

DATE: 10/09/2025

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 OWNER SIGNED: DATE:
 BUILDER SIGNED: DATE:

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1

ALL STRUCTURAL MEMBERS INCLUDING BEAMS, LINTELS, BRACING AND TIE DOWNS AS PER ENGINEERS DESIGN

NOTES

WC Hinged door to have removable Hinges

Smoke alarms must be located in accordance with NCC VOL. 2 9.5.1 and comply with AS 3786 and connected to the consumer mains power where consumer power is supplied to the building and interconnected where there is more than one alarm. Smoke alarms have been provided to the dwelling in accordance with NCC/BCA Vol 2 Clause 9.5.2 (i.e. interconnected and located in every hallway or corridor associated with bedrooms - and if applicable on each storey)

Additional smoke alarms have been provided by G.J Gardner Homes in each bedroom of the dwelling as an additional safety measure, however these have not been interconnected

Residential Sustainability Measures

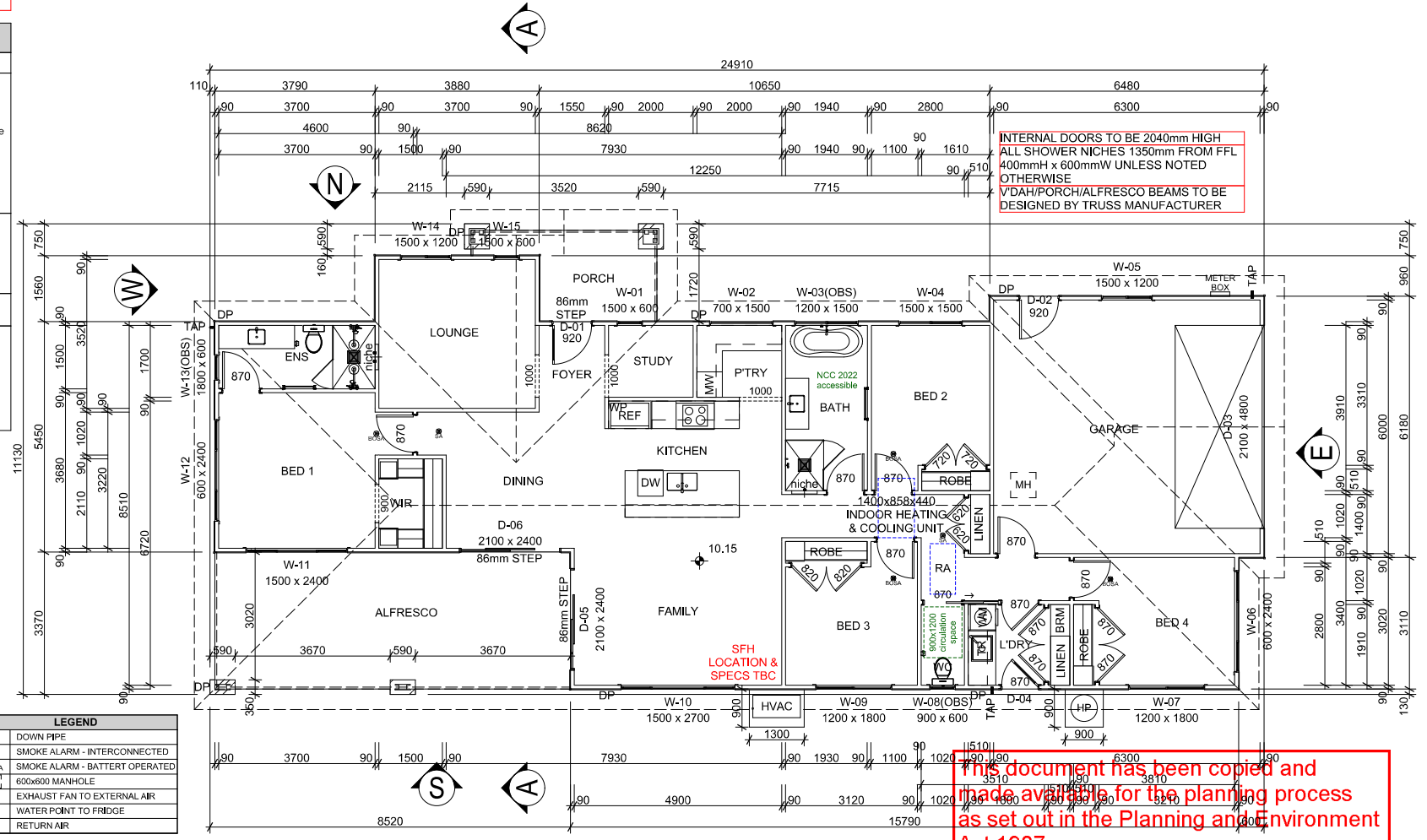
Both the DTS and the Verification Method require that new Class 1 buildings also require A solar water heater system (which may include a heat pump water heater system) installed in accordance with the Plumbing Regulations 2008.

Any Sanitary compartments that have no opening (window) to external air must have an exhaust fan wired to the light.

NCC 2022 10.8.2 Exhaust Systems

An exhaust system installed in a Kitchen, Bathroom, Sanitary compartment or Laundry must have a minimum flow rate of- (a) 25 l/s for a Bathroom or Sanitary compartment; and (b) 40 l/s for a Kitchen or Laundry.

Exhaust from a Kitchen, Kitchen Range Hood, Bathroom, Sanitary compartment or Laundry must discharge directly or via a shaft or duct to outdoor air.



Ground Floor Plan
SCALE 1:100

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Construction Standards To Comply With Australian Standard 3959 -2018 Bush Fire Attack Level (BAL) - BAL 40

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FLAXTON 224 - CUSTOM

HAMPTONS

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CLIENT:
Jake Ayres & Renee Cardilini

DRAWING TITLE:
Working Drawings

PROJECT: PROPOSED NEW DWELLING

LOT 2, 130 Veysey Road,
Neerim East, 3831

NO	DESCRIPTION	AREA	SQM
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		Total	231.06 m²

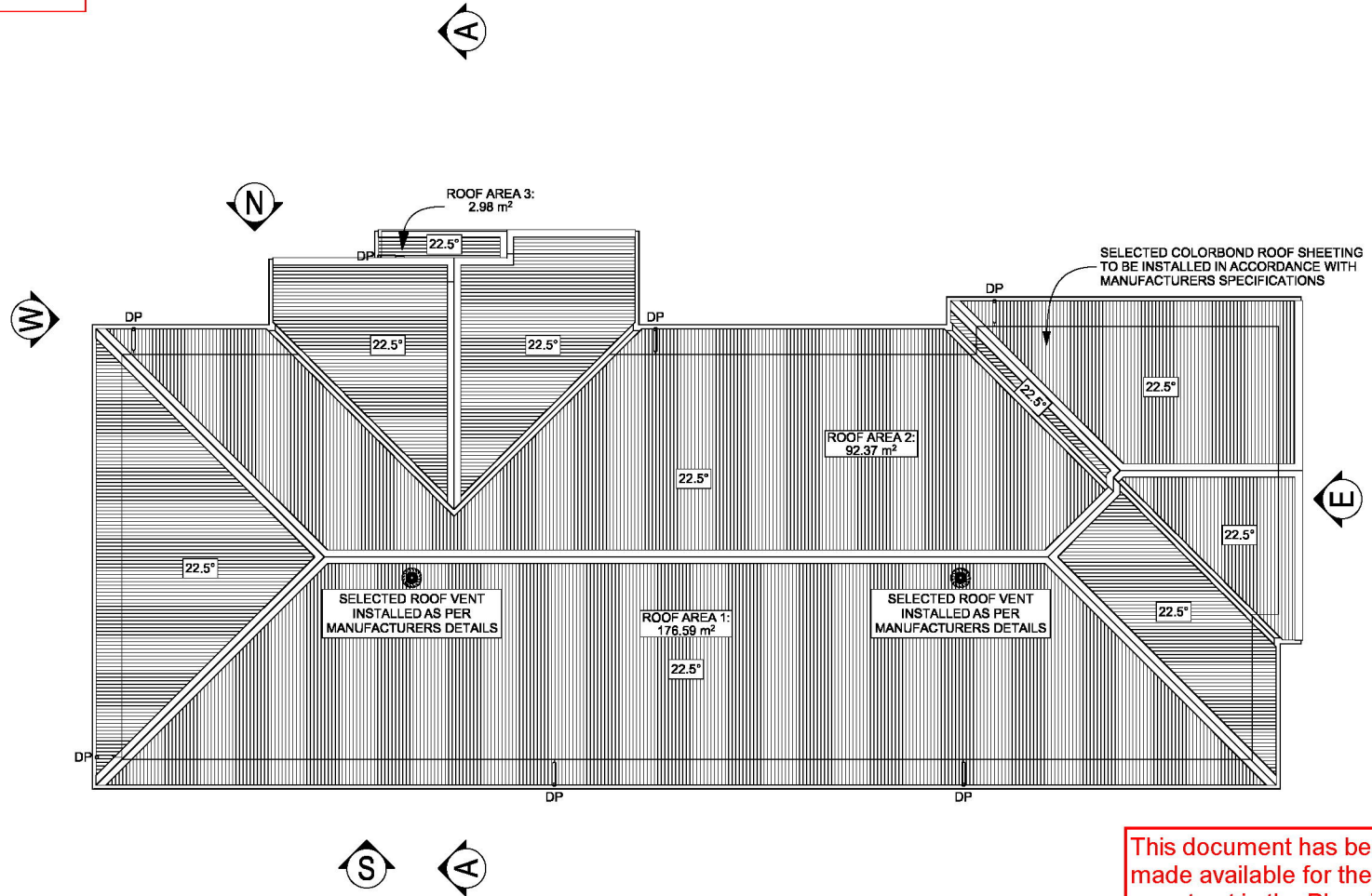
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OWNER SIGNED: _____ DATE: _____
BUILDER SIGNED: _____ DATE: _____

G:\Laboratory\designs\4454\4454\1\WBK\GC\10_24\WPlan\4\BRW\Tos\Wu\Warragul-4 - Job Doc\Gardner Homes - ayres & cardilini - ayres & cardilini - 130 Veysey Road, Neerim East\WD04.dwg

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1

ALL STRUCTURAL MEMBERS INCLUDING BEAMS, LINTELS, BRACING AND TIE DOWNS AS PER ENGINEERS DESIGN



Roof Plan
SCALE 1:100

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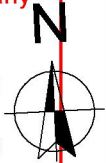
CLIENT:

DRAWING TITLE:
Working Drawings

PROJECT: PROPOSED NEW DWELLING
LOT 2, 130 Veysey Road,
Neerim East, 3831

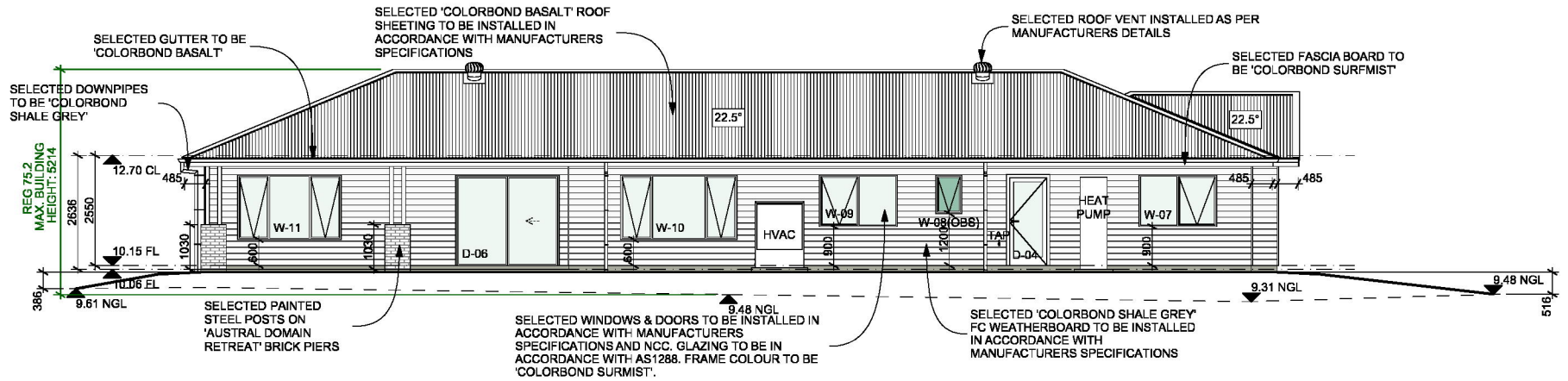
NO	DESCRIPTION	AREA	SQM
01	Living Area	186.20	
02	Garage Area	48.05	
03	Porch Area	7.29	
04	Alfresco Area	27.43	
		Total	231.06 m²

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

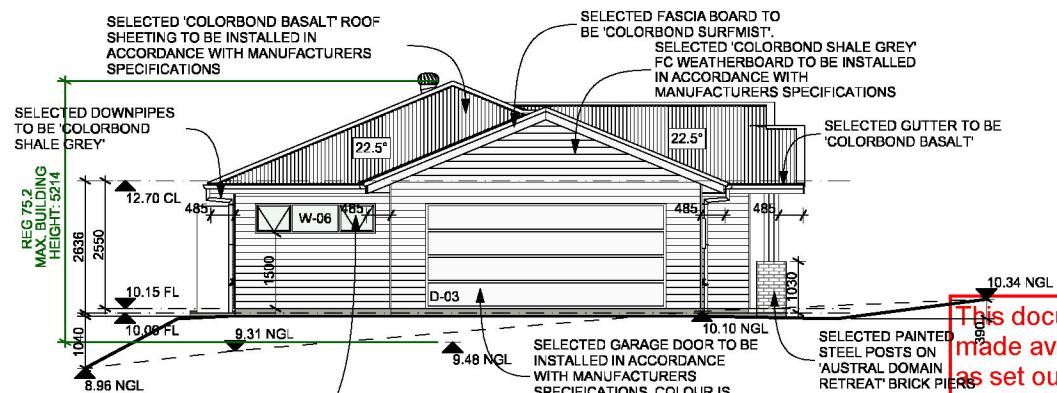


PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1

ALL STRUCTURAL MEMBERS INCLUDING BEAMS, LINTELS, BRACING AND TIE DOWNS AS PER ENGINEERS DESIGN



South Elevation
SCALE 1:100



East Elevation
SCALE 1:100

EXTERNAL MATERIALS & FIXTURES	
Roof/Gutter	Colorbond Basalt
Fascia	Colorbond Surfist
Down Pipe	Colorbond Shale Grey
Weatherboards Colour	Colorbond Shale Grey
Bricks	Austral Domain Retreat
Windows	Surfist

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Construction Standards To Comply With Australian Standard 3959 -2018 Bush Fire Attack Level (BAL) - BAL 40

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G.J. Gardner. HOMES
Tymell Constructions Pty Ltd CDB-U 54497
Trading as G.J. Gardner Homes Warragul
26 Hazel Drive Rd, Warragul, Vic 3820

FLAXTON 224 - CUSTOM
HAMPTONS
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DRAWING TITLE:
Working Drawings

PROJECT: PROPOSED NEW DWELLING
LOT 2, 130 Veysey Road,
Neerim East, 3831

NO.	DESCRIPTION	AREA	SQM
01	Living Area		186.10
02	Garage Area		48.05
03	Porch Area		7.29
04	Alfresco Area		27.43
		Total	231.06 m²

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING MUST BE AT THE PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1

ALL STRUCTURAL MEMBERS INCLUDING BEAMS, LINTELS, BRACING AND TIE DOWNS AS PER ENGINEERS DESIGN

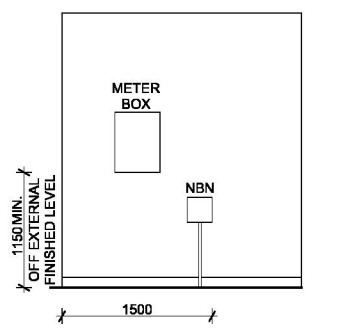
Window Schedule														
ID	W-01	W-02	W-03(OBS)	W-04	W-05	W-06	W-07	W-08(OBS)	W-09	W-10	W-11	W-12	W-13(OBS)	W-14
Location	STUDY	P'TRY	BATH	BED 2	GARAGE	BED 4	BED 4	WC	BED 3	FAMILY	BED 1	BED 1	ENS	LOUNGE
Type	AWNING	FIXED	AWNING	AWNING	AWNING	AWNING	AWNING	AWNING	AWNING	AWNING	AWNING	AWNING	AWNING	AWNING
Sill height	600	900	900	600	600	1500	900	1200	900	600	600	1500	300	600
Notes														

Window Schedule	
ID	W-15
Location	LOUNGE
Type	AWNING
Sill height	600
Notes	

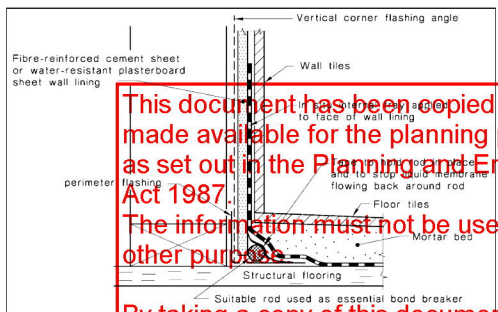
Door Schedule						
ID	D-01	D-02	D-03	D-04	D-05	D-06
Location	FOYER	GARAGE	GARAGE	L'DRY	FAMILY	DINING
Type	HINGED	HINGED	PANELIFT	HINGED	SLIDING	SLIDING
Notes						

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION;
 - IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH.
 - IF THE FLOOR BELOW THE WINDOW IN A ROOM OTHER THAN A BEDROOM IS 4m OR MORE ABOVE THE SURFACE BENEATH.
 WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A WINDOW OPENING MUST COMPLY WITH THE FOLLOWING:
 THE OPENABLE PORTION OF THE WINDOW MUST BE PROTECTED WITH A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING; OR A SCREEN WITH SECURE FITTINGS.
 REFER CURRENT NCC FOR FULL DETAILS

ENERGY RATING NOTES	
Energy Rating Key Construction & Insulation Materials	
INSULATION	
Walls - R2.5	
Roof - R6.0 Ceiling + R1.2 Roof Blanket	
Floor - R Nil	
GLAZING	
Aluminium Double Glazed	
Type	U-Value SHGC
ALS-025-01 A 50mm Carinya Classic Awning Window DG 4Cir/10/4Cir	4.18 0.58
ALS-037-01 A 92mm Carinya Classic Sliding Door DG 4Cir/10/4Cir	3.63 0.62
ALS-045-03 A Carinya Select 125 Hinged Door DG 4/16/4	3.90 0.53
ALS-028-01 A 50mm Carinya Classic Fixed Window DG 4/10/4	3.31 0.69



Typical Services Detail
SCALE 1:50



Typical Wet Area Floor Detail

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G.J. Gardner. HOMES

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 Trading as G.J. Gardner Homes Warragul
 26 Hazel Drive Rd, Warragul, Vic 3820

FLAXTON 224 - CUSTOM

HAMPTONS

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CLIENT:

DRAWING TITLE:
Working Drawings

PROJECT: PROPOSED NEW DWELLING

LOT 2, 130 Veysey Road,
Neerim East, 3831

DATE: 10/09/2025

SCALE: A3

AREA	SQM
Living Area	166.20
Garage Area	48.05
Porch Area	7.29
Alfresco Area	27.43
TOTAL	231.06 m²

DATE: 10/09/2025

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED BY THE CLIENT ARE AT THE CLIENT'S RISK AND IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.

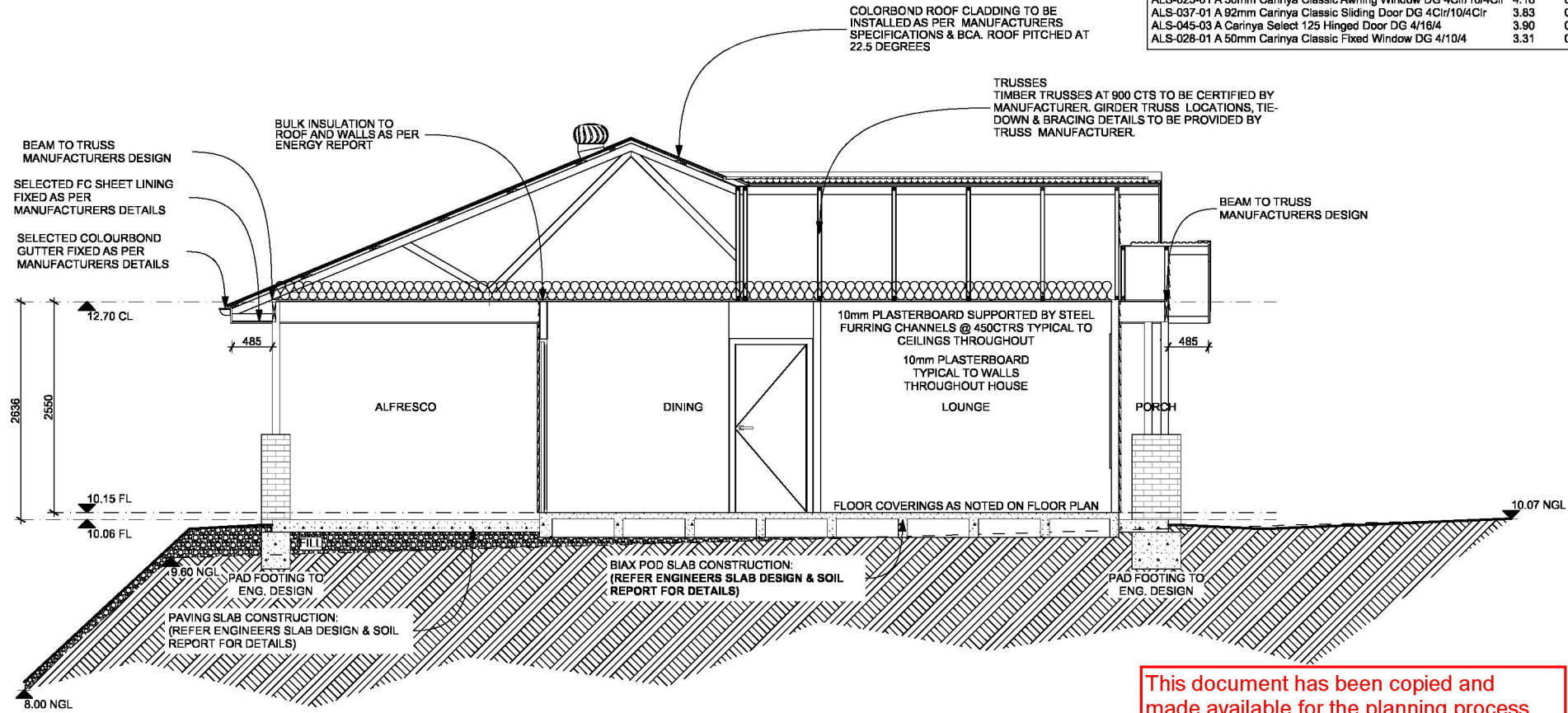
OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1

ALL STRUCTURAL MEMBERS INCLUDING BEAMS, LINTELS, BRACING AND TIE DOWNS AS PER ENGINEERS DESIGN

ENERGY RATING NOTES		
Energy Rating Key Construction & Insulation Materials		
INSULATION		
Walls - R2.5		
Roof - R6.0 Ceiling + R1.2 Roof Blanket		
Floor - R Nil		
GLAZING		
Aluminium Double Glazed		
Type	U-Value	SHGC
ALS-025-01 A 50mm Carinya Classic Awning Window DG 4Cir/10/4Cir	4.18	0.58
ALS-037-01 A 92mm Carinya Classic Sliding Door DG 4Cir/10/4Cir	3.83	0.62
ALS-045-03 A Carinya Select 125 Hinged Door DG 4/16/4	3.90	0.53
ALS-028-01 A 50mm Carinya Classic Fixed Window DG 4/10/4	3.31	0.69



Section A-A
SCALE 1:50

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FLAXTON 224 - CUSTOM

HAMPTONS

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CLIENT:

DRAWING TITLE:

Working Drawings

PROJECT: PROPOSED NEW DWELLING

LOT 2, 130 Veysey Road, Neerim East, 3831

NO	DESCRIPTION	AREA	SQM
01	Living Area	48.05	48.05
02	Garage Area	7.29	7.29
03	Porch Area	27.43	27.43
04	Alfresco Area	27.43	27.43
TOTAL		231.06 m²	231.06 m²

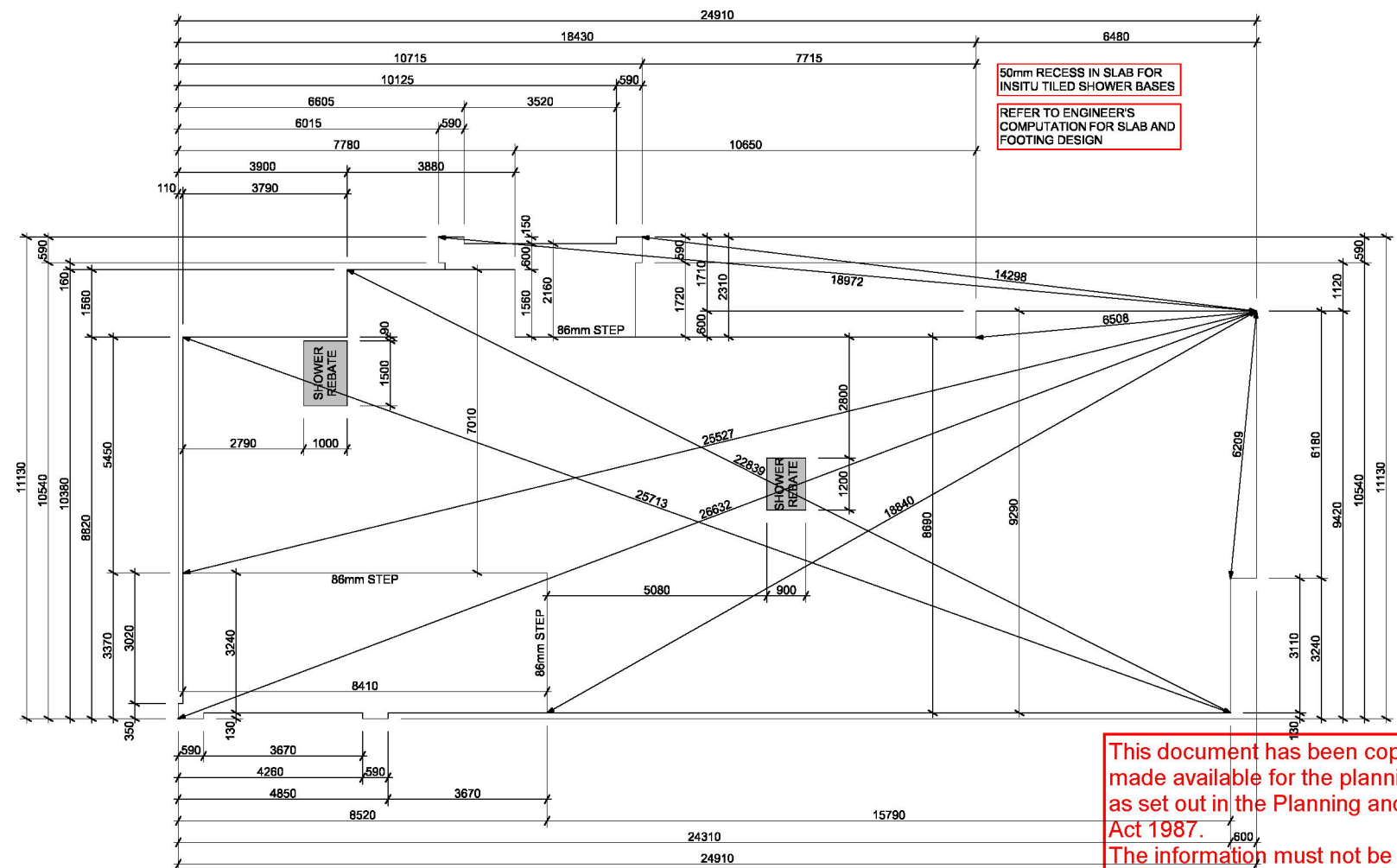
I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING MUST BE IN WRITING AND IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: _____ DATE: _____

BUILDER SIGNED: _____ DATE: _____

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1

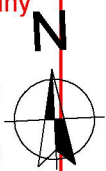
ALL STRUCTURAL MEMBERS INCLUDING BEAMS, LINTELS, BRACING AND TIE DOWNS AS PER ENGINEERS DESIGN



Slab Plan
SCALE 1:100

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DRAWING TITLE:
Working Drawings

PROJECT: PROPOSED NEW DWELLING
LOT 2, 130 Veysey Road,
Neerim East, 3831

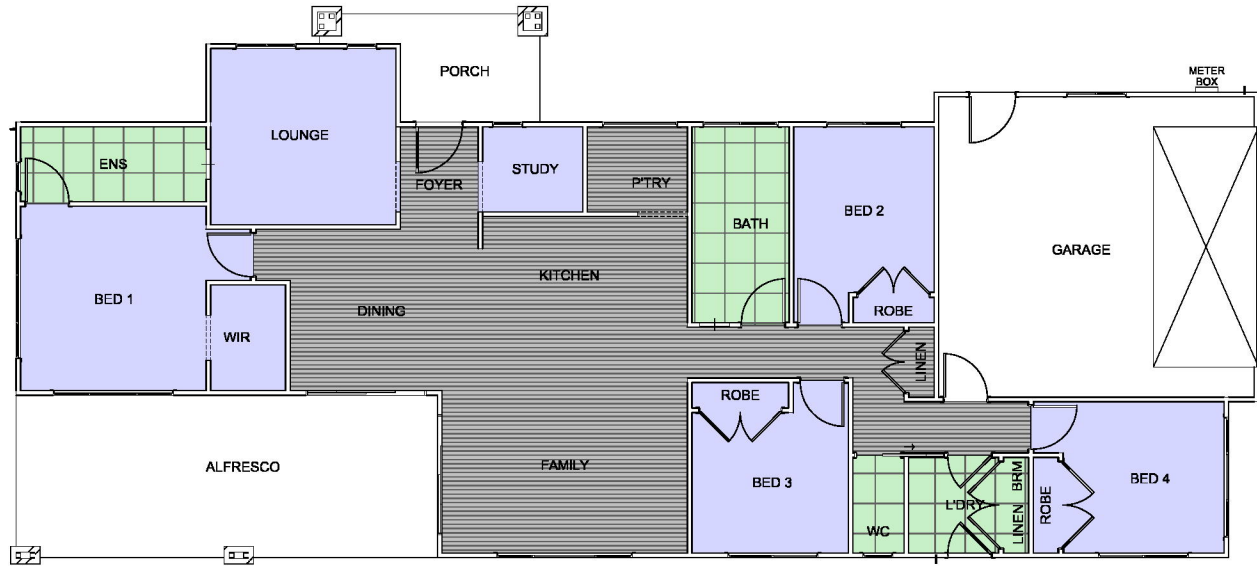
NO	DESCRIPTION	AREA	SQM
01	Living Area	48.05	166.10
02	Garage Area	48.05	166.10
03	Porch Area	7.29	25.50
04	Alfresco Area	27.43	92.50
TOTAL		231.06	789.20

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1

ALL STRUCTURAL MEMBERS INCLUDING BEAMS, LINTELS, BRACING AND TIE DOWNS AS PER ENGINEERS DESIGN

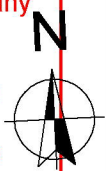
FLOOR COVERINGS LEGEND	
	PROVIDE SELECTED VINYL PLANKS
	PROVIDE SELECTED TILES
	PROVIDE SELECTED CARPET



Floor Coverings
SCALE 1:100

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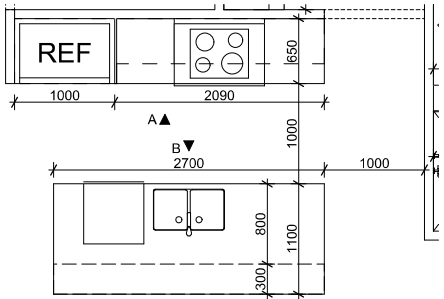
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DRAWING TITLE: Working Drawings

PROJECT: PROPOSED NEW DWELLING
LOT 2, 130 Veysey Road,
Neerim East, 3831

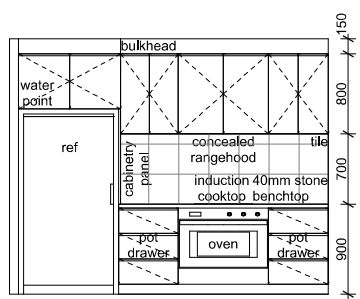
NO	DESCRIPTION	AREA	SQM
01	Living Area		186.20
02	Garage Area		44.05
03	Porch Area		7.29
04	Alfresco Area		27.43
		Total	231.06 m²

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.
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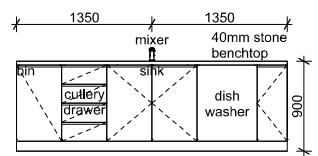
NOTE: ALL DIMENSIONS ARE INDICATIVE & ARE TO BE CONFIRMED BY SHOP DRAWINGS



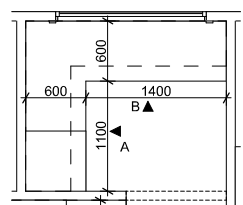
Kitchen Plan SCALE 1:50



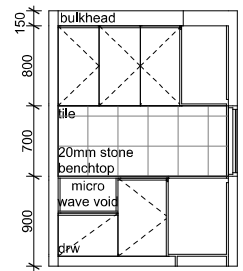
Kitchen Elevation A SCALE 1:50



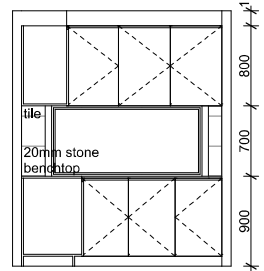
Kitchen Elevation B SCALE 1:50



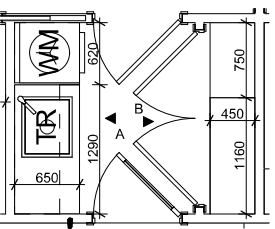
Pantry Plan SCALE 1:50



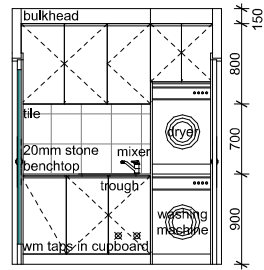
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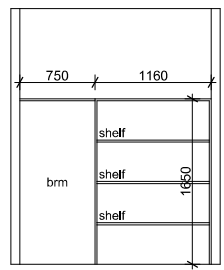
P'try Elevation B SCALE 1:50



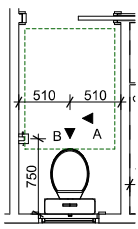
Laundry Plan SCALE 1:50



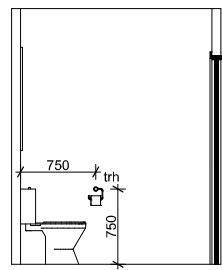
L'dry Elevation A SCALE 1:50



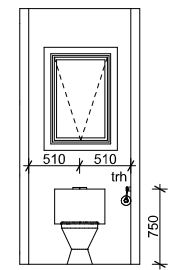
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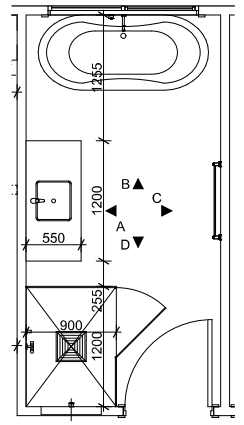
WC Plan SCALE 1:50



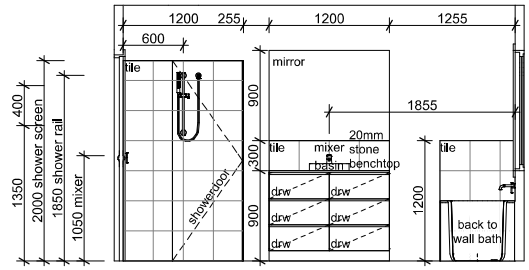
WC Elevation A SCALE 1:50



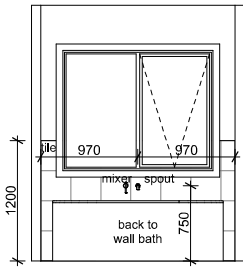
WC Elevation B SCALE 1:50



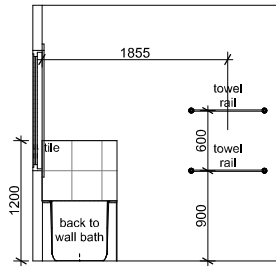
Bathroom Plan SCALE 1:50



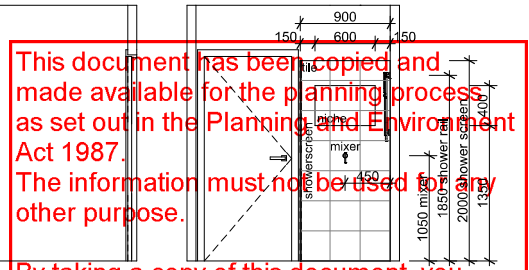
Bath Elevation A SCALE 1:50



Bath Elevation B SCALE 1:50



Bath Elevation C SCALE 1:50



Bath Elevation D SCALE 1:50

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Construction Standards To Comply With Australian Standard 3959 -2018 Bush Fire Attack Level (BAL) - BAL 40

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26 Hazel Drive Rd, Warragul, Vic 3820

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CLIENT:
Jake Ayres & Renee Cardilini
DRAWING TITLE:
Working Drawings

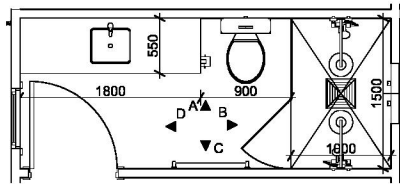
PROJECT: PROPOSED NEW DWELLING
LOT 2, 130 Veysey Road,
Neerim East, 3831

AREA SUMMARY

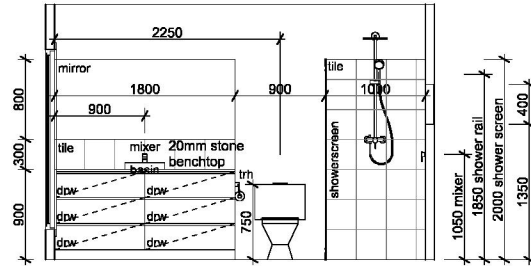
AREA	SQM
01 Living Area	140.05
02 Garage Area	41.05
03 Porch Area	7.29
04 Alfresco Area	27.43
TOTAL	231.06 m²

I HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED IN ADDITION TO THE BEST OF THE VARIATION ITEMS WILL BE AT MY FURTHER PLANS TO BE PREPARED.
OWNER SIGNED: DATE: _____
BUILDER SIGNED: DATE: _____

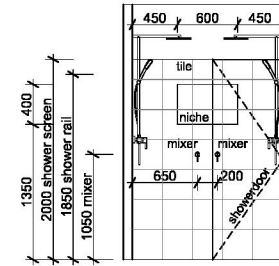
NOTE: ALL DIMENSIONS ARE INDICATIVE & ARE TO BE CONFIRMED BY SHOP DRAWINGS



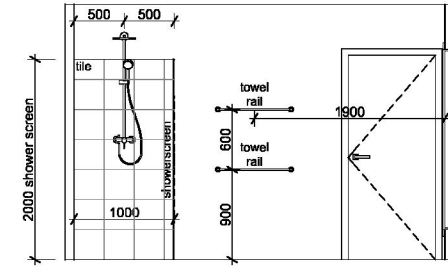
Ensuite Plan
SCALE 1:50



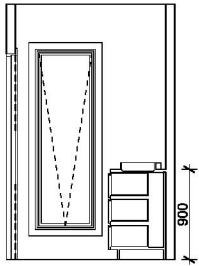
Ens Elevation A
SCALE 1:50



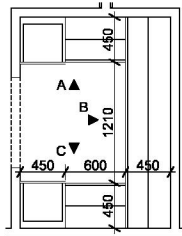
Ens Elevation B
SCALE 1:50



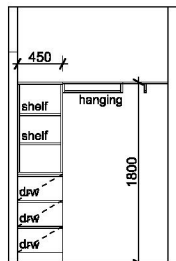
Ens Elevation C
SCALE 1:50



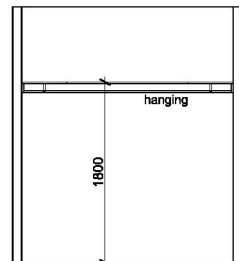
Ens Elevation D
SCALE 1:50



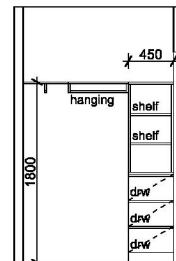
WIR Plan
SCALE 1:50



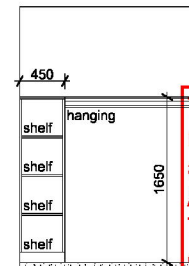
WIR Elevation A
SCALE 1:50



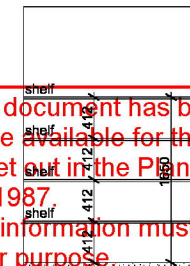
WIR Elevation B
SCALE 1:50



WIR Elevation C
SCALE 1:50



Typical Robe
SCALE 1:50



Typical Linen
SCALE 1:50

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Construction Standards To Comply With Australian Standard 3959 -2018 Bush Fire Attack Level (BAL) - BAL 40

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G.J. Gardner. HOMES

FLAXTON 224 - CUSTOM

Tymell Constructions Pty Ltd CDB-U 54497
Trading as G.J. Gardner Homes Warragul
26 Hazel Drive Rd, Warragul, Vic 3820

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CLIENT:

DRAWING TITLE:

Working Drawings

PROJECT: PROPOSED NEW DWELLING

LOT 2, 130 Veysey Road,
Neerim East, 3831

DATE: 10/09/2025

DRAWN: SMW

PLOT: 1/05/2026

DATE: 10/09/2025

DATE: 10/09/2025

DATE: 10/09/2025

DATE: 10/09/2025

DATE: 10/09/2025

DATE: 10/09/2025

DATE: 10/09/2025

DATE: 10/09/2025

AREA	SQM
Living Area	66.20
02 Garage Area	48.05
03 Porch Area	7.29
04 Alfresco Area	27.43
TOTAL	231.06 m²

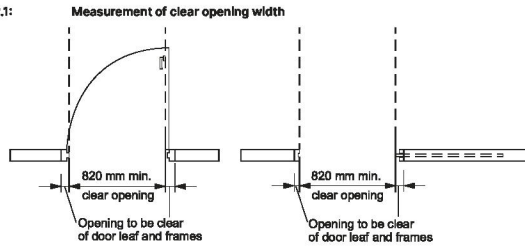
WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

2.1 Clear opening width

- (1) At least one entrance door to the dwelling must have a minimum clear opening width of 820 mm.
- (2) The minimum clear opening width required by (1) must be measured in accordance with Figure 2.1.

Figure 2.1: Measurement of clear opening width



The threshold of an entrance door that is subject to Clause 2.1 must-

- (a) be level; or
- (b) have a sill height not more than 5 mm if the lip is rounded or bevelled; or
- (c) have a ramped threshold that-(i) does not extend beyond the depth of the door jamb; and
- (ii) has a gradient not steeper than 1:8; and
- (iii) is at least as wide as the minimum clear opening width of the entrance door; and does not intrude into the minimum dimensions of a landing area that is required by Clause 2.3; or
- (d) where the requirements of (a), (b) or (c) cannot meet the weatherproofing requirements of the NCC, for external entrance doors containing a raised door or sill-(i) have no lip or upstand greater than 15mm within the sill profile; and
- (ii) have no more than 5mm height difference between the edge of the top surface of the sill and the adjoining finished surface.

An entrance door that is subject to Clause 2.1 must have a space of at least 1200mm x 1200mm on the external (arrival) side of the door that is-

- (a) unobstructed (other than by a gate or a screen door); and level; or has a gradient not more than 1:40 if a gradient is necessary to allow for drainage.

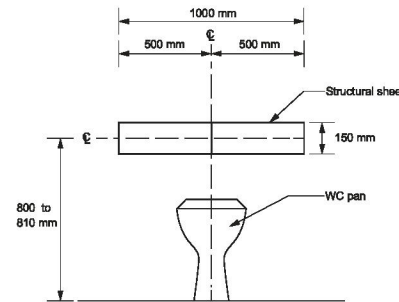
Internal corridors, hallways, passageways or the like, if connected to a door that is subject to Clause 3.1, must have a minimum clear width of 1000 mm, measured between the finished surfaces of opposing walls.

Hobless and step-free entry

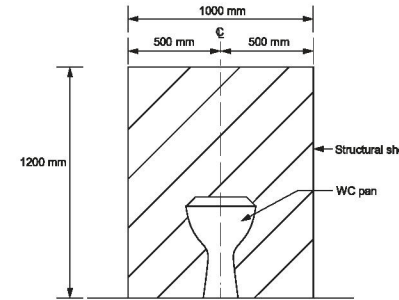
At least one shower must have a hobless and step-free entry.

A lip not more than 5 mm in height may be provided for water retention purposes

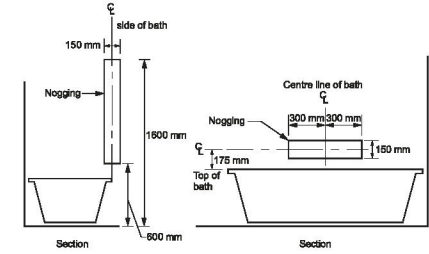
Location of noggings for a wall behind a toilet pan



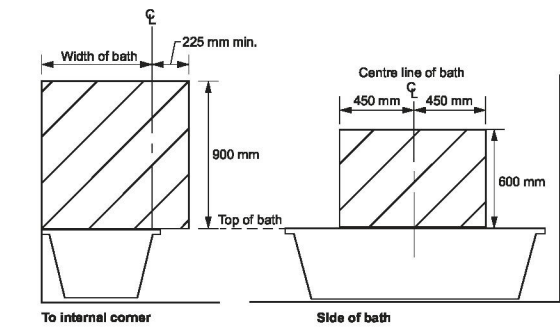
Location of sheeting for a wall behind a toilet pan



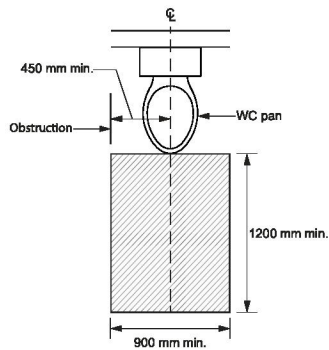
Location of noggings for walls surrounding a bath



6.2b: Location of sheeting for walls surrounding a bath

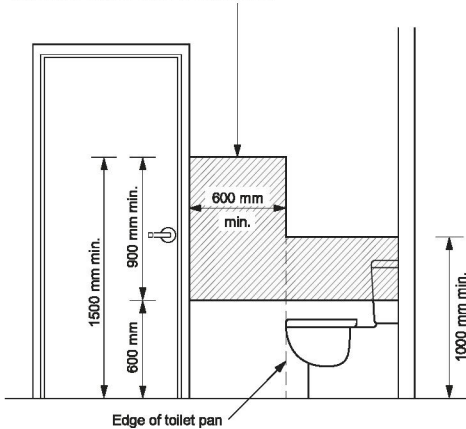


Circulation space for a toilet pan



Minimum extent of sheeting for wall adjacent to a toilet pan

Minimum extent of structural sheeting clear of any door frame, window frame or wall opening



NOTE:
THIS IS A SUMMARY OF THE NCC 2022 LIVABLE HOUSE DESIGN
REFER TO THE CURRENT VERSION FOR FULL DETAILS

Construction Standards To Comply With Australian Standard 3959 -2018 Bush Fire Attack Level (BAL) - BAL 40

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CLIENT:

DRAWING TITLE:

Working Drawings

PROJECT: PROPOSED NEW DWELLING

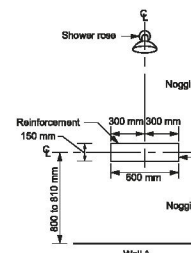
LOT 2, 130 Veysey Road,
Neerim East, 3831

DRAWN: SMW

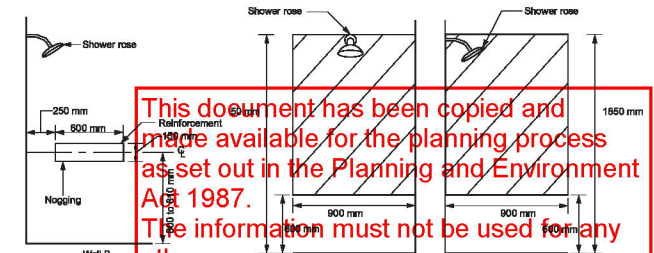
DATE: 10/09/2025

Plot: 10/09/2025

Location of noggings for shower walls



Location of sheeting for shower walls



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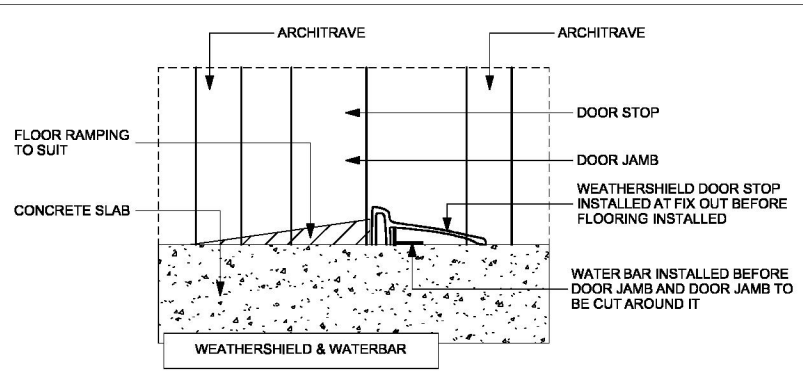
NO.	DESCRIPTION	AREA	SQM
01	Living Area	48.05	48.05
02	Garage Area	48.05	48.05
03	Porch Area	7.29	7.29
04	Alfresco Area	27.43	27.43
		Total	131.82

DATE: 10/09/2025

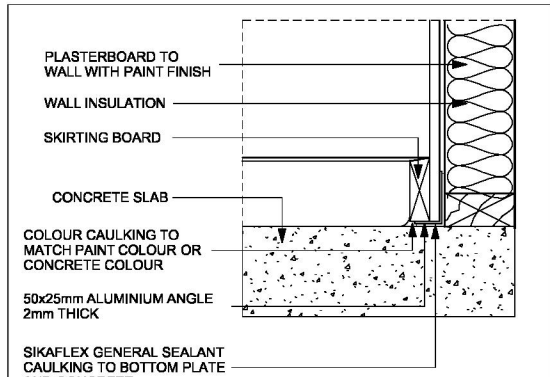
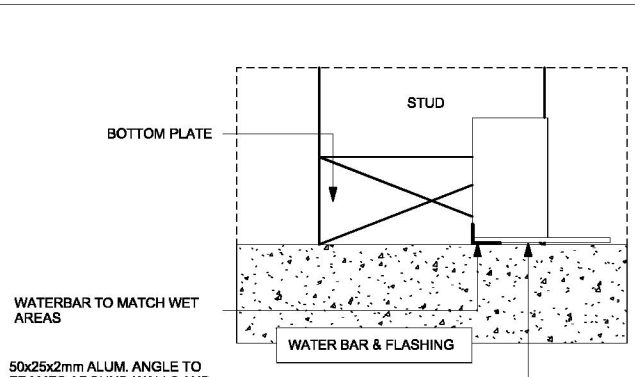
OWNER SIGNED: _____ DATE: _____
BUILDER SIGNED: _____ DATE: _____

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1

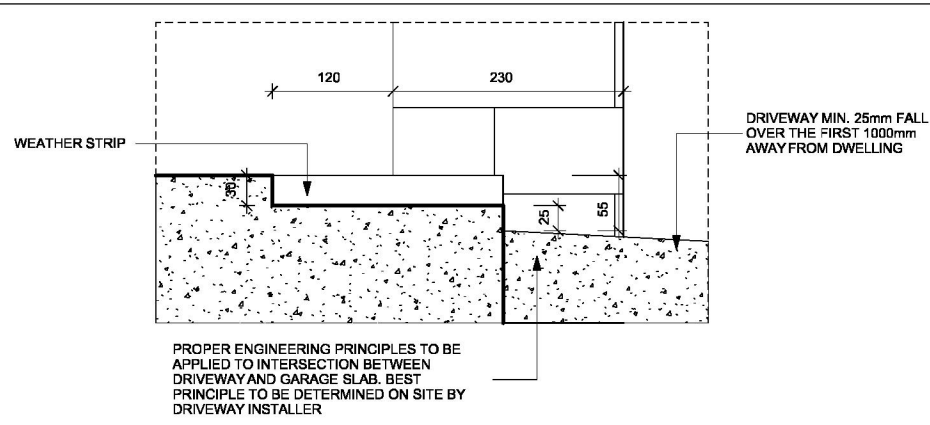
ALL STRUCTURAL MEMBERS INCLUDING BEAMS, LINTELS, BRACING AND TIE DOWNS AS PER ENGINEERS DESIGN



WEATHERSHIELD AND WATERBAR TO DOOR FRAME MATERIAL

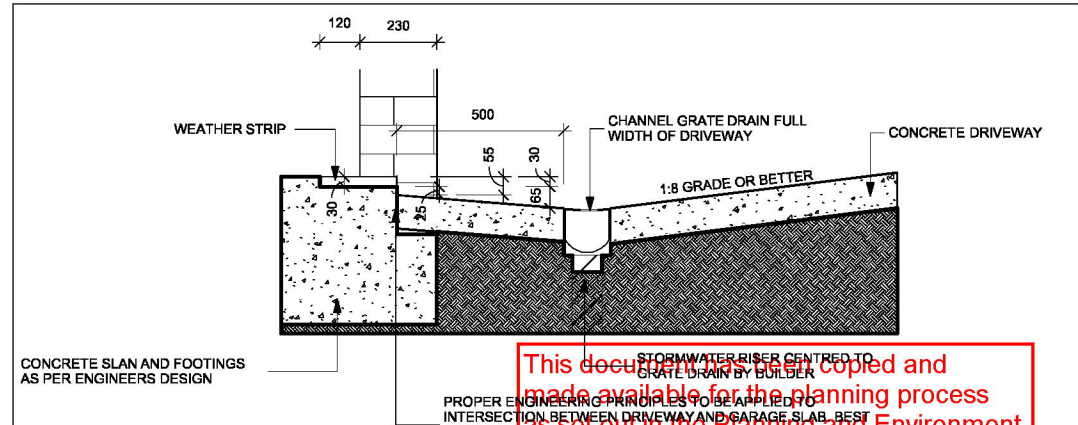


TYPICAL GARAGE WALL TO SLAB FLASHING DETAIL



GARAGE WEATHERSTRIP AND DRIVEWAY TRANSITION DETAIL - NGL FALLING AWAY FROM GARAGE

NOTE: CONSTRUCTION DETAILS ARE NOT TO SCALE



GARAGE WEATHERSTRIP AND DRIVEWAY TRANSITION DETAIL - NGL FALLING TOWARDS GARAGE

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 Trading as G.J. Gardner Homes Warragul
 26 Hazel Drive Rd, Warragul, Vic 3820

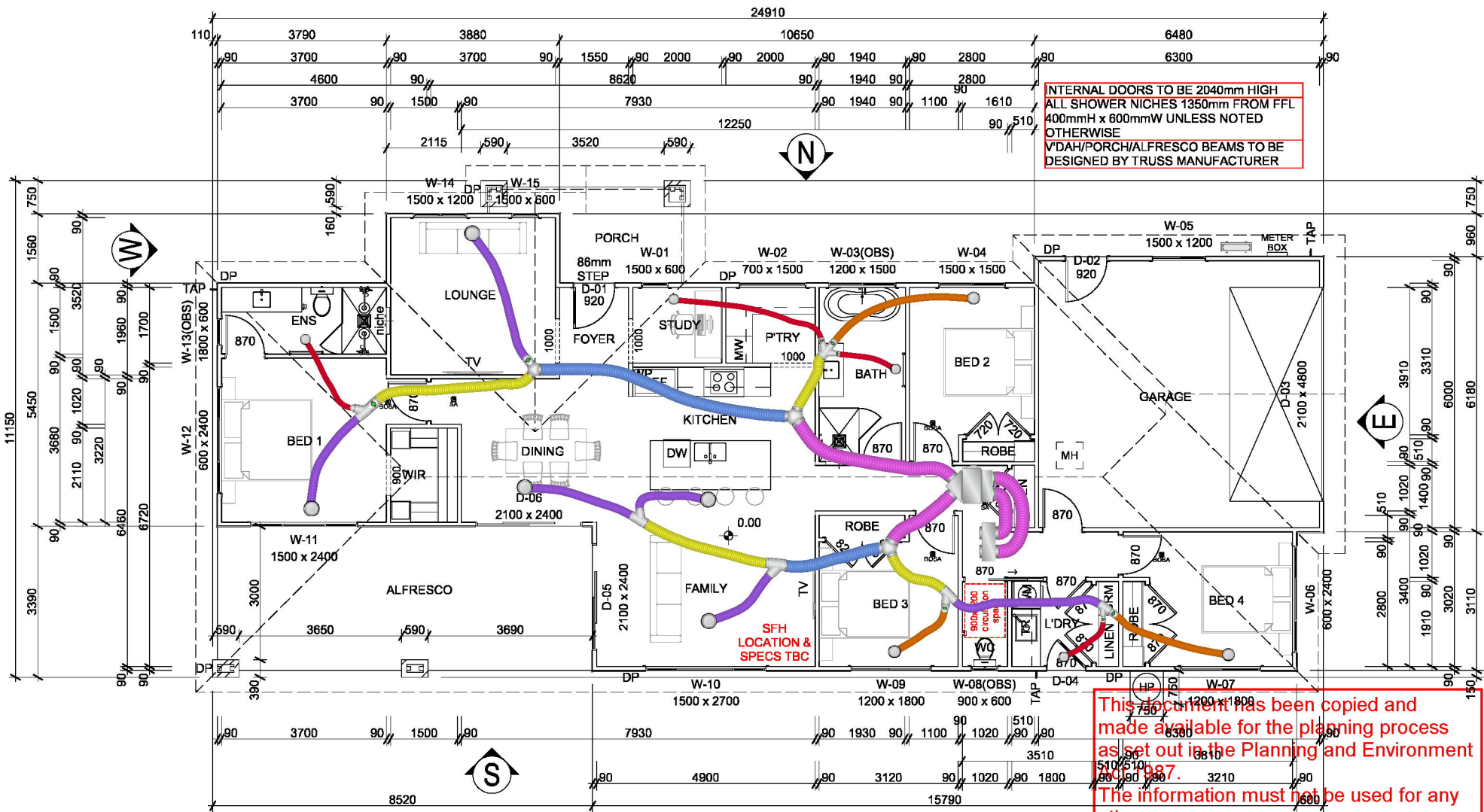
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CLIENT:
 DRAWING TITLE:
Working Drawings

PROJECT: PROPOSED NEW DWELLING
 LOT 2, 130 Veysey Road,
 Neerim East, 3831

NO	DESCRIPTION	AREA	SQM
01	Living Area	186.10	
02	Garage Area	49.05	
03	Porch Area	7.29	
04	Alfresco Area	27.43	
		231.06	m²

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING NOW INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.
 OWNER SIGNED: _____ DATE: _____
 BUILDER SIGNED: _____ DATE: _____



INTERNAL DOORS TO BE 2040mm HIGH
 ALL SHOWER NICHES 1350mm FROM FFL
 400mmH x 600mmW UNLESS NOTED
 OTHERWISE
 V'DAH/PORCH/ALFRESCO BEAMS TO BE
 DESIGNED BY TRUSS MANUFACTURER

Heating Cooling Plan
 NOT TO SCALE

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CLIENT:
 DRAWING TITLE:
 Working Drawings

PROJECT: PROPOSED NEW DWELLING
 LOT 2, 130 Veysey Road,
 Neerim East, 3831

NO	DESCRIPTION	AREA	SQM
01	Living Area		166.10
02	Garage Area		48.05
03	Porch Area		7.29
04	Alfresco Area		27.43
		Total	231.06 m²

WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED BY THE CLIENT ARE AT THE CLIENT'S RISK AND AT THE CLIENT'S COST. A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS WILL APPLY. ANY FURTHER PLANS TO BE PROVIDED.
 OWNER SIGNED: DATE:
 BUILDER SIGNED: DATE:

