



Application for a Planning Permit

Lodgement Date: **12 January 2026**
 Application Number: **PLA0002/26**
 Lodgement Method: **Online**
 Original Permit Number: **Not Applicable**

- ◆ Original Permit Number only relates to Amendment Applications
- ◆ All information in this form was submitted by the Applicant at the time of Lodgement.

The Land

Property Address* **3 Ambrose Court YARRAGON VIC 3823**
 Land Legal Description* **Lot 3 PS 923819W Warragul Parish**
 Other Related Property
 Other Related Land **Lot 3 PS 923819W Warragul Parish**

The Proposal

Category* **Development of 2 or more dwellings**
 Proposal* **Development of Three Dwellings**
 Estimated Cost* **\$900000.00**

Application Information

Pre-Application Meeting* **No**
 Existing Land Use* **Utility Installation**
 Encumbrances on Title* **Not applicable (no such encumbrance applies)**

Applicant and Owner Details

Applicant Details*

Surname/Company:

First Name:

Postal Address:

Mobile Phone:

Home Phone:

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Work Phone:

Email Address:

Advertised

Agent/Contact Details

Surname/Company:

First Name:

Postal Address:

Mobile Phone:

Home Phone:

Work Phone:

Email Address:

Owner Details*

Surname/Company:

First Name:

Attachment Details

3 Ambrose Crt - TP Report (DOC-26-2227)

3 Ambrose Crt - Survey (DOC-26-2228)

3 Ambrose Crt - Dev plans 20250517 (DOC-26-2229)

3 Ambrose Crt (14 Market st) - POS (DOC-26-2230)

14 Market st - title (DOC-26-2231)

Applicant Declaration

I understand and declare that:

- I am the Applicant;
- all information provided within this application is true and correct; and
- the property/land owner (if not myself) has been notified of the application.

*I agree to the declaration terms**

Yes

The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application.

These third parties generally include, but are not limited to:

Transport Infrastructure Agencies such as VicRoads and VLine

Energy/Utilities Providers

Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies.

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Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

All information collected and held by Council is managed in accordance with Councils Privacy Policy which is available on our website. If you choose not to supply the requested information it may impair the ability of Council to consider your application or prevent Council from communicating with you in relation to your application.

If you have any concerns or require access to the information held by Council, please contact us on 5624 2411.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 12664 FOLIO 396

Security no : 124133854997R
Produced 16/04/2026 05:02 PM

LAND DESCRIPTION

Lot 3 on Plan of Subdivision 923819W.
PARENT TITLE Volume 09818 Folio 486
Created by instrument PS923819W 31/03/2026

REGISTERED PROPRIETOR

Estate Fee Simple

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AZ289435J 20/06/2025

DIAGRAM LOCATION

SEE PS923819W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
PS923819W (B)	PLAN OF SUBDIVISION	Registered	31/03/2026

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 3 AMBROSE COURT YARRAGON VIC 3823

ADMINISTRATIVE NOTICES

NIL

eCT Control 18478R FIRST LEGAL
Effective from 31/03/2026

DOCUMENT END

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Document Type	Plan
Document Identification	PS923819W
Number of Pages (excluding this cover sheet)	2
Document Assembled	16/04/2026 17:02

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<h1>PLAN OF SUBDIVISION</h1>	EDITION 1	PS923819W Advertised
------------------------------	-----------	--

<p>LOCATION OF LAND</p> <p>PARISH: WARRAGUL TOWNSHIP: YARRAGON SECTION: 10 CROWN ALLOTMENT: 30 & 31 (PARTS) CROWN PORTION: TITLE REFERENCE: VOL. 9818 FOL. 486</p> <p>LAST PLAN REFERENCE: LOT 2 ON LP212114T POSTAL ADDRESS: 12-14 MARKET STREET, (at time of subdivision) YARRAGON VIC 3823</p> <p>MGA CO-ORDINATES: E: 417 930 ZONE: 55 (of approx centre of land GDA 2020 in plan) N: 5 770 810</p>	<p>Council Name: Baw Baw Shire Council</p> <p>Council Reference Number: PSB0016/24 Planning Permit Reference: PLA0342/22 SPEAR Reference Number: S225956P</p> <p>Certification</p> <p>This plan is certified under section 6 of the Subdivision Act 1988</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has not been made</p> <p>Digitally signed by _____ for Baw Baw Shire Council on 01/04/2025</p> <p>Statement of Compliance issued: 26/11/2025</p>
--	---

VESTING OF ROADS AND/OR RESERVES		NOTATIONS	
IDENTIFIER	COUNCIL/BODY/PERSON		
NIL	NIL		
NOTATIONS			
DEPTH LIMITATION: 15.24m			
<p>SURVEY: This plan is based on survey.</p> <p>STAGING: This is not a staged subdivision. Planning Permit No. PLA0342/22</p> <p>This survey has been connected to permanent marks No(s). 78</p> <p>In Proclaimed Survey Area No.</p>			

EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-2, E-4	DRAINAGE & SEWERAGE	3m	LP131706	LOTS ON LP131706
E-3, E-4	DRAINAGE	2.50	THIS PLAN	LOT 1 ON THIS PLAN
E-2, E-3, E-4, E-5	PIPELINES OR ANCILLARY PURPOSES	SEE PLAN	THIS PLAN - SECTION 136 OF THE WATER ACT 1989	CENTRAL GIPPSLAND REGION WATER CORPORATION

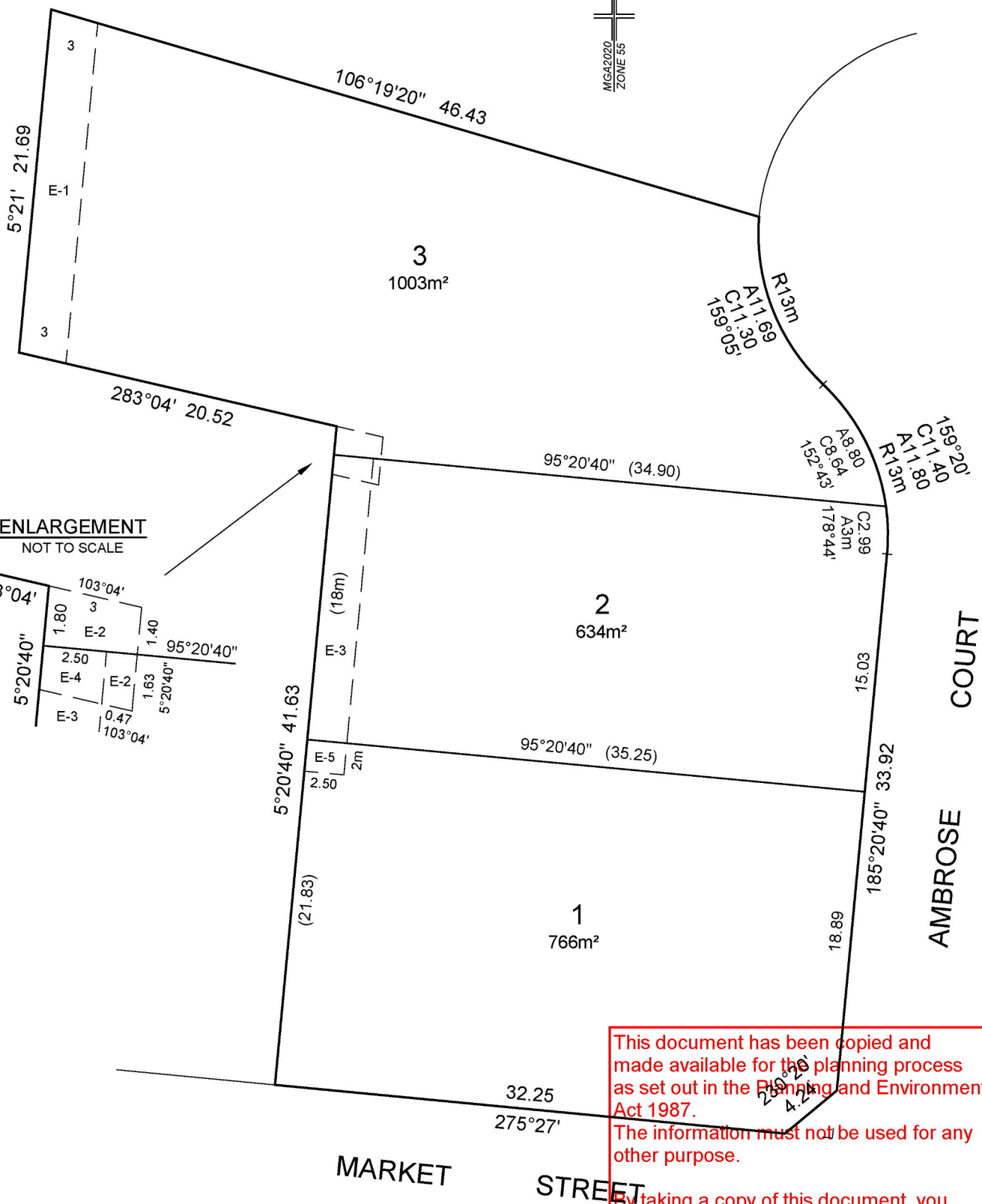
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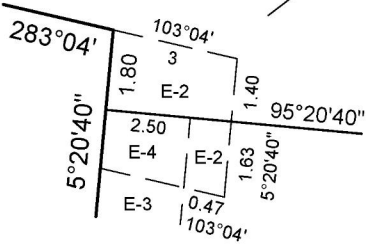
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PS923819W **Advertised**



ENLARGEMENT
NOT TO SCALE

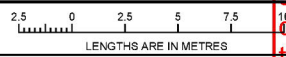


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T (03) 9646 0864 www.landsurveys.net.au
E melbourne@landsurveys.net.au
Unit 2, 85 Salmon Street, Port Melbourne VIC 3207
Surveyors Reference: 2205656

SCALE
1:250



Digitally signed by: _____ Licensed Surveyor,
Surveyor's Plan Version (4),
21/03/2025, SPEAR Ref: S225956P

ORIGINAL SHEET
SIZE: A3

Digitally signed by:
Baw Baw Shire Council,
01/04/2025
SPEAR Ref: S225956P



Department of Transport and Planning

Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

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Status	Registered	Dealing Number	AZ289435J
Date and Time Lodged	20/06/2025 09:27:26 AM		

Lodger Details

Lodger Code	20126M
Name	
Address	
Lodger Box	
Phone	
Email	
Reference	Section 173 Agreemen

APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction VICTORIA

Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

Estate and/or Interest

FEE SIMPLE

Land Title Reference

9818/486

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	BAW BAW SHIRE COUNCIL
Address	
Street Number	1
Street Name	CIVIC
Street Type	PLACE
Locality	WARRAGUL
State	VIC
Postcode	3820

Additional Details

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Department of Transport and Planning

Electronic Instrument Statement

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of BAW BAW SHIRE COUNCIL
Signer Name
Signer Organisation
Signer Role CONVEYANCING PRACTICE
Execution Date 20 JUNE 2025

File Notes:
NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

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Document Identification	AZ289435J
Number of Pages (excluding this cover sheet)	13
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Advertised



Planology

Town Planning Law

Agreement under section 173 of the Planning and Environment Act 1987

14 Market Street, Yarragon

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Information Table

Date of Agreement: 21/5/2025

Parties

Name	Baw Baw Shire Council
Short form name	Council
Notice details	1 Civic Place, Warragul, Victoria
Name	
Short form name	Owner
Notice details	

Background

- A. Council is the responsible authority pursuant to the Act for the Planning Scheme.
- B. The Subject Land is subject to the Planning Scheme.
- C. The Owner is the registered proprietor of the Subject Land.
- D. Council has granted the Planning Permit authorising the three lot subdivision of the Subject Land. This Agreement is to give effect to condition 19 of the Planning Permit.
- E. The parties enter into this Agreement to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

Agreed Terms

1. Defined Terms

In this Agreement:

Act means the *Planning and Environment Act 1987*.

Agreement means this agreement and any agreement executed by the parties expressed to be supplemental to this Agreement.

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Building Act means the *Building Act 1993*.

Building Permit means a building permit issued under the Building Act or any regulations or code made under the Building Act.

Community Infrastructure Levy means the community infrastructure levy that is required to be paid upon development of the Subject Land in accordance with the Development Contributions Plan.

Current Address for Service

for Council means the address shown on page 2 of this Agreement, or any other address listed on Council's website; and

for the Owner means the address shown on page 2 of this Agreement or any other address provided by the Owner to Council for any purpose relating to the Subject Land.

Current Email Address for Service

for Council means bawbaw@bawbawshire.vic.gov.au, or any other principal office email address listed on Council's website; and

for the Owner means any email address provided by the Owner to Council for the express purpose of electronic communication regarding this Agreement or any other email address provided by the Owner to Council for any purpose relating to the Subject Land.

Development Contributions Plan means the development contributions plan specified in Schedule 1 to the Development Contributions Plan Overlay applying to the Subject Land and incorporated into the Planning Scheme.

Dwelling has the same meaning as in the Planning Scheme.

Endorsed Plan means the plan endorsed with the stamp of Council from time to time as the plan which forms part of the Planning Permit. A copy of the Endorsed Plan is available for inspection at Council offices during normal business hours upon giving the Council reasonable notice.

Lot means a lot on the Endorsed Plan.

Mortgagee means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as Mortgagee of the Subject Land or any part of it.

Notice means any notice, demand, consent, approval or communication under this agreement.

Owner means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple of the Subject Land or any part of the Subject Land and includes any Mortgagee in possession.

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Party or parties means the Owner and Council but does not include a person who has transferred or otherwise disposed of all of their interests in the Subject Land.

Planning Permit means planning permit no. PLA0342/22, issued by Council on 10 July 2023, as amended from time to time. A copy of the Planning Permit is available for inspection at Council offices during normal business hours upon giving Council reasonable notice.

Planning Scheme means the Baw Baw Planning Scheme.

Subject Land means the land situated at 14 Market Street, Yarragon being the land contained in certificate of title volume 9818 folio 486 and any reference to the Subject Land in this Agreement includes a reference to any lot created by the subdivision of the Subject Land or any part of it.

2. Interpretation

In this Agreement unless the context admits otherwise:

- 2.1 The singular includes the plural and vice versa.
- 2.2 A reference to a gender includes a reference to each other gender.
- 2.3 A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
- 2.4 If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
- 2.5 A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
- 2.6 A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
- 2.7 The introductory clauses to this Agreement form part of this Agreement.
- 2.8 The Owner's obligations take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land.
- 2.9 Any reference to a clause, page, condition, attachment or term is a reference to a clause, page, conditions, attachment or term of this Agreement.

3. Section 173 Agreement

3.1 Purposes of Agreement

The Parties acknowledge and agree that the purposes of this Agreement are to

- 3.1.1 give effect to the terms of the Planning Permit, and

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- 3.1.2 achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

3.2 Reasons for Agreement

The Parties acknowledge and agree that this Agreement has been entered into for the following reasons:

- 3.2.1 Council would not have approved the Planning Permit without the condition requiring this Agreement; and
- 3.2.2 the Owner has elected to enter into this Agreement in order to take the benefit of the Planning Permit.

4. Agreement required

The Parties agree that this Agreement will continue to be required unless Council confirms in writing that it is no longer required.

5. Owner's Specific Obligations

5.1 Stormwater

The Owner covenants and agrees:

- 5.1.1 a stormwater detention and treatment system must be installed on the Subject Land prior to connecting to Council's stormwater detention system;
- 5.1.2 the Owner must maintain and not modify the on-site stormwater detention and treatment system without Council's prior written approval;
- 5.1.3 upon receiving notice of Council's intention to perform an inspection, the Owner must allow Council, including its agents, officers, employees, servants, workers and contractors, to access the Subject Land for the purpose of inspecting the on-site stormwater detention and treatment system periodically;
- 5.1.4 the capacity of the on-site stormwater detention and treatment system must not be reduced and must be maintained to the satisfaction of Council; and
- 5.1.5 the Owner must pay all costs associated with the operation, maintenance and Council inspection of the on-site stormwater detention and treatment system.

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5.2 Payment of the Community Infrastructure Levy

Before a Building Permit is issued for the construction of any Dwelling on a Lot:

- 5.2.1 the Owner of the Lot must pay the Community Infrastructure Levy to Council in accordance with the Development Contributions Plan; and
- 5.2.2 the relevant building surveyor in respect of the building work must be satisfied that the amount of the levy has been paid to Council in accordance with section 24(5)(a) of the Building Act.

6. Further Obligations of the Owner

6.1 Notice and Registration

The Owner further covenants and agrees that the Owner will bring this Agreement to the attention of all prospective purchasers, lessees, mortgagees, chargees, transferees and assigns.

6.2 Further actions

The Owner:

- 6.2.1 must do all things necessary to give effect to this Agreement;
- 6.2.2 consents to Council applying to the Registrar of Titles to record the Agreement on the Certificate of Title to the Subject Land in accordance with section 181 of the Act; and
- 6.2.3 agrees to do all things necessary to enable Council to do so, including:
 - (a) signing any further agreement, acknowledgement or document; and
 - (b) obtaining all necessary consents to enable the recording to be made.

6.3 Council's Costs to be Paid

The Owner must pay to Council, within 14 days after a written request for payment, Council's costs and expenses (including legal expenses) relating to this Agreement, including:

- 6.3.1 preparing, drafting, finalising, signing, recording and enforcing this Agreement;
- 6.3.2 preparing, drafting, finalising and recording any amendment to this Agreement; and
- 6.3.3 preparing, drafting, finalising and recording any document to give effect to the ending of this Agreement.

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6.4 Interest for overdue money

6.4.1 The Owner must pay to Council interest in accordance with section 120 of the *Local Government Act 2020* on any amount due under this Agreement that is not paid by the due date.

6.4.2 If interest is owing, Council will apply any payment made to interest and any balance of the payment to the principal amount.

7. Agreement under section 173 of the Act

Without limiting or restricting the respective powers to enter into this Agreement, and insofar as it can be so treated, this Agreement is made as a deed in accordance with section 173 of the Act.

8. Owner's Warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

9. Successors in Title

Without limiting the operation or effect that this Agreement has, the Owner must ensure that, until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- 9.1 give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- 9.2 execute a deed agreeing to be bound by the terms of this Agreement.

10. General

10.1 Notices

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- 10.1.1 personally on the other Party;
- 10.1.2 by leaving it at the Party's Current Address for Service;
- 10.1.3 by posting it by prepaid post addressed to that Party at the Party's Current Address for Service;
- 10.1.4 by facsimile to the Party's Current Number for Service; or
- 10.1.5 by email to the Party's Current Email Address for Service.

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10.2 Service of Notice

A notice or other communication is deemed served:

- 10.2.1 if delivered, on the next following business day;
- 10.2.2 if posted, on the expiration of 7 business days after the date of posting;
- 10.2.3 if sent by facsimile, on the next following business day unless the receiving party has requested retransmission before the end of that business day; or
- 10.2.4 if sent by email, the day on which it is sent.

10.3 No Waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

10.4 Severability

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.

10.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

10.6 Inspection of documents

A copy of any planning permit, document or plan referred to in this Agreement is available for inspection at Council's offices during normal business hours upon giving Council reasonable notice.

10.7 Governing law

This Agreement is governed by and will be construed in accordance with the laws of the State of Victoria.

10.8 Electronic execution

Each party consents to the signing of this Agreement by electronic means. The parties agree to be legally bound by this Agreement signed in this way.

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11. Commencement of Agreement

This Agreement commences on the date specified on page one or if no date is specified on page one, the date the Planning Permit was issued.

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Mortgagee's Consent

Notwithstanding any other provision of this Agreement, Perpetual Corporate Trust Limited, as Mortgagee under Instrument of mortgage No. AW003657Q consents to the Owner and the Council entering into this Agreement in respect of the Subject Land pursuant to section 173 of the Act and the registration of this Agreement on the title of the Subject Land and acknowledges that the terms of this Agreement will run with the Subject Land pursuant to section 182 of the Act.

.....
For and on behalf of the Mortgagee

Print Name:

Position:

Date: 7/05/2025

Signed in my presence for and on behalf of Perpetual Corporate Trust Limited (ACN 000 341 533) under the Power of Attorney dated 16/1/16 a certified copy of which is filed in Permanent Order No BK 27 Page 27 Item 1 by its Attorneys

.....and
.....
who are personally known to me and each of whom declare that they have received no notice of the revocation of their powers

..... Signature of Witness Signature of Attorney N N Manager Title of Attorney
..... Full Name of Witness Signature of Attorney Administrator Title of Attorney

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Caveator's Consent

..... as Caveator of registered caveat no. AX641681Y consents to the Owner entering into this Agreement.

.....
For and on behalf of the Caveator

Print Name:

Position: Director & Secretary

Date: 14/06/2025

..... as Caveator of registered caveat no. AX641681Y consents to the Owner entering into this Agreement.

.....
.....

Date: 14/06/2025

..... as Caveator of registered caveat no. AX641681Y consents to the Owner entering into this Agreement.

.....
.....

Date: 14/06/2025

AX2289435J

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LEFT TURN

8 May 2026

Attn
 Baw Baw Shire Council – Town Planning
 PO Box 304, Warragul, Victoria, 3818

Re: RFI Response to Town Planning Application / Planning No.: PLA0089/25
 Site Address: 49 Loch St, Yarragon, VIC 3823

Dear

Please find attached amended plans and supporting documentation as per requirements in the Further Information Letter dated 06 February 2026.

Further Information Required

1. A current copy of title for the subject land is provided, confirming the registration of Lot 3 PS923819W with Land Use Victoria. The submission includes the registered Certificate of Title for Lot 3 PS923819W, the registered Plan of Subdivision PS923819W, and the Section 173 Agreement AZ289453J recorded on the title. All documents are dated within 90 days and satisfy Council's request for updated title information.
2. Swept path diagrams prepared by a suitably qualified traffic engineer are submitted. These demonstrate that vehicles accessing the car parking spaces of Dwellings 2 and 3 can enter and exit the site in a forward direction, in accordance with Design Standard 1 of Clause 52.06-9 of the Baw Baw Planning Scheme.
3. A fully dimensioned landscape plan is provided. The plan details landscaping and planting across all open areas, includes a comprehensive planting schedule with botanical and common names, pot sizes, mature heights, and quantities, and identifies all hard surface finishes.
 Tree Protection Zones (TPZ), Notional Root Zones (NRZ), and Structural Root Zones (SRZ) for all retained trees, including those on adjoining land and within the road reserve, are clearly shown with any encroachments dimensioned to demonstrate compliance with Standard B2-6. The plan also identifies the location, canopy spread, and deep soil dimensions of all proposed canopy trees to confirm compliance with Standard B2-7, and includes corner splays adjacent to the accessway in accordance with Clause 52.06-9.

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4. A fully dimensioned WSUD plan is submitted, illustrating the distribution of pervious and impervious surfaces, stormwater flow paths directed to treatment areas and permeable surfaces, and rainwater tank collection areas. The Legal Point of Discharge will be confirmed at the detailed drainage design stage and will be incorporated into the final engineering documentation.
5. A STORM/BlueFactor assessment certificate is provided, demonstrating that the development meets the stormwater quality performance objectives of Standard B5-1. The modelling is consistent with the impervious surface areas and treatment measures shown on the submitted WSUD plan.
6. A roof plan is provided, identifying suitable areas for future rooftop solar energy generation for each dwelling. The plan also shows the location and height of all roof-mounted obstructions, including vents and pipes, and their separation from the designated solar installation areas, confirming compliance with Standard B5-3.
7. Updated site and floor plans are provided and include all required additional information. Tree Protection Zones, Notional Root Zones, and Structural Root Zones are clearly illustrated with quantified encroachments to demonstrate compliance with Standard B2-6.
 The setback of habitable room windows from the nearest accessway is fully dimensioned in accordance with Standard B3-2. Details of pathway and accessway lighting are shown to address Standard B3-3, and all external covered areas, including porches, are fully dimensioned to demonstrate compliance with Standard B3-4.
 Bedroom robes are dimensioned to confirm functional storage in accordance with Standard B3-7.
 Details of internal fencing and treatments to manage internal views are provided to meet Standard B4-5.
 Dimensioned bin storage areas and internal waste storage spaces for each dwelling are also included, demonstrating compliance with Standard B5-5.
8. A separate, fully dimensioned elevation of the north-west wall of Dwelling 1 is provided, unobstructed by Dwellings 2 and 3, as requested by Council. This enables a clear assessment of the building's form and compliance with the relevant provisions of the planning scheme.

Council preliminary concerns:

Address of Land & Subdivision

The registration of Lot 3 PS923819W has been completed. Relevant title documentation has been provided in response to Item 1 of this letter.

Site Access; Clause 55.02-6 (Access) & Standard B2-6

Vehicle access and manoeuvrability have been addressed through the submitted swept path diagrams, and tree protection measures are demonstrated on the updated plans. Please refer to Items 2 and 7 for full details.

Landscaping; Clause 55.02-7 (Tree Canopy) & Standard B2-7

Compliance with canopy tree and deep soil requirements is demonstrated within the detailed landscape plan and supporting arboricultural information. Please refer to Item 3 for further information.

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Internal Views; Clause 55.04-5 & Standard B4-5

Internal overlooking has been addressed through design amendments, including obscure glazing and additional elevations. Please refer to Items 7 and 8.

Permeability & Stormwater Management; Clause 55.05-1 & Standard B5-1

Stormwater management and permeability requirements have been satisfied through the submitted WSUD plan and STORM/BlueFactor assessment. Please refer to Items 4 and 5.

Solar Protection to North-Facing Windows; Clause 55.05-4 & Standard B5-4

Solar protection to north-facing windows has been incorporated into the updated architectural drawings. Please refer to Items 6 and 7.

Clause 55 – Insufficient Information

All previously identified information gaps have been addressed through the submission of fully dimensioned and updated plans, enabling a comprehensive assessment against the relevant Clause 55 standards. Please refer to Items 3 to 8.

We trust that the submitted information satisfies the Council's requirements and addresses the concerns raised in the RFI. Please let us know if further clarification is required or if any additional details are needed.

Should Council consider that there are any outstanding matters from their letter, we respectfully request an extension of 30 days to the current lapse date in which to provide a response to same.

We look forward to your feedback and will gladly provide any additional information necessary to progress the application.

With kind regards,

LEFT TURN

Leftturn.com.au | 1300 00 57 57

MELBOURNE 49 NOTT ST, PORT MELBOURNE VIC 3207

SYDNEY 388 GEORGE ST, SYDNEY NSW 2000

VIETNAM F5 594-596 CONG HOA ST, WARD 13 TAN BINH DIST. HO CHI MINH CITY

DUBAI L54, ALMES TOWER, DMCC FREE ZONE JLT, DUBAI UAE

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LEFT TURN

TOWN PLANNING SUBMISSION

Proposed Unit development

3 Ambrose Court,
Yarragon, VIC, 3823

May 2026

_MELBOURNE: 49 NOTT ST, PORT MELBOURNE VIC 3207

_SYDNEY: 388 GEORGE ST, SYDNEY NSW 2000

_VIETNAM: F5 594-596 CONG HOA ST, WARD 13 TAN BINH DIST. HO CHI MINH CITY

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hello@leftturn.com.au

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1. INTRODUCTION

1.1 Overview

Left Turn has prepared this Planning Report and accompanying design documentation for a proposed three-dwelling residential development at 3 Ambrose Court, Yarragon.

The subject site is located within a General Residential Zone – Schedule 1 (GRZ1) and is affected by the following planning overlays:

- Development Contributions Plan Overlay – Schedule 1 (DCP01)

This submission outlines the characteristics of the site and its surrounding context and provides an assessment of the proposal against the relevant provisions of the Moonee Valley Planning Scheme. The report demonstrates how the development aligns with state and local planning policy objectives and supports an appropriate planning outcome for the site.

This report should be read in conjunction with the following supporting documents:

- Neighbourhood & Site Description
- Design Response
- Architectural Plans
- Shadow Diagrams

1.2 Proposal

The proposal seeks approval for the development of three dwellings on a vacant residential allotment. The layout comprises a double-storey dwelling fronting Ambrose Court, with two single-storey dwellings positioned to the rear. This arrangement enhances functionality while promoting strong integration with the existing neighbourhood character.

This Planning Report demonstrates a high level of compliance with the relevant planning controls and provides a comprehensive assessment of the proposal against applicable state and local policy frameworks. The design has been carefully considered in response to the site's context, reinforcing the emerging streetscape and aligning with key planning objectives to deliver a well-resolved, sustainable, and contextually appropriate built form outcome.



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Figure 1: Proposed Development

2. SITE ANALYSIS

2.1 Neighbourhood Description

The subject site is located on a quiet residential street defined by a mix of detached single dwellings and a growing number of multi-unit developments. The prevailing built form is single storey, with a modest presence of double-storey homes dispersed throughout the immediate context. Surrounding dwellings are typically constructed in brick veneer or weatherboard, with tiled or metal roofs and the common inclusion of eaves, reflecting the traditional residential character of the area.

Allotments in the vicinity are generally uniform in size, with generous front setbacks and mature landscaping contributing to a well-established and cohesive streetscape. Private open space is typically positioned to the rear of dwellings, and wide side driveways are common, providing functional access to rear yard areas and outbuildings.

Ancillary structures such as sheds, carports, and garages are frequently found either alongside or behind the main dwelling, typically constructed in brick or metal cladding. Off-street parking is prevalent and supports the area’s low-density residential character. Boundary fencing is consistent, with side fences generally around 1800mm in height, and front fences, where present, are low and visually permeable, maintaining an open and inviting street presentation.

While the established pattern remains predominantly one dwelling per lot, there is a clear and increasing trend towards subdivision and medium-density infill development, both within the immediate streetscape and the broader neighbourhood context.



Figure 2: Aerial Photo

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2.2 Subject Site

The subject site is a rectangular allotment with a total area of 1003.33m², featuring an east-facing frontage to Ambrose Court. The frontage measures 22.70 metres along a curved court bowl, with a length of 46.43m along the northern boundary, 21.69m along the west boundary and 55.42 along the southern boundary. A 3.0-metre-wide drainage easement runs along the rear (western) boundary. The land is generally flat and consistent in topography with surrounding properties, with no notable level changes across adjoining sites.

Solar access to the site is adequate, aided by the absence of substantial structures along the northern boundary. Most neighbouring dwellings are set back from side boundaries, with private open space typically located at the rear, enjoying reasonable access to sunlight. The design has taken into careful consideration all nearby windows and areas of secluded private open space within 9 metres of the subject site to minimise any potential amenity impacts.

There are no significant trees on the site, although a number of small trees and shrubs are scattered throughout. Landscaping on adjacent lots is generally well established, with a mix of low-level planting and small to medium canopy trees. No major vegetation exists immediately adjacent to the site boundaries that would impact development potential.

An existing vehicle crossover is present, along with standard kerb and channel infrastructure. Notable services and infrastructure at the frontage includes a sewer pit. The site does not abut a Road Zone, and there are no other encumbrances that would restrict access or development.

The site is well positioned, located within walking distance to local shops, public transport options, and public open space, supporting its suitability for residential intensification.

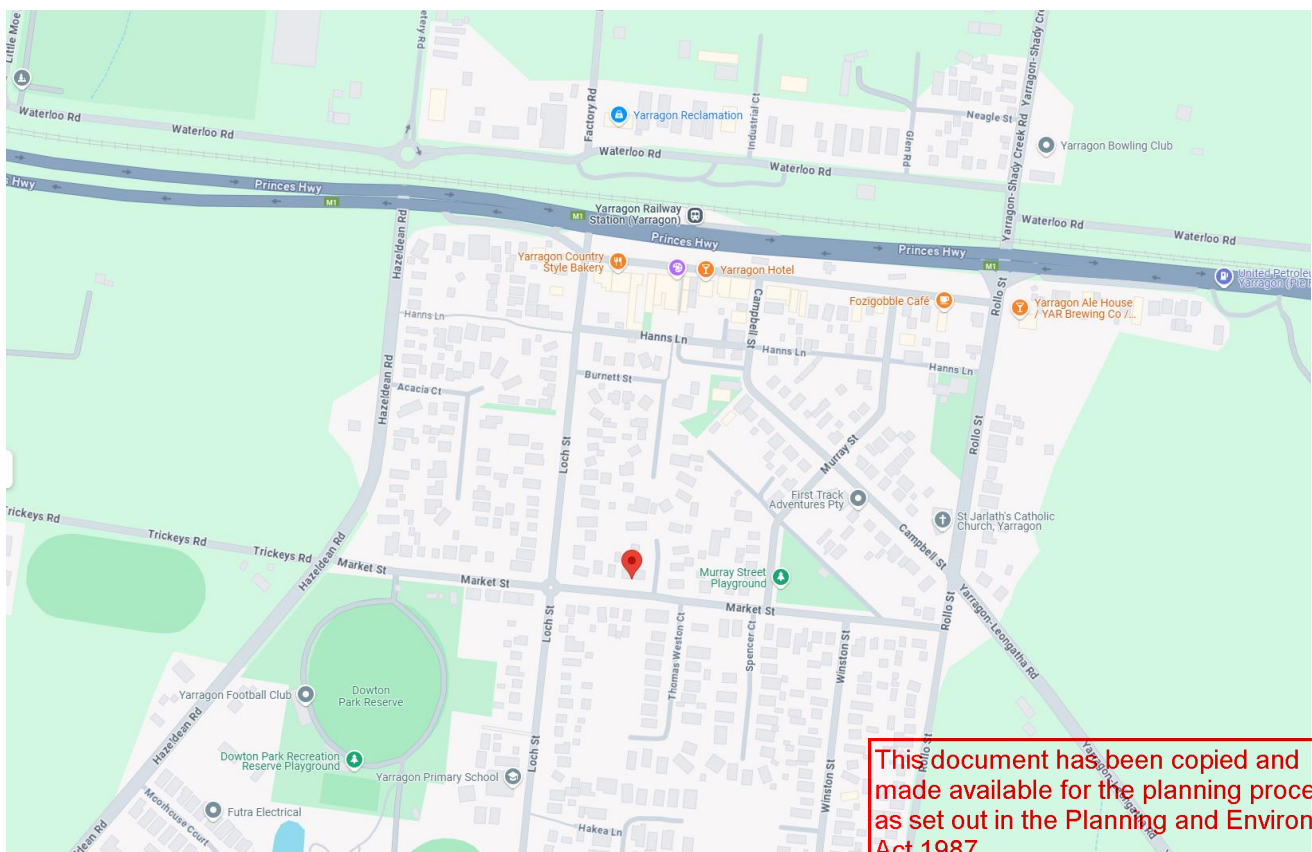


Figure 3: Street Directory

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Figure 4: Site subject



Figure 5: 14 Market Street, Yarragon



Figure 6: 14 Market Street, side view on Ambrose Court, Yarragon

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Figure 7: 4 Ambrose Court, Yarragon

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3. DESIGN RESPONSE

3.1 The Proposal

The proposal involves the development of three dwellings, including one double-storey dwelling fronting Ambrose Court and two single-storey dwellings located to the rear. The design achieves a functional balance between built form and open space, with efficient use of the site's orientation and layout.

Key characteristics

- The dwellings are designed to complement the site layout, with Dwelling 1 fronting Ambrose Court and Dwellings 2 and 3 accessed via a shared driveway
- All dwellings are constructed in rendered and brick veneer with a colourbond roof and eaves to the front
- A covered entrance and porch, clearly identifiable from the street
- A living space facing the street front for passive surveillance
- Main living areas receive adequate north light
- Access to the private open space is directly via the living spaces
- Adequate vehicle storage and parking locations, with easy street access.
- The garage is proposed to be built to the boundary, with a wall height not exceeding 3.2m in height
- A proposed crossover shall be used to allow access to Dwelling 1
- A proposed crossover shall allow access to Dwellings 2 and 3

General response

Overall, the proposed development has been thoughtfully designed with careful consideration of the site's constraints and its broader neighbourhood context. The proposal responds appropriately to the surrounding built form and will contribute positively to the streetscape, while ensuring there is no unreasonable impact on adjoining properties or the amenity of nearby residents.

Key design features include:

- A front setback that reflects and reinforces the established rhythm and character of the street.
- A building height that remains below 9 metres, consistent with neighbourhood expectations.
- A refined palette of materials and finishes selected to ensure the built form integrates seamlessly with the surrounding context.
- Two new crossovers are proposed: one to provide direct access to Dwelling 1 and another to provide access via a shared driveway for Dwellings 2 and 3
- Clearly identifiable, street-facing letterboxes provided for each dwelling.
- Dedicated areas for bin storage and general storage incorporated into each dwelling design.
- Landscaped areas provided within the front setback, along with generous private open spaces for each residence.

An assessment against Clause 55 is included within this report and should be read in conjunction with the accompanying architectural drawings and the existing and proposed streetscape elevations provided.

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4. PLANNING CONTROLS & OVERLAYS

4.1 Zone

The subject site is within a General Residential Zone – Schedule 1 (GR1Z)

Schedule 1 to Clause 32.08 General residential zone

	Standard	Requirement
Minimum street setback	B2-1	None specified
Site coverage	B2-5	None specified
Private open space	B3-5	None specified
Front fence height	B2-8	None specified

Minimum Garden Area Requirement

A minimum garden area requirement is being introduced into the Neighbourhood Residential Zone and the General Residential Zone. It will protect the open garden character of our suburbs, towns and cities.

A Garden Area does not include driveways, areas set aside for car parking, or any buildings or roofed areas.

The requirement allows for areas that are normally associated with the use of garden area, such as open entertaining areas, lawns, garden beds, swimming pools, and tennis courts to be included in the calculation of the garden area.

Lot Size	Minimum percentage of a lot set aside as a garden area
400 – 500 square metres	25%
501 – 650 square metres	30%
Above 650 square metres	35%

Response:

The proposed development has a total site area of 1003.33m², therefore the Garden Area Requirement is a minimum of 351.166m². The proposal provides 364.54m² of Garden Area, exceeding the minimum requirement and demonstrating full compliance with this standard. Please refer to the Garden Area Requirement Plan included in the architectural drawings.

4.2 Overlays

The subject site is affected by the following overlays:

- Development Contributions Plan – Schedule 1 (DCPO1)

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5. PLANNING POLICIES

State Planning Policy Framework

Clause 15 – Built Environment & Heritage:

Planning plays a critical role in shaping liveable and sustainable cities, towns, and neighbourhoods. It recognises the importance of urban design, architectural quality, heritage protection, and energy and resource efficiency in delivering resilient and high-quality environments.

All land use and development must appropriately respond to its surrounding landscape, local character, valued built form, and cultural context. This includes respecting places of recognised heritage, architectural, aesthetic, scientific, or cultural significance, ensuring they are preserved and integrated sensitively into future development.

Effective planning supports the creation and maintenance of strong communities by encouraging functional, inclusive, safe, and diverse environments. This is achieved through the careful location of uses and development, and through the delivery of high-quality buildings and public spaces.

Sustainable development outcomes must be prioritised, with an emphasis on minimising negative impacts on both the built and natural environment. Planning should champion environmentally responsible approaches that contribute to long-term ecological health and resilience.

Above all, planning should foster excellence in the built environment and seek to create places that:

- Are welcoming, engaging, and comfortable to inhabit;
- Support people of all abilities, ages, and backgrounds;
- Positively contribute to local character and reinforce a sense of place;
- Reflect the unique cultural identity of the community; and
- Enhance the functionality, safety, and amenity of the public realm.

Clause 15.01-1S - Urban design:

- To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity

Clause 15.01-2S - Building design:

- To achieve building design outcomes that contribute positively to the local context and enhance the public realm and support environmentally sustainable development.

Clause 15.01-4S - Healthy neighbourhoods:

- To achieve neighbourhoods that foster healthy and active living and community wellbeing.

Clause 15.01-5S - Neighbourhood character:

- To recognise, support and protect neighbourhood character, cultural identity, and sense of place.

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Clause 16 - Housing:

Planning should provide for housing diversity and ensure the efficient provision of supporting infrastructure.

Planning should ensure the long-term sustainability of new housing, including access to services, walkability to activity centres, public transport, schools and open space.

Planning for housing should include the provision of land for affordable housing.

Clause 16.01-1S Housing Supply:

- To facilitate well-located, integrated and diverse housing that meets community needs.

Clause 16.01-2S Housing Affordability:

- To deliver more affordable housing closer to jobs, transport and services.

State Planning Policy Response:

The State Planning Policy Framework aims to facilitate higher density housing in well-serviced areas, promoting the efficient use of existing physical and community infrastructure. It encourages housing diversity through a mix of lot sizes and dwelling types, catering to a broad range of household needs and lifestyles.

This proposal represents a considered response to those objectives through the sensitive redevelopment of an established residential site. The design respects the prevailing character of the neighbourhood, allowing for incremental change that integrates seamlessly with the existing streetscape. The site's generous garden setting has been thoughtfully reimaged to accommodate increased density while maintaining a sense of openness and landscape character.

While the policy framework promotes higher density in established areas, it also places clear emphasis on contextual responsiveness. This includes integrating sustainable design principles, ensuring safe and convenient vehicle and pedestrian access, supporting walkability and public transport use, and enhancing energy and water efficiency across the development.

Our proposal has been architecturally resolved to address these considerations. The built form adopts a refined material palette and incorporates subtle detailing to ensure a cohesive and sympathetic relationship with surrounding dwellings. The arrangement of dwellings and site layout carefully manages amenity, privacy, and solar access for both future residents and adjoining properties.

Through sound urban design and strategic site planning, the development responds appropriately to both the opportunities and constraints of the site. It maintains a respectful interface with neighbouring land uses and contributes positively to the broader residential context.

In our view, the proposal clearly aligns with the strategic intent of the SPPF. It consolidates underutilised land in a location with access to infrastructure and services, supports sustainable growth, and upholds amenity and character expectations. The design demonstrates a high level of architectural consideration and represents a positive and contextually responsive planning outcome.

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6. PARTICULAR PROVISIONS

Clause 52.06 - Car Parking

Purpose

To ensure that car parking is provided in accordance with the Municipal Planning Strategy and the Planning Policy Framework.

To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.

To support sustainable transport alternatives to the motor car.

To promote the efficient use of car parking spaces through the consolidation of car parking facilities.

To ensure that car parking does not adversely affect the amenity of the locality.

To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

Response:

Car parking requirement calculation

Pursuant to Clause 52.06-5, the site is located within Category 1 under the Car Parking Requirement Maps. The minimum requirement is 1.2 car parking space per dwelling.

With three dwellings proposed, the statutory requirement is 3 car parking spaces.

The proposal provides a total of six on-site car parking spaces, with each dwelling allocated two spaces within a garage arrangement. Access is provided independently from Ambrose court via compliant 3.0-metre-wide crossovers constructed to Council's engineering standards.

Accordingly, the proposal exceeds the minimum requirement and complies with Clause 52.06.

Design standard 1: Accessways

The proposal comprises the construction of three dwellings, with Dwelling 1 oriented towards the street and Dwellings 2 and 3 located to the rear of the site. Vehicle access is provided via a 3.0-metre-wide accessway, incorporating a 4.0-metre radius change of direction, in accordance with the requirements. All internal accessway head heights meet the minimum 2.1-metre clearance, and appropriate corner splays of 2.0m x 2.5m have been provided at changes of direction to ensure safe vehicle movement.

The site does not abut a Road Zone Category 1 and the proposal does not generate a requirement for more than 10 car spaces, therefore the relevant provisions of Clause 52.06 have been appropriately addressed.

Design standard 2: Car parking spaces

Each dwelling has been designed with a single garage measuring 6.0 metres x 3.5 metres, along with a tandem car space of 4.9 metres x 2.6 metres, providing compliant dimensions. A minimum 500mm clearance has been provided between the two tandem spaces, ensuring functionality and ease of access in accordance with the design standard.

Dwelling 2 has been designed with a double garage measuring 6.0 metres x 5.5 metres, providing adequate space for two vehicles in compliance with the relevant standards.

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Design standard 3: Gradients

The site is relatively flat, with no significant changes in level. As such, all accessways have gradients no steeper than 1:10, in full compliance with the standard. No vehicular ramps are proposed as part of this application.

Design standard 4: Mechanical parking

No mechanical parking systems are proposed. All car spaces are conventional, at-grade parking configurations.

Design standard 5: Urban design

Garage doors have been carefully integrated into the built form, recessed behind the front façades of the dwellings to avoid visual dominance. This approach supports a cohesive and well-articulated streetscape, maintaining a strong sense of rhythm and character. Entry points to each dwelling are clearly defined, accessible, and visually legible from the street.

Design standard 6: Safety

The design allows for clear sightlines and secure access points. All pedestrian and vehicular access is provided from the street frontage, ensuring a safe and well-overlooked entry experience. There is scope for the inclusion of sensor lighting adjacent to garages and along accessways, enhancing nighttime safety for residents.

Design standard 7: Landscaping

The proposal provides generous opportunities for landscaping along the accessway and within the front setbacks. Planting has been incorporated to soften the appearance of hard surfaces and reduce the visual impact of parking areas, contributing to a greener and more attractive residential setting.

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7. CONCLUSION

The proposed development represents a well-considered and architecturally resolved response to the site's context, aligning with the strategic objectives of the General Residential Zone and the broader policy direction outlined in the Planning Policy Framework. The design thoughtfully complements the existing neighbourhood character through the considered use of building form, roof style, articulation, and a refined palette of materials and finishes. These elements have been carefully selected to ensure the built form integrates seamlessly into the streetscape, contributing positively to the evolving residential fabric of the area.

Importantly, the proposal demonstrates a strong commitment to maintaining the amenity of adjoining properties. Overshadowing, overlooking, and visual bulk have all been appropriately addressed through compliant setbacks, sensitive massing, and high-quality design. At the same time, the proposal offers an enhanced standard of internal and external amenity for future residents, including generous private open space, functional layouts, and improved access to natural light and ventilation.

The development contributes to housing diversity within the municipality by delivering three well-designed dwellings, including one double-storey and two single-storey homes, that respond to the growing demand for varied housing options in established suburbs. This outcome is consistent with Council's strategic objectives, which encourage modest residential intensification in locations with existing infrastructure and good access to local services and public transport.

The proposal also demonstrates a strong alignment with environmentally sustainable design (ESD) principles, with key passive design strategies integrated from the outset. Features such as north-facing living areas, thermally efficient building fabric, appropriate site permeability, and opportunities for landscaping further enhance the environmental performance of the development.

A comprehensive assessment against Clause 55 (ResCode) confirms a high level of compliance, with all relevant objectives met and no significant departures from the standards. Where discretion is sought, the design clearly achieves the intent of the objectives through thoughtful and practical design responses that respect the character and amenity of the area.

In summary, the proposed development represents a balanced, contextually sensitive, and policy-aligned outcome. It delivers high-quality housing, respects the existing neighbourhood character, and supports sustainable residential growth within an established urban area.

Given the high level of compliance, strong design rationale, and clear alignment with local and state planning policies, it is submitted that the proposal is worthy of Council's support, and that a planning permit should be granted.

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8. RESCODE ASSESSMENT

Clause 55.02 - Neighbourhood Character

<p>Clause 55.02-1 Street setback objectives To ensure that the setbacks of buildings from a street respond to the existing or preferred neighbourhood character and make efficient use of the site</p>	<p>Standard B2-1 Walls of buildings are set back from streets:</p> <ul style="list-style-type: none"> • At least the distance specified in a schedule to the zone if the distance specified in the schedule is less than the distance specified in Table B2-1; or • If no distance is specified in a schedule to the zone, the distance specified in Table B2-1. <p>Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.</p>	<p>Response The proposed development provides a minimum front setback of 6.000m at it's closest point. The adjoining property to the north has a front setback of 6.043m, while the property to the south has a setback of 5.477m. As the standard requires the lesser of the two adjoining setbacks or 6m, whichever is less, the applicable setback is 6.000m. The proposed setback therefore complies. The front porches have been designed to remain under 3.6 metres in height and do not encroach more than 2.5 metres into the front setback, in accordance with setback and articulation requirements, ensuring an appropriate interface with the street.</p> <p>✓ Complies</p>
<p>Clause 55.02-2 Building height objectives To ensure that the height of buildings respond to the existing or preferred neighbourhood character.</p>	<p>Standard B2-2 The maximum building height does not exceed the maximum height specified in the zone, schedule to the zone, or an overlay that applies to the land. If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height does not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height does not exceed 10 metres.</p>	<p>Response The proposed development is of a single and double-storey scale, with a maximum building height comfortably within the 9-metre limit. The design incorporates generous front, side, and rear setbacks, which provide a sensitive transition to the adjoining properties and help mitigate any perception of visual bulk. The scale of the development is consistent with emerging built form in the area and is carefully articulated to ensure it does not dominate the streetscape. Through thoughtful massing, roof design, and material selection, the proposal maintains a balanced and respectful presence within its context, contributing positively to the existing neighbourhood character.</p>

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<p>Clause 55.02-3 Side and rear setbacks objective To ensure that the height and setback of a building from a boundary responds to the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings or small second dwellings.</p>	<p>Standard B2-3 A new building not on or within 200mm of a boundary is set back from side or rear boundaries in accordance with either B2-3.1 or B2-3.2. Standard B2-3 is met if the building is setback in accordance with either B2-3.1 or B2-3.2, rather than needing to comply with both of these provisions:</p> <ul style="list-style-type: none"> • B2-3.1: The building is setback at least 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. • B2-3.2: If the boundary is not to the south of the building, the building is setback at least 3 metres up to a height not exceeding 11 metres and at least 4.5 metres for a height over 11 metres. <p>If the boundary is to the south of the building, the building is setback at least 6 metres up to a height not exceeding 11 metres and at least 9 metres for a height over 11 metres between south 30 degrees west to south 30 degrees east.</p> <p>Sunblinds, verandahs, porches, eaves, facias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the side and rear setbacks.</p> <p>Landings that have an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the side and rear setbacks.</p>	<p>Response The proposal includes two (2) walls to be constructed on the boundary, each with a maximum height below 3.2 metres, in accordance with the requirements of the Standard B2-3.1. The remainder of the built form has been appropriately setback from side and rear boundaries, ensuring full compliance with the building setback requirements. The development sits entirely within the building envelope, with no proposed encroachments, maintaining appropriate separation and respecting the amenity of adjoining properties.</p> <p>The development has been designed to fully comply with the building envelope requirements, with no elements proposed to encroach beyond the allowable limits.</p> <p>✓ Complies</p>
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<p>Clause 55.02-4 Walls on boundaries objectives To ensure that the location, length and height of a wall on a boundary responds to the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings and small second dwellings.</p>	<p>Standard B2-4 A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot does not abut the boundary for a length that exceeds the greater of the following distances:</p> <ul style="list-style-type: none"> • 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or • The length of existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot. <p>A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary.</p> <p>A building on a boundary includes a building set back up to 200mm from a boundary.</p> <p>The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary does not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>	<p>Response The proposal includes two (2) boundary walls, all of which are under 3.2 metres in height and do not exceed the total allowable length specified under the Standard. Please refer to the Site Layout & Ground Floor Plan included in the architectural drawings for further detail.</p> <p>✓ Complies</p>
<p>Clause 55.02-5 Site coverage objective To ensure that the site coverage responds to the existing or preferred neighbourhood character and responds to the features of the site.</p>	<p>Standard B2-5 The site area covered by buildings does not exceed:</p> <ul style="list-style-type: none"> • The maximum site coverage specified in a schedule to the zone; or If no maximum site coverage is specified in a schedule to the zone, the percentage specified in Table B2-5. • If the maximum site coverage is specified in a schedule to a zone, it must be greater than the percentage specified in Table B2-5. <p>If the maximum site coverage is specified in a schedule to a zone, it must be greater than the percentage specified in Table B2-5.</p>	<p>Response The subject site has a total area of 1003.33m², with a proposed site coverage of 445.34m², equating to 44.39%. This remains well within the 60% maximum allowed under the standard and is considered appropriate given the scale of development, provision of open space, and the generous landscaping opportunities throughout the site.</p> <p>✓ Complies</p>

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<p>Clause 55.02-6 Access objective To ensure the number and design of vehicle crossovers responds to the neighbourhood character.</p>	<p>Standard B2-6 The width of accessways or car spaces (other than to a rear lane) does not exceed: <ul style="list-style-type: none"> • 33 per cent of the street frontage; or • 40 per cent of the street frontage if the width of the street frontage is less than 20 metres. The number of access points to a road in a Transport Zone 2 or a Transport Zone 3 is not increased. The location of a vehicle crossover or accessway does not encroach the tree protection zone of an existing tree, that is proposed to be retained in a road by more than 10 per cent.</p>	<p>Response The subject site has a frontage of approximately 22.70m. Two new crossovers are proposed: one for Dwelling 1 (3.2 metres wide at the boundary), and one shared crossover for Dwellings 2 and 3 (3.31 metres wide at the boundary). The combined crossover width at the lot boundary is 6.51 m, which equates to 28.68% of the total frontage. The proposal ensures safe access while maintaining space for landscaping and on-street parking and integrates well with the existing streetscape. ✓ Complies</p>
<p>Clause 55.02-7 Tree canopy objectives To provide tree canopy that responds to the neighbourhood character of the area and reduces the visual impact of buildings on the streetscape. To preserve existing canopy cover and support the provision of new canopy cover. To ensure new canopy trees are climate responsive, support biodiversity, wellbeing and amenity, and help reduce urban heat.</p>	<p>Standard B2-7 Provide a minimum canopy cover as specified in Table B2-7.1 Existing trees to be retained meet all of the following: <ul style="list-style-type: none"> • Has a height of at least 5 metres, • Has a trunk circumference of 0.5 metres or greater at 1.4 metres above ground level, • Has a trunk that is located at least 4 metres from proposed buildings. The minimum canopy cover is met using any combination of trees specified in Table B2-7.2. Existing trees that are retained can be used in calculating canopy cover. Provide at least one new or retained tree in the front setback and the rear setback. Trees are located in either: <ul style="list-style-type: none"> • An area of deep soil as specified in Table B2-7.2; or • A planter as specified in Table B2-7.2. Any tree required to be planted under this standard must be of species to the satisfaction of the responsible authority, having regard to the location and relevant geographic factors.</p>	<p>Response The proposal provides a total canopy cover of 200.8m², equating to 20.1% of the site area (1003.33m²), exceeding the minimum 20% requirement (200.67m²) under Standard B2-7. A total of ten (10) canopy trees are proposed across the site, including planting within both the front and rear setbacks. Trees are located within compliant deep soil areas and are capable of achieving the nominated mature canopy spreads. These new canopy trees have been selected to be climate-responsive and support biodiversity, while also enhancing amenity and providing long-term contributions to urban cooling and neighbourhood wellbeing. These landscaping measures are an integral part of the overall design response and support a greener, more liveable urban environment. ✓ Complies</p>
<p>Clause 55.02-8 Front fences objective To encourage front fence design that responds to the existing or preferred neighbourhood character.</p>	<p>Standard B2-8 A front fence within 3 metres of a street is: <ul style="list-style-type: none"> • The maximum height specified in a schedule to the zone, or • If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B2-8. </p>	<p>Response No front fence is proposed as part of this application, maintaining an open and visually permeable interface with the streetscape in keeping with the prevailing neighbourhood character. For further detail, please refer to the Site Layout & Ground Floor Plan included in the architectural drawings. By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited. ✓ Not Applicable</p>

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Clause 55.03 - Liveability

<p>Clause 55.03-1 Dwelling diversity objective To encourage a range of dwelling sizes and types in developments of ten or more dwellings.</p>	<p>Standard B3-1 Developments include at least:</p> <ul style="list-style-type: none"> • One dwelling that contains a kitchen, bath or shower, bedroom and a toilet and wash basin at ground floor level for every 10 dwellings. • One dwelling that includes no more and no less than 2 bedrooms for every 10 dwellings. • One dwelling that includes no more and no less than 3 bedrooms for every 10 dwellings. 	<p>Response Not applicable – 10 or more dwellings.</p> <p>✓ Not Applicable</p>
<p>Clause 55.03-2 Parking location objective To minimise the impact of vehicular noise within developments on residents.</p>	<p>Standard B3-2 Habitable room windows with sill heights of less than 3 metres above ground level are setback from accessways and car parks by at least:</p> <ul style="list-style-type: none"> • 1.5 metres; or • If there is a solid fence with a height of at least 1.5 metres between the accessway or car park and the window, 1 metre; or • 1 metre where window sills are at least 1.5 metres above ground level. <p>This standard is met if an accessway or relevant car parking space is used exclusively by the resident of the building with the habitable room.</p>	<p>Response All dwellings are provided with secure garages, conveniently located and directly accessible to each residence. The garages are enclosed with garage doors for security, while maintaining adequate ventilation in accordance with design standards. Importantly, no garage walls abut habitable room windows, and all accessways are set back more than 1.5 metres from habitable room windows, ensuring compliance with Clause 52.06 and maintaining appropriate levels of residential amenity, privacy, and acoustic comfort.</p> <p>✓ Complies</p>

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<p>Clause 55.03-3 Street integration objective To integrate the layout of development with the street to support the safety and amenity of residents.</p>	<p>Standard B3-3 Where a development fronts a street, a vehicle accessway or abuts public open space: <ul style="list-style-type: none"> • Passive surveillance is provided by a direct view from a balcony or a habitable room window to each street, vehicle accessway and public open space. • The total cumulative width of all site services to be located within 3 metres of a street, do not take up more than 20 per cent of the width of the frontage and are screened from view from the street or located behind a fence. Screens or fences are to provide no more than 25 percent transparency. Lighting is provided to all external accessways and paths. Mailboxes are provided for each dwelling and can be communally located.</p>	<p>Response The proposal involves the construction of one double-storey dwelling and two single storey dwellings, designed to maintain an open and welcoming interface with the public realm. No high front fencing is proposed, allowing for clear views into the front gardens and enhancing passive surveillance from the street. Both vehicle and pedestrian access are provided directly from the street frontage. All access points are clearly identifiable, well-defined, and easily maintained, with entrances that are visible and accessible, contributing to the legibility, safety, and functionality of the development.</p> <p>✓ Complies</p>
<p>Clause 55.03-4 Entry objectives To provide each dwelling, apartment development or residential building with its own sense of identity. To provide entries with weather protection, safe design, natural light and ventilation.</p>	<p>Standard B3-4 Dwellings (other than a dwelling in or forming part of an apartment development) and residential buildings Each dwelling and each residential building has a ground level entry door that: <ul style="list-style-type: none"> • Has a direct line of sight from a street, accessway or shared walkway. • Is not accessed through a garage. • Has an external covered area of at least 1.44 square metres with a minimum dimension of least 1.2 metres over the entry door. </p>	<p>Response Each dwelling entry is clearly visible from the street and surrounding public areas, enhancing legibility and promoting passive surveillance. Covered porches are provided to all entries, offering a defined sense of address, weather protection, and serving as transitional spaces between the public and private realms. For further detail, please refer to the Site Layout & Ground Floor Plan</p> <p>✓ Complies</p>

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<p>Clause 55.03-5 Private open space objectives To provide adequate private open space for the reasonable recreation and service needs of residents.</p>	<p>Standard B3-5 A dwelling or residential building has private open space of an area and dimensions specified in a schedule to the zone. If no area or dimension is specified in a schedule to the zone, a dwelling or residential building has private open space with direct access from a living area, dining area or kitchen consisting of:</p> <ul style="list-style-type: none"> • An area of 25 square metres of secluded private open space, with a minimum dimension of 3 metres width; or • A balcony with at least the area and dimensions specified in Table B3-5; or • An area on a podium or similar of at least 15 square metres, with a minimum dimension of 3 metres width; or • An area on a roof of at least 10 square metres, with a minimum dimension of 2 metres width. <p>If the area and dimensions of the private open space or secluded private open space is specified in a schedule to the zone;</p> <ul style="list-style-type: none"> • The area and dimensions specified in the schedule must be 25 square metres or less; and • The area and dimensions specified for a podium, balcony or an area on a roof must be less than the area and dimensions specified in this standard. <p>If a cooling or heating unit is located in the secluded private open space or private open space the required area is increased by 1.5 square metres. Where ground level private open space is provided an area for clothes drying is provided.</p>	<p>Response Each dwelling has been provided with private open space (POS) in excess of, or compliant with, the minimum requirements of ResCode. The POS for each dwelling is conveniently located with direct access from the main living areas, and has been oriented to maximise northern sunlight, enhancing usability and residential amenity. The proposed SPOS areas for each dwelling are as follows:</p> <ul style="list-style-type: none"> • Dwelling 1: 157.68m² • Dwelling 2: 63.68m² • Dwelling 3: 113.94m² <p>These areas satisfy the quantitative and qualitative requirements of the standard, ensuring each dwelling benefits from functional, well-designed outdoor space. Please refer to the Private Open Space Plan included in the architectural drawings for further detail.</p> <p>✓ Complies</p>
<p>Clause 55.03-6 Solar access to open space objective To allow solar access into the secluded private open space of new dwellings and residential buildings.</p>	<p>Standard B3-6 The southern boundary of secluded private open space is set back from any wall on the north of the space at least $(2 + 0.9h)$ metres, where 'h' is the height of the wall.</p>	<p>Response The proposal provides north-facing Secluded Private Open Space (SPOS) for each dwelling, ensuring excellent access to natural light and contributing to a high level of residential amenity. Importantly, there are no walls exceeding 3 metres in height abutting the SPOS areas, avoiding any sense of enclosure or overshadowing. For further detail, please refer to the Site Layout & Ground Floor Plan included in the architectural documentation. This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. ✓ Complies The information must not be used for any other purpose.</p>

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<p>Clause 55.03-7 Functional layout objective To ensure dwellings provide functional areas that meet the needs of residents.</p>	<p>Standard B3-7 Bedrooms: <ul style="list-style-type: none"> • Meet the minimum internal room dimensions specified in Table B3-7.1; and • Provide an additional area of at least 0.8 square metres to accommodate a wardrobe. Living areas (excluding dining and kitchen areas) meet the minimum internal room dimensions specified in Table B3-7.2.</p>	<p>Response The proposed dwellings each include one living area, with Dwelling 1 including four bedrooms and Dwelling 2 & 3 including three bedrooms. All bedrooms have been designed to comply with the Standard, meeting the minimum internal dimensions specified in Table B3-7.1, and providing an additional area of at least 0.8m² to accommodate a built-in wardrobe. Similarly, all living areas (excluding dining and kitchen areas) comply with the minimum internal room dimensions outlined in Table B3-7.2, ensuring functionality and comfort for future occupants.</p> <p>Please refer to the Site Layout & Ground Floor Plan for further detail.</p> <p>✓ Complies</p>
<p>Clause 55.03-8 Room depth objective To allow adequate daylight into single aspect habitable rooms.</p>	<p>Standard B3-8 The depth of a single aspect habitable room does not exceed 2.5 times the ceiling height measured from the external surface of the habitable room window to the rear wall of the room. The depth of a single aspect, open plan, habitable room may be increased to 9 metres if all the following requirements are met: <ul style="list-style-type: none"> • The room combines the living area, dining area and kitchen; and • The kitchen is located furthest from the window; and • The ceiling height is at least 2.7 metres measured from finished floor level to finished ceiling level, this excludes where services are provided above the kitchen; and • An overhang extends no more than 2m beyond the window of the single aspect habitable room. In Clause 55.03-8 a single aspect habitable room is a habitable room with windows on only one wall.</p>	<p>Response The proposed design complies with Standard B3-8 under Clause 55.03-8. All applicable single-aspect habitable rooms have been carefully designed to ensure the room depth does not exceed 2.5 times the ceiling height, measured from the external surface of the habitable room window to the rear wall.</p> <p>Where applicable, open-plan single-aspect rooms have been designed in accordance with the allowable 9-metre depth variation, with all requirements of the standard satisfied. These design responses ensure that all habitable rooms receive adequate natural daylight and provide a high standard of internal amenity, fully satisfying the objectives of the standard.</p> <p>✓ Complies</p>

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<p>Clause 55.03-9 Daylight to new windows objective To allow adequate daylight into new habitable room windows.</p>	<p>Standard B3-9 Dwelling (other than a dwelling in or forming part of an apartment development) A window in an external wall of the building is provided to all habitable rooms. Habitable rooms in a dwelling have a window that faces:</p> <ul style="list-style-type: none"> • An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot; or • A verandah provided it is open for at least one third of its perimeter; or • A carport provided it has two or more open sides and is open for at least one third of its perimeter. 	<p>Response All proposed habitable room windows have been provided with a minimum of 3m² of clear, unobstructed access to the sky, with at least one dimension measuring no less than 1 metre, in accordance with Standard. This ensures adequate natural light to all habitable spaces and supports a high level of internal amenity. Please refer to the Site Layout & Ground Floor Plan for further details. ✓ Complies</p>
<p>Clause 55.03-10 Natural ventilation objectives To encourage natural ventilation of dwellings. To allow occupants to effectively manage natural ventilation of dwellings.</p>	<p>Standard B3-10 Dwelling (other than a dwelling in or forming part of an apartment development) Dwellings have openable windows, doors or other ventilation devices in external walls of the building that provide:</p> <ul style="list-style-type: none"> • A maximum breeze path through the dwelling of 18 metres. • A minimum breeze path through the dwelling of 5 metres. • Ventilation openings with approximately the same size. <p>The breeze path is measured between the ventilation openings on different orientations of the dwelling.</p>	<p>Response The proposed dwellings have been carefully designed to maximise natural cross ventilation, with openable windows and doors positioned on multiple external façades. This considered placement ensures effective airflow through each dwelling, reducing reliance on mechanical cooling and enhancing indoor comfort. By orienting ventilation openings on opposing elevations, the design achieves clear and functional breeze paths, fully aligning with the intent of the Standard and supporting broader energy efficiency and passive design principles. ✓ Complies</p>
<p>Clause 55.03-11 Storage objective To provide adequate storage facilities for each dwelling.</p>	<p>Standard B3-11 Dwelling (other than a dwelling in or forming part of an apartment development) Each dwelling has exclusive access to at least 6 cubic metres of externally accessible storage space.</p>	<p>Response Each dwelling is provided with a minimum of 6 cubic metres of dedicated storage space, designed to be secure, functional, and conveniently accessible to residents. For further detail, please refer to the Site Layout & Ground Floor Plan included in the architectural documentation. ✓ Complies</p>

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Clause 55.04 - External Amenity

<p>Clause 55.04-1 Daylight to existing windows objective To allow adequate daylight into existing habitable room windows.</p>	<p>Standard B4-1 Buildings opposite an existing habitable room window provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot. Walls or carports more than 3 metres in height opposite an existing habitable room window are set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window. Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.</p>	<p>Response The design has been carefully developed with full consideration of the window locations on all adjoining properties, ensuring that the proposal does not result in any unreasonable impact on existing habitable room windows or openings. For further detail, please refer to the Site Layout Plan included in the architectural documentation. ✓ Complies</p>
<p>Clause 55.04-2 Existing north-facing windows objective To allow adequate solar access to existing north-facing habitable room windows.</p>	<p>Standard B4-2 Where a north-facing habitable room window of a neighbouring dwelling or small second dwelling is within 3 metres of a boundary on an abutting lot: <ul style="list-style-type: none"> • A new building is to be set back from the boundary by at least 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. This setback is to be provided for a distance of at least 3 metres from the edge of each side of the window. • For new buildings that meet the Standard B2-3.2 setback, the building is setback at least 6 metres up to a height not exceeding 11 metres and at least 9 metres for a height over 11 metres between south 30 degrees west to south 30 degrees east. This setback is to be provided for a distance of at least 3 metres from the edge of each side of the window. For this standard a north-facing window is a window with an axis perpendicular to its surface oriented from north 20 degrees west to north 30 degrees east.</p>	<p>Response There are no north-facing habitable room windows located within 3 metres of the subject site. As such, the proposal will not result in any unreasonable impact on daylight access to adjoining properties in this regard. Please refer to the Site Layout & Ground Floor Plan for details. ✓ Complies</p>

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<p>Clause 55.04-3 Overshadowing secluded open space objective To ensure buildings do not significantly overshadow existing secluded private open space.</p>	<p>Standard B4-3 The area of secluded private open space that is not overshadowed by the new development is greater than:</p> <ul style="list-style-type: none"> • 50 per cent, or • 25 square metres with a minimum dimension of 3 metres, whichever is the lesser area, for a minimum of five hours between 9 am and 3 pm on 22 September. <p>If existing sunlight to the secluded private open space of an existing dwelling or small second dwelling is less than the requirements of this standard, the amount of sunlight will not be further reduced.</p>	<p>Response The proposed development has been designed to ensure that more than 50 per cent of the adjoining secluded private open space is not overshadowed between 9am and 3pm on 22 September, meeting the requirements of the standard. Where applicable, at least 25 square metres with a minimum dimension of 3 metres also receives five hours of sunlight during this period. No additional overshadowing is cast onto the secluded private open space of any existing dwelling, and existing conditions are not further impacted.</p> <p>Please refer to the Shadow Diagrams included in the architectural documentation for further detail.</p> <p>✓ Complies</p>
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<p>Clause 55.04-4 Overlooking objective To limit views into existing secluded private open space and habitable room windows.</p>	<p>Standard B4-4 In Clause 55.04-4 a habitable room does not include a bedroom. A habitable room window, balcony, podium, terrace, deck or patio is located and designed to avoid direct views into the secluded private open space of an existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views are measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level. A habitable room window, balcony, terrace, deck or patio that is located with a direct view into a habitable room window of an existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio: <ul style="list-style-type: none"> • Is offset a minimum of 1.5 metres from the edge of one window to the edge of the other; or • Has sill heights of at least 1.7 metres above floor level; or • Has fixed, obscure glazing in any part of the window below 1.7 metre above floor level; or • Has permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent; or • Has fixed elements that prevent the direct view, such as horizontal ledges or vertical fins. Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard. Screens used to obscure a view are: <ul style="list-style-type: none"> • Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels. • Permanent, fixed and durable. • Designed and coloured to blend in with the development. This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary. </p>	<p>Response Overlooking has been appropriately addressed through a combination of 1.8m high boundary fencing and privacy screening to all applicable upper-level windows. Additionally, all finished floor levels are below 800mm above natural ground level, ensuring full compliance with overlooking provisions and maintaining the privacy of neighbouring properties. This approach ensures the proposal preserves residential amenity and achieves a sensitive interface with adjoining dwellings. ✓ Complies </p>
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<p>Clause 55.04-5 Internal views objective To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.</p>	<p>Standard B4-5 In Clause 55.04-5 a habitable room does not include a bedroom. Within the development, a habitable room window, balcony, terrace, deck or patio that is located with a direct view into the secluded private open space of another dwelling:</p> <ul style="list-style-type: none"> • Is offset a minimum of 1.5 metres from the edge of the secluded private open space; or • Has a sill height of at least 1.7 metres above floor level; or • Has a fixed, visually obscure balustrade to at least 1.7 metre above floor level; or • Has permanently fixed external screens to at least 1.7 metres above floor level; or. • Has fixed elements that prevent the direct view, such as horizontal ledges or vertical fins. <p>Direct views are measured at a height of 1.7 metres above floor level and within:</p> <ul style="list-style-type: none"> • A 45degree horizontal angle from the edge of the new window or balcony. • A 45degree angle in the downward direction. <p>Screens provided for overlooking are no more than 25 per cent transparent. Screens may be openable provided that this does not allow direct views as specified in this standard.</p>	<p>Response No new habitable room windows, balconies, terraces, decks, or patios have been positioned to allow direct views into the secluded private open space of any other dwelling within the development. The layout has been carefully considered to ensure internal privacy is maintained across all dwellings.</p> <p>✓ Complies</p>
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Clause 55.05 - Sustainability

<p>Clause 55.05-1 Permeability and stormwater management objective</p> <p>To reduce the impact of increased stormwater run-off on the drainage system and downstream waterways. To facilitate on-site stormwater infiltration. To encourage stormwater management that maximises the retention and reuse of stormwater. To contribute to urban cooling.</p>	<p>Standard B5-1</p> <p>The site area covered by the pervious surfaces is at least 20 percent of the site.</p> <p>The development includes a stormwater management system designed to:</p> <ul style="list-style-type: none"> • Meet the best practice quantitative performance objectives for stormwater quality specified in the Urban stormwater management guidance (EPA Publication 1739.1, 2021) of: <ul style="list-style-type: none"> - Suspended solids 80% reduction in mean annual load. - Total phosphorus and Total Nitrogen 45% reduction in mean annual load. - Litter 70% reduction of mean annual load. • Direct flows of stormwater into treatment areas, garden areas, tree pits and permeable surfaces, with drainage of residual flows to the legal point of discharge. 	<p>Response</p> <p>The proposal provides a total permeable area of 380.47m², equating to 37.92% of the site. This significantly exceeds the 20% minimum required under Standard B2-6.</p> <p>This ensures ample opportunities for landscaping, supports on-site stormwater infiltration, and contributes positively to the environmental performance and amenity of the development. The design also promotes sustainable water management by facilitating rainwater retention and reuse.</p> <p>Please refer to the Site Layout & Ground Floor Plan and WSUD Plan for further detail.</p> <p>✓ Complies</p>
<p>Clause 55.05-2 Overshadowing domestic solar energy systems objective</p> <p>To ensure that the height and setback of a building from a boundary allows reasonable solar access to existing domestic solar energy systems on the roofs of buildings.</p>	<p>Standard B5-2</p> <p>Any part of a new building that will reduce the sunlight at any time between 9am and 4 pm on 22 September to an existing domestic solar energy system on the roof of a building on an adjoining lot be set back from the boundary to that lot by at least 1 metre at 3.6 metres above ground level, plus 0.3 metres for every metre of building height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.</p> <p>This standard applies to an existing building in a Township Zone, General Residential Zone or Neighbourhood Residential Zone.</p> <p>In Clause 55.05-2 domestic solar energy system means a domestic solar energy system that existed at the date the application was lodged.</p>	<p>Response</p> <p>There are no existing solar energy systems located on adjoining properties within a distance that would be impacted by the proposed development. As such, the proposal will not result in any overshadowing or loss of efficiency to neighbouring solar installations.</p> <p>✓ Complies</p>

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<p>Clause 55.05-3 Rooftop solar energy generation area objective To support the future installation of appropriately sited rooftop solar energy systems for a dwelling.</p>	<p>Standard B5-3 In Clause 55.05-3 rooftop solar energy area means an area provided on the roof of a dwelling to enable the future installation of a solar energy system. An area on the roof is capable of siting a rooftop solar energy area for each dwelling which:</p> <ul style="list-style-type: none"> • Has a minimum dimension of 1.7 metres. • Has a minimum area in accordance with Table B5-3. • Is oriented to the north, west or east. • Is positioned on the top two thirds of a pitched roof. • Can be a contiguous area or multiple smaller areas. • Is free of obstructions on the roof of the dwelling within twice the height of each obstruction (H), measured horizontally (D) from the centre point of the base of the obstruction to the nearest point of the rooftop solar energy area. <p>Obstructions located south of all points of the rooftop solar energy area are not subject to the horizontal distance requirements. This standard does not apply to apartments and residential buildings.</p>	<p>Response The proposed roof design is compliant with planning requirements and has been configured to support the potential future installation of solar energy systems should the occupants choose to do so.</p> <p>✓ Complies</p>
<p>Clause 55.05-4 Solar protection to new north-facing windows objective To encourage external shading of north facing windows to minimise summer heat gain.</p>	<p>Standard B5-4 North facing windows are shaded by eaves, fixed horizontal shading devices or fixed awnings with a minimum horizontal depth of 0.25 times the window height.</p>	<p>Response North-facing windows have been fitted with appropriate shading, including eaves and/or fixed horizontal shading elements, to provide effective solar protection. These shading devices have been designed with a minimum depth of 0.25 times the window height, ensuring compliance with design expectations and enhancing thermal performance by reducing heat gain during warmer months.</p> <p>✓ Complies</p>

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<p>Clause 55.05-5 Waste and recycling objectives</p> <p>To ensure dwellings are designed to facilitate waste recycling.</p> <p>To ensure that waste and recycling facilities are accessible and are of sufficient size to manage organic and general waste, and mixed and glass recycling.</p> <p>To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity.</p>	<p>Standard B5-5 Dwelling (other than a dwelling in or forming part of an apartment development)</p> <p>The development includes an individual bin storage area for each dwelling, or a shared bin storage area for use by each dwelling, of at least the applicable area, depth and height specified in Table B5-5.1.</p> <p>If the development includes a shared bin storage area:</p> <ul style="list-style-type: none"> • The shared bin storage area: <ul style="list-style-type: none"> - Is located within 40 metres of a kerbside collection point. - Includes a tap for bin washing. • There is a continuous path of travel free of steps and obstructions from dwellings to the bin storage area. <p>Where access is provided for private bin collection on the land the design of access ways must allow the vehicle to enter and exit in a forward direction.</p> <p>Each dwelling includes an internal waste and recycling storage space of at least 0.07 cubic metres with a minimum depth of 250 millimetres.</p>	<p>Response</p> <p>The proposed development includes individual bin storage area for each dwelling, or a shared bin storage area, with collection to be managed via standard Council waste services. For a development of this scale, reliance on municipal waste collection is considered the most appropriate and efficient approach. This method helps to minimise noise, reduce traffic impacts, and avoid unnecessary air pollution or road wear that can result from private waste collection services.</p> <p>✓ Complies</p>
<p>Clause 55.05-6 Noise impacts objective</p> <p>To minimise the impact of mechanical plant noise located in the development.</p>	<p>Standard B5-6</p> <p>Mechanical plant, including mechanical car storage and lift facilities are not located immediately adjacent to bedrooms of new or existing dwellings or small second dwellings, unless a solid barrier is in place to provide a line of sight barrier to transmission of noise and the location of all relevant bedrooms.</p>	<p>Response</p> <p>There are no significant noise sources proposed in proximity to adjoining habitable room windows. The layout of the dwellings, including the positioning of habitable rooms and private open spaces, has been carefully considered to minimise potential noise impacts on adjoining properties and to ensure a high level of residential amenity for both existing and future occupants.</p> <p>✓ Complies</p>

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<p>Clause 55.05-7 Energy efficiency for apartment developments objectives To achieve energy efficient dwellings and buildings. To ensure dwellings achieve adequate thermal efficiency.</p>	<p>Standard B5-7 Dwellings in or forming part of an apartment development located in a climate zone identified in Table B5-7 do not exceed the maximum NatHERS annual cooling load.</p>	<p>Response The proposed dwellings have been designed with a strong focus on energy efficiency and environmental sustainability, incorporating a range of Environmentally Sustainable Design principles from the outset.</p> <p>The attached dwelling form and use of a concrete subfloor contribute positively to thermal massing, improving energy performance and supporting more stable indoor temperatures throughout the year. Additional ESD features integrated into the design include:</p> <ul style="list-style-type: none"> • North-facing windows to primary living areas, maximising natural light and passive solar gain; • Thermal insulation to external walls to improve energy efficiency and indoor comfort; • Thermally improved aluminium windows to reduce heat loss and improve overall building performance; • Provision of clothes drying facilities to reduce reliance on mechanical systems; • Comprehensive sealing and draft-proofing throughout each dwelling to minimise heat loss and air leakage; • Site permeability exceeding 20%, with appropriate paving solutions to support high-quality stormwater runoff and infiltration. <p>A 7-star energy rating will be confirmed at the building permit stage, however the thermal performance of the dwellings has been actively considered and integrated into the design to ensure long-term sustainability and comfort.</p> <p>✓ Complies</p>
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Arboricultural Impact Assessment

Location: 3 Ambrose Court, Yarragon

Reference number: F726-05-08_3AmbroseV2

Prepared by:

Report Commissioned By: Five 7 Design Group

Report Date: 14 April 2026

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Document Control

Version	Date	Author	Checked by	Revision Notes
1.0	13 Apr. 2026			Initial draft
1.1	14 Apr. 2026			Minor edits after review
2.0	08 May 2026			Changes in response to WSUD requirements

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Executive Summary

Gum and Maple Consulting has assessed trees on and immediately neighbouring 3 Ambrose Court, Yarragon for the purposes of property development. The table below lists the assessed trees and provides each with a retention value. This value is applied based on each tree’s contribution to the property and broader landscape (significance) whilst considering relevant Council documents (suitability). The table also summarises the proposal’s impacts (encroachment) in accordance with AS 4970:2025 and provides a recommendation.

Tree #	Common Name	Height & Spread	Origin	Location	Permit Status	Retention Value	Encro Type	Encro sqm	Encro %	Recommendation	Reason
1	Sweet Pittosporum	4 X 4	V	Site Tree	No	Low	Driveway Surface	17.1	65%	Remove	Weed
2	Camellia	4 X 3	E	Third-Party	No	Third-Party	Driveway Surface	2.9	23%	Protect	Third-Party Owned
3	Camellia	3 X 3	E	Third-Party	No	Third-Party	Driveway Surface	2.9	23%	Protect	Third-Party Owned
4	Cypress	9 x 5	E	Third-Party	No	Third-Party	Driveway Surface	3.7	10%	Protect	Third-Party Owned
5	Bay Laurel	3 X 3	E	Third-Party	No	Third-Party	Driveway Surface	3	24%	Protect	Third-Party Owned
6	Feijoa	3 X 5	E	Third-Party	No	Third-Party	Garage	4.6	28%	Protect	Third-Party Owned
7	Lemon-scented Tea-tree	3 X 3	N	Third-Party	No	Third-Party	N/A	0	0%	Protect	Third-Party Owned
8	Italian Cypress	4 X 1	E	Third-Party	No	Third-Party	N/A	0	0%	Protect	Third-Party Owned
9	Liquidambar	6 X 4	E	Third-Party	No	Third-Party	N/A	0	0%	Protect	Third-Party Owned
10	Crabapple	6 X 5	E	Third-Party	No	Third-Party	N/A	0	0%	Protect	Third-Party Owned
11	White Cedar	3 x 3	E	Third-Party	No	Third-Party	Storage	1.1	9%	Protect	Third-Party Owned
12	Crape Myrtle	3 X 2	E	Third-Party	No	Third-Party	Storage	0.8	6%	Protect	Third-Party Owned
13	Plum	3 X 3	E	Third-Party	No	Third-Party	Driveway Surface	0.6	5%	Protect	Third-Party Owned

Please note that the opinions expressed within this report are that that of the author and ultimately the decision-making around vegetation removal and development outcomes sits with the responsible authority (Council).

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1. Introduction

Gum and Maple Consulting was engaged by the client to review architectural plans for 3 Ambrose Court, Yarragon (the Property). These plans propose the construction of three (3) dwellings which may have an impact upon neighbouring trees. To best understand these impacts an Arboricultural Impact Assessment (AIA) is required and can accompany other documentation in a town planning submission to Baw Baw Shire Council (Council).

To prepare the AIA, a site inspection was undertaken on 03 April 2026 to assess all relevant trees. Prior to the inspection, I reviewed correspondence provided by the client in addition to aerial imagery to develop a general understanding of the Property, including its size, any existing vegetation, and built form. Additionally, the Victorian Government's VicPlan mapping system and the Baw Baw Council websites were consulted to identify the applicable legislative controls and other requirements affecting vegetation within the municipality and the Property.

1.1 Reviewed Documents

The following documents have also been reviewed in preparation of this Report:

- The Baw Baw Planning Scheme
- Schedule 1 to Clause 32.08 General Residential Zone (GRZ1)
- Clause 52.37 Canopy Trees
- Architectural Drawing Set by Left Turn dated 23 April 2026

1.2 Objectives

It is this report's primary purpose to provide assessment, commentary and recommendations to the client, and other professionals engaged by the owner of the Property, for the trees located directly neighbouring the Property. Additionally, this report can assist in informing Council's Planning Department in their review of town planning application documents. This report will:

- Identify (nomenclature) and Number all relevant trees
- Provide for their location on a Site Map
- Provide their 'permit status'
- Provide their dimensions and protection areas
- Provide each tree a retention value, and
- Assess the proposal's impacts to each tree, specifically those to be retained
- Comment and recommend any tree protection measures required (if applicable)

1.3 Procedure, Limitations & Assumptions

All trees were assessed from ground level utilising internationally accepted techniques and methods of non-invasive visual tree assessment (VTA)¹. Data for neighbouring trees (height, canopy widths and stem measurements) were estimated from within the subject Property. The positioning of each assessed tree is taken from the Survey Plans and Proposed Plans provided by the client. We note that Tree 6 has not been plotted on the Survey Plans. Its location is therefore estimated based off site observations and aerial imagery.

¹ Lonsdale, D (1999) The Principles of Tree Hazard Assessment and Management (Research for Amenity Trees). London: Her Majesty's Stationary Office Book.
Matheny, N. P & Clark, J. R (1994) A Photographic Guide to the Evaluation of Hazard Trees in Urban Areas. 2nd Edition. International Society of Arboriculture

This Tree 6 has not been plotted on the Survey Plans and Proposed Plans provided by the client. We note that Tree 6 has not been plotted on the Survey Plans. Its location is therefore estimated based off site observations and aerial imagery.

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The Nominal Root Zone (NRZ) and Structural Root Zone (SRZ) for each assessed tree was measured in accordance with the Australian Standards AS 4970-2025 Protection of Trees on Development Sites. After assessment and analysis of proposed retained trees, a Tree Protection Zone (TPZ) is to be determined and illustrated on the Arborist Working Drawings with consideration of relevant factors listed in section 3.3 of the Standard.

The assessment of these trees in terms of their overall condition has been made in accordance with the descriptors as set out in Appendix D. These must be referred to when reading this report. There is vegetation shown on the Survey Plans less than 3 metres in height which has not been assessed or commented on in this report. Civil and bulk earthwork, service, and landscape documentation (unless otherwise shown on architectural drawings) have not been made available for review.

This report has been written from an impartial perspective and not as an advocate of the client. In addition, it adopts the Harvard Referencing System as an accepted reporting format when referencing resource materials. To best understand the development tolerances of each assessed tree we apply Australian Standards, and peer reviewed research and texts which are referenced throughout this report.

2. Planning Context

2.1 General

From a town planning perspective, the Planning and Environment Act 1987 governs the use and development of land in Victoria. To implement this, all Councils are required to develop, administer, and enforce their own Planning Scheme. Planning Schemes divide all land into zones (e.g., residential, commercial, industrial), each with specific land uses and development rights. Some uses are permitted as-of-right, others require a planning permit (discretionary), and some are prohibited altogether. The intent of the schemes is to ensure land uses remain compatible with the purpose of each zone and with neighbouring properties. Some properties are subject to overlay controls, which may include vegetation protection requirements (e.g. a permit to remove a tree).

Ultimately, decisions regarding private vegetation and development outcomes are made by the delegated Council planning officer, who considers the relevant Planning Scheme provisions, decision guidelines, and policy documents, and may seek internal specialist advice as needed.

2.2 The Property

The Property is a vacant regular shaped allotment on the western side of Ambrose Court with an area of approximately 2403 square metres. It is in a General Residential Zone (GRZ1). There are no vegetation related Overlays that apply to the property. A review of Council's website indicates that no Local Law effect trees on private property.

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3. Site Map



GUM MAPLE
CONSULTING



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- Street Tree
- Low Values
- Moderate Values
- High Values
- Third-Party

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4. Tree Data

Tree #	Species	Common Name	Height & Spread	DSH	NRZ	SRZ	Health	Structure	Form	Origin	Location	Permit Status	Retention Value
1	<i>Pittosporum undulatum</i>	Sweet Pittosporum	4 X 4	24	2.9	1.8	Fair	Poor	Poor	V	Site Tree	No	Low
2	<i>Camelia japonica</i>	Camellia	4 X 3	14	2	1.5	Fair	Fair	Poor	E	Third-Party	No	Third-Party
3	<i>Camelia japonica</i>	Camellia	3 X 3	12	2	1.5	Good	Good	Good	E	Third-Party	No	Third-Party
4	<i>Cupressus sp.</i>	Cypress	9 x 5	28	3.4	1.9	Good	Good	Good	E	Third-Party	No	Third-Party
5	<i>Laurus nobilis</i>	Bay Laurel	3 X 3	11	2	1.5	Good	Poor	Poor	E	Third-Party	No	Third-Party
6	<i>Acca sellowiana</i>	Feijoa	3 X 5	19	2.3	1.6	Good	Fair	Fair	E	Third-Party	No	Third-Party
7	<i>Leptospermum petersonii</i>	Lemon-scented Tea-tree	3 X 3	12	2	1.5	Fair	Good	Good	N	Third-Party	No	Third-Party
8	<i>Cupressus sempervirens</i>	Italian Cypress	4 X 1	8	2	1.5	Good	Fair	Fair	E	Third-Party	No	Third-Party
9	<i>Liquidambar styraciflua</i>	Liquidambar	6 X 4	16	2	1.5	Fair	Fair	Fair	E	Third-Party	No	Third-Party
10	<i>Malus sp.</i>	Crabapple	6 X 5	18	2.2	1.6	Fair	Poor	Poor	E	Third-Party	No	Third-Party
11	<i>Thuja occidentalis</i>	White Cedar	3 x 3	15	2	1.5	Good	Good	Good	E	Third-Party	No	Third-Party
12	<i>Lagerstroemia indica</i>	Crape Myrtle	3 X 2	8	2	1.5	Fair	Fair	Fair	E	Third-Party	No	Third-Party
13	<i>Prunus sp.</i>	Plum	3 X 3	8	2	1.5	Good	Good	Fair	E	Third-Party	No	Third-Party

Heading Definitions

~Height & Spread – metres
 DSH (Diameter at Standard Height) – centimetres
 NRZ & SRZ – radius, metres

Origin
 I – Indigenous | V – Victorian
 N – Native | E – Exotic

NPR – No Permit Required – council consent is not required to remove, lop or destroy tree.
 TPO – Third-Party Owned

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5. Discussion

5.1 Tree Retention

Trees can contribute positively to the built environment. A healthy well-positioned tree, along with being aesthetically pleasing, can provide tangible benefits from an environmental, social and financial perspective. In contrast, trees that are inappropriately positioned or that are in poor condition can pose significantly higher risks to built environments, people and can cause varying levels of nuisance and financial burden.

Property owners can unknowingly plant inappropriate trees without fully understanding their growth characteristics or maintenance requirements. Often in these instances, trees are neglected after planting and outgrow their position impacting upon or displacing built structures. There are also times where trees are not planted but readily germinate from seed carried by various methods. This uninformed or haphazard approach often provides for undesirable outcomes.

From a development perspective due to competing pressures for above and below ground space, it is not suitable or reasonable to retain all trees. It is better to identify the more significant trees that have a greater contribution to the site and surrounding area and focus on protecting these well². Whether it be the tree's position, overall condition or its landscape contribution, a retention value is placed on all trees that may be impacted by a proposal to develop land.

This report categorises all assessed trees into 4 groups. They are:

- Hazardous
- Low retention
- Moderate retention
- High retention

As indicated in the first dot point above, trees that pose a high or extreme risk are considered hazardous. Please note, none of the trees assessed in this Report are deemed hazardous. However, risk and more crucially its level, is the most important determining factor when considering a tree's overall retention value.

Trees of low retention value contribute little to the site and surrounding area and are for the most part unsuitable for retention, they should not restrict development of a property.

Trees holding moderate retention value should be retained pending a thorough analysis of any potential constraints (i.e. can the tree be incorporated with minor design changes). In these instances, the determination to retain a tree and incorporate it into the development should be based on a combination of the tree's position and the proposed essential or desirable spaces. An example of this is; a kitchen, living room or master bedroom is essential to a dwelling whereas, a gym, shed or swimming pool is not.

Trees of high retention value contribute greatly to the site and surrounding area. Such trees should be adequately accommodated for in the design stages. When trees are removed consideration should be given to suitable replacement planting. In most instances legislation either through a Planning Scheme or a Local Law requires that provisions be placed on issued permits to offset the loss of trees.

Trees located on public land or neighbouring private property should be protected as there is common law rights afforded to the owner/s of these assets, or they are community assets managed by Council or other government authority. Any proposal to develop the land should give regard to their healthy retention. However, there may be appropriate instances where their removal can be negotiated with the owner/s whilst also satisfying any legislative requirements with the Responsible Authority.

² Matheny, N and Clark, J. 1998. *Trees and Development*. ISA, Champaign, Ill, USA

5.2 Development Considerations

Most trees take many years to reach maturity but can be injured or killed in a short time when their environmental requirements, particularly those relating to root systems are misunderstood or overlooked. To minimise impacts on valuable, contributory trees, arborists follow the guidance provided in the Australian Standard AS 4970-2025 – *Protection of Trees on Development Sites* (AS 4970-2025). This Standard supports the integration of existing retained trees with proposed construction and development.

AS 4970-2025 establishes two calculated zones: the Nominal Root Zone (NRZ) and the Structural Root Zone (SRZ). The NRZ is derived from the tree's trunk diameter, while the SRZ is based on the stem measurement taken immediately above the root buttress. These measurements are provided in Section 4 of this Report. Both zones are radial distances measured from the centre of the trunk and encompass the full area around the tree. On site plans, these should be represented as circles and must not be confused with the tree's canopy spread.

The NRZ forms the basis for determining the ultimate Tree Protection Zone (TPZ), a designated area around a tree where construction activity is restricted to avoid damaging the roots and crown.

Tree protection fencing (braced panels secured with concrete feet) and ground protection (rumble boards strapped over mulch or aggregate) are materials used to maintain the TPZ during buildings and works.

When determining the TPZ, the following factors should be considered where relevant:

- Location and distribution of tree roots
- Potential loss of root mass due to construction encroachment
- Species relative tolerance to root disturbance
- Potential for temporary or permanent reduction in available soil volume
- Tree age, health, and expected future growth
- Overlapping root zones of nearby trees
- Tree lean and overall stability, including soil type, drainage, and topography
- Existing structures or past disturbances that may have impacted root development
- Use of construction techniques or materials that reduce impact to retained trees

Upon receipt of final development design and drawings the TPZ of all retained trees shall be determined and shown on Arborist Working Drawings.

Construction encroachments refer to any works or proposed land use (temporary or permanent) occurring within the NRZ, above or below ground, regardless of construction method.

AS 4970-2025 classifies encroachments into three categories:

- Minor encroachment: $\leq 10\%$ of the NRZ area, no recent encroachments, and located outside the SRZ
- Moderate encroachment: $> 10\%$ and $\leq 20\%$ of the NRZ area, and outside the SRZ
- Major encroachment: $> 20\%$ of the NRZ area or any encroachment within the SRZ

To avoid a net loss of soil volume, an equivalent area to the encroachment shall be added elsewhere within the TPZ, unless the project arborist can demonstrate that the tree will remain viable without it.

In cases of moderate or major encroachment, a qualified consulting or project arborist must assess the likely impact and justify the works' acceptability. This assessment may include, but is not limited to, appropriate design modifications, root investigations, reference to industry literature, or examples of similar encroachments that were successfully managed. The extent of the arborist's investigation should be proportionate to the degree of encroachment. In many cases, a detailed Tree Protection Specification and Tree Protection Plan may also be required to support the viability of the retained tree.

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6. Conclusions

The key arboricultural considerations for the proposal are:

1. Accurately calculate and assess construction encroachments to all assessed trees, particularly those in neighbouring properties.
2. Suggest suitable design solutions and/or construction methods that minimise impacts on directly affected trees to be retained.
3. On Town Planning submission architectural drawings establish a Tree Protection Zone (TPZ) for each retained tree in accordance with AS 4970:2025 and specify appropriate tree protection measures (e.g. fencing, ground protection) to ensure their long-term health and viability for the project's duration.
4. Recommend suitable canopy tree species for open space areas, contributing to the landscape outcomes of the proposal in line with relevant provisions of the planning scheme – Clause 55.02-7.

There are several neighbouring trees located to the rear of 16 Market Street that are likely to be directly impacted by either the construction of the communal driveway along the southern boundary or the construction of the single car garage associated with Dwelling 3.

[Trees 2 and 3](#) are Camellias, which are more commonly regarded as large woody shrubs rather than trees and are frequently planted along property boundaries throughout Victoria for their ornamental red or white flowers. Empirical evidence suggests that Camellias exhibit a relatively high tolerance to root disturbance and are often successfully transplanted. The proposed plans indicate an approximate 23% encroachment into their NRZ, including some intrusion into the SRZ. In accordance with AS 4970:2025, this constitutes a 'major' encroachment. Notwithstanding this, provided the driveway is constructed at or above the existing soil grade, the ongoing viability of these woody shrubs is likely to be maintained.

[Tree 4](#) is a Golden Cypress in fair condition and is proposed to incur an encroachment of approximately 10% as a result of the communal driveway. This level of impact is classified as a 'minor' encroachment under AS 4970:2025 and is generally considered acceptable, particularly given the availability of adequate permeable soil areas within the adjoining property (16 Market Street) to act as compensation for future root growth.

[Tree 5](#) is a suckering Bay Laurel that has previously been cut to ground level by the adjoining landowner. The species is highly resilient and has since regenerated from the stump, with current growth contributing to displacement of the boundary fence. The proposed driveway results in an ~24% encroachment into the NRZ; however, this level of impact is unlikely to adversely affect the tree.

[Tree 6](#) is a fruiting Feijoa, approximately 3 metres in height. The proposed construction of the single car garage for Dwelling 3 along the boundary is anticipated to result in a 'major' encroachment of approximately 28% into the NRZ. Similar to Camellias, Feijoa species demonstrate a relatively high tolerance to root disturbance. It is therefore considered that, subject to the implementation of appropriate tree protection measures (as outlined in Section 7.2 of this report), the ongoing viability of the tree can be maintained.

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7. Recommendations

7.1 Additions to Plans

The NRZ and SRZ of all retained trees should be shown in bold solid lines on plans

Architectural drawings should also illustrate a Tree Protection Zone (with separate fencing locations or ground protection) for retained street and neighbouring trees.

7.2 Tree Protection

To provide adequate protection for retained trees it is recommended a suitably qualified Consulting Arborist be engaged to implement the below measures (minimum AQF level 5 – Diploma in Arboriculture).

Tree Protection Measures

Tree protection measures must comply with the Australian Standard: *Protection of Trees on Development Sites* (AS 4970:2025).

- a) Extent

For all allocated retained trees, tree protection fencing is to be provided to the extent of the calculated TPZ radius of each tree, where it occurs within the property being developed. Fencing can be reduced to the minimum extent necessary to allow Council approved works only.
- b) Management of Works

If any works are to occur within the TPZ of any retained tree, these works shall be supervised and documented by a suitably qualified Project Arborist (minimum AQF level 5 – Diploma in Arboriculture). If any roots <40mm are encountered during the excavation process these shall be cleanly severed with a sharp pruning saw by the Arborist.
- c) Fencing

Protective fencing must consist of fence panels held in by concrete pads in accordance with AS4687-2007 *Temporary fencing and hoardings*. The fences must not be removed or relocated without written approval from the Responsible Authority. Ground protection can be placed in-lieu of fence but must accord with relevant section of AS4970:2025.
- d) Signage

Fixed signs are to be provided on all visible sides of the Tree Protection Fencing, stating "Tree Protection Zone – No entry without permission from the Responsible Authority".
- e) Access
 - i. No persons, vehicles or machinery are to enter the Tree Protection Zone except with the consent of the Council and documented by the Project Arborist. Access is restricted to maintenance (grass cutting) only.
 - ii. No fuel, oil dumps or chemicals are allowed to be used or stored within the Tree Protection Zone and the servicing and re-fuelling of equipment and vehicles must be carried out away from the root zones.
 - iii. No storage of material, equipment or temporary building is to take place within the Tree Protection Zone.
 - iv. Nothing whatsoever, including temporary services wires, nails, screws or any other fixing device, is to be attached to any tree.

7.3 Planting and Landscaping

Below provides a list of species that meet the tree types in Table B2-7.2 of Clause 55.02 of the Scheme. These may be suitable and are recognised to establish well in Baw Baw.

To take place within the Tree Protection Zone.

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Tree List

TYPE A (Minimum Height at Maturity – 6 metres)

- *Angophora hispida* – dwarf apple
- *Callistemon viminalis* – bottlebrush
- *Koelreuteria paniculate* – golden rain tree
- *Hymenosporum flavum* - native frangipani

TYPE B (Minimum Height at Maturity – 8 metres)

- *Allocasuarina littoralis* – black sheoak
- *Banksia integrifolia* – coastal banksia
- *Brachychiton populneus* - Kurrajong
- *Melia azederach* – white cedar

TYPE C (Minimum Height at Maturity – 12 metres)

- *Eucalyptus polyanthemos* – red box
- *Eucalyptus melliodora* – yellow box
- *Brachychiton populneus* - Kurrajong
- *Zelkova serrata* – Japanese zelkova

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Appendix A: Photographs



Tree 1



Tree 2



Tree 3



Tree 4



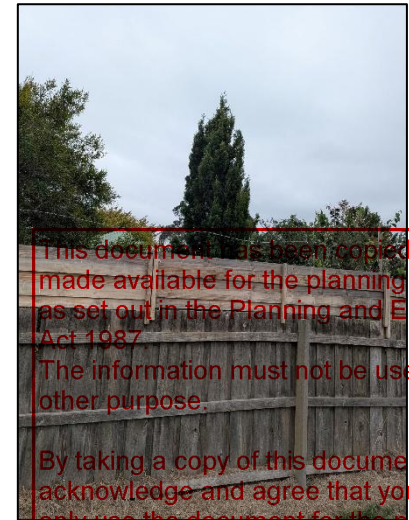
Tree 5



Tree 6



Tree 7 and 8



Tree 8

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Tree 9



Tree 10



Tree 11



Tree 12



Tree 13

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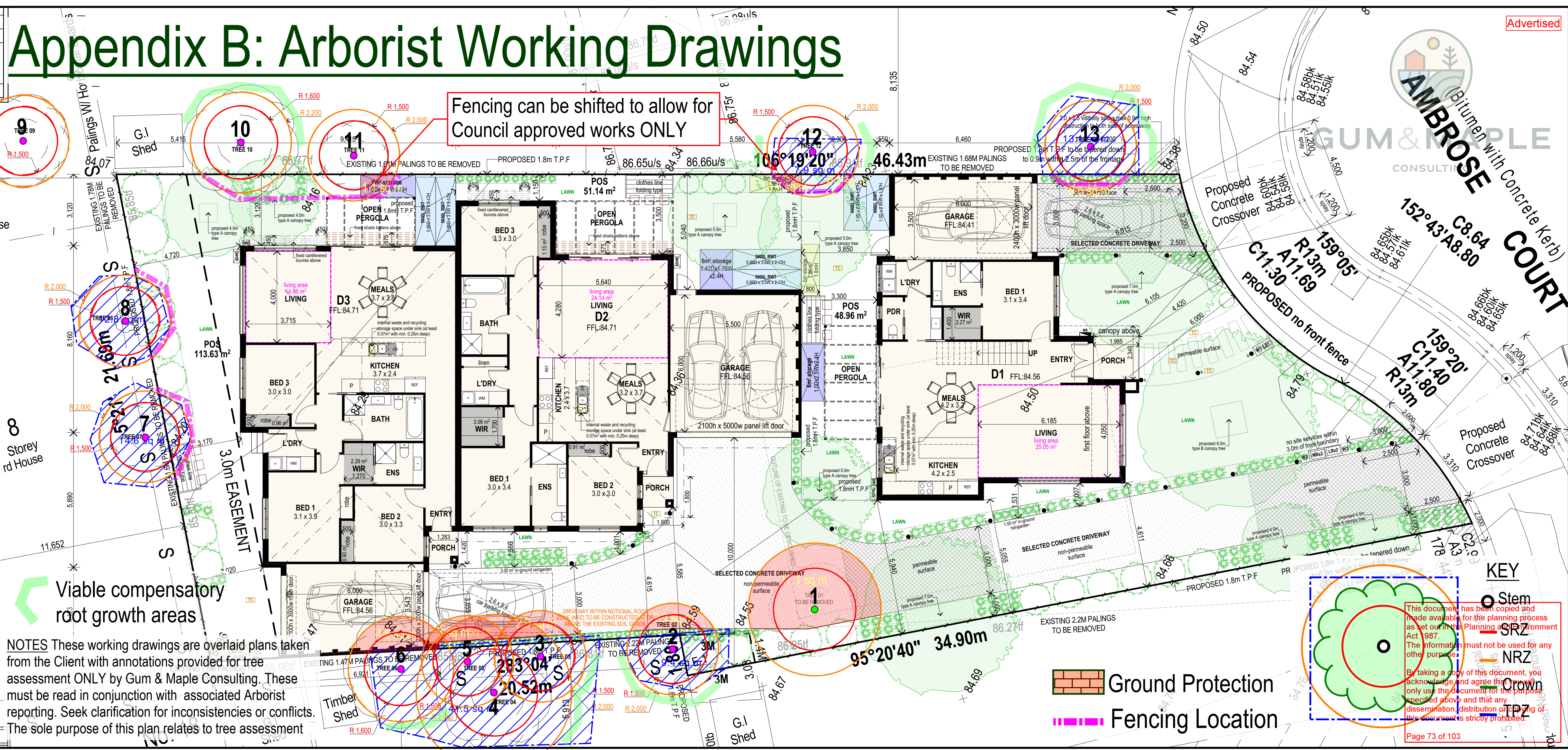
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Appendix B: Arborist Working Drawings



Fencing can be shifted to allow for Council approved works ONLY

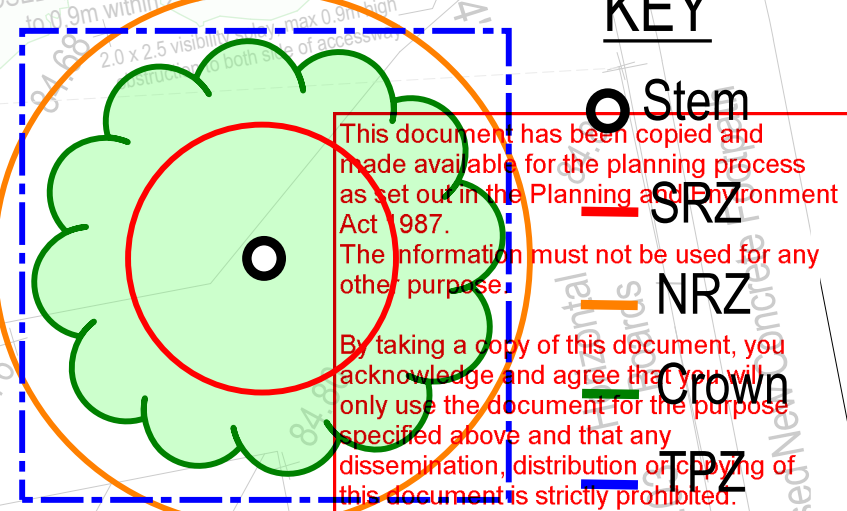


8 Storey rd House

Viabie compensatory root growth areas

NOTES These working drawings are overlaid plans taken from the Client with annotations provided for tree assessment ONLY by Gum & Maple Consulting. These must be read in conjunction with associated Arborist reporting. Seek clarification for inconsistencies or conflicts. The sole purpose of this plan relates to tree assessment

Ground Protection
Fencing Location



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Appendix C: Experience of the Author

The principal consultant, _____ of Gum and Maple Consulting has been involved in the Arboricultural industry for over 20 years, working in the private sector as well as local and state government authorities. He has experience in providing arboricultural referrals to Town Planners within Statutory Planning Departments and has provided expert representation and evidence statements at the Victorian Civil and Administrative Tribunal as well as at the Magistrates' Court of Victoria. The primary function of Gum and Maple Consulting is to provide various Arboricultural Reports in relation to land development.

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Appendix D: Definition of Terms

Maturity	
Juvenile	Tree is deemed to be less than 5 years old
Semi-mature	Tree yet to achieve 70% of typical mature height and canopy spread for its species
Mature	Tree has achieved greater than 70% of its expected size
Over-mature	Tree has achieved its mature expected size for species, and displays signs of natural decline in health and structure
Dead	Tree has completely defoliated and has no living sections

Health	
Good	A tree with leaf size, colour, density and intermodal growth typical for its species; minor deadwood and dieback caused by typical attrition may be present; no visible pathogen infestation.
Fair	A tree with reduced canopy density including foliage size and colour; uncharacteristic deadwood may present; infestation of pests or epicormic growth may be present at minor levels.
Poor	A tree with significantly reduced canopy and foliage density; significant amounts of deadwood; extensive infestation of pests; and is likely to decline further.
Dead	Foliage may have turned completely brown. No live foliage in the canopy.

Structure	
Good	Structurally sound scaffold limbs and branch unions; no major decay on trunk and scaffold branches. Scaffold limbs and branches display positive taper.
Fair	Structurally sound scaffold limbs and branch unions that may display; structurally stable bifurcated or co-dominant stems; prevalence of tight branch unions but with structurally sound attachments; previous limb failures caused by wind stress and structural issues have not destabilised remaining sections of canopy; trunk or limb decay present but currently not affecting structural integrity.
Poor	Structurally unstable bifurcated or co-dominant stem structure with excessive included bark characteristics; prevalence of structurally unstable scaffold or branch unions and attachments; prevalence of limb failures caused by wind stress and structural issues that have potentially destabilised other sections of canopy; excessive trunk or limb decay affecting structural integrity.

Form	
Good	Canopy form typical for species; symmetrical or minor asymmetrical canopy spread; missing canopy less than 25%
Fair	Canopy form atypical for species; asymmetrical canopy spread with minor directional bias; minor phototropic lean; missing canopy 25%-50%
Poor	Canopy form atypical for species; asymmetrical canopy spread with major directional bias; excessive trunk lean; missing canopy greater than 50%

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1. Any legal description provided to the author is assumed to be correct. Any titles and ownerships to any property are assumed to be correct. No responsibility is assumed for matters outside the consultant's control.
2. The author contracts with you on the basis that any property or project is not in violation of any applicable codes, ordinances, statutes or other local, state or federal government regulations.
3. The author has taken reasonable care to obtain all information from reliable sources. All data has been verified insofar as possible; however, the author can neither guarantee nor be responsible for the accuracy of the information provided by others.
4. The author shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services at the current rate for expert evidence.
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8. Sketches, diagrams, graphs and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering or architectural drawings, reports or surveys.
9. Unless stated otherwise: a) Information contained in this report covers only those items that were covered in the project brief or that were examined during the assessment and reflect the condition of those items at the time of inspection; and, b) The inspection is limited to visual examination of accessible components without dissection, excavation or probing unless otherwise stipulated.
10. There is no warranty or guarantee, expressed or implied by the author, that the problems or deficiencies of the plants or site in question may not arise in the future.
11. All instructions (verbal or written) that define the scope of the report have been included in the report and all documents and other materials that the consultant has been instructed to consider or to take into account in preparing this report have been included or listed within the report.
12. To the authors' knowledge all facts, matter and all assumptions upon which the report proceeds have been stated within the body of the report and all opinion contained within the report have been fully researched and referenced and any such opinion not duly researched is based upon the writer's experience and observations.
13. This agreement supersedes all prior discussions and representations between the author and the client on the subject and is the entire agreement and understanding between the two parties.

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3 Ambrose Crt



The proposed stormwater treatments provide 'deemed to comply' compliance with the minimum planning requirement for total nitrogen but does not comply with all the relevant objectives for management of stormwater flows on-site.

Project details

Name	3 Ambrose Crt
Project ID	258F595D
Street address	14 Market St, Yarragon VIC 3823, Australia
Municipality	Mount Baw Baw Alpine Resort (Uninc)
Site area	1003.33 m ²
Planning Number	

Flow and pollutant load reductions

Item	Result	Target	
Mean annual runoff volume harvested or evapotranspired (%)	19%	>15%	✓
Mean annual runoff volume infiltrated or filtered (%)	0%	>22%	✗
Total suspended solids (%)	81%	>80%	✓
Total phosphorus (%)	60%	>45%	✓
Total nitrogen (%)	45%	>45%	✓
Total gross pollutants (%)	98%	>70%	✓

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Rainwater Tank 1



Roof D1 - RWT 133.31m2



Rainwater Tank 1

Rainwater tank retention volume in kilolitres: 8

Rainwater Tank 2



Roof D2 - RWT 167.15m2



Rainwater Tank 2

Rainwater tank retention volume in kilolitres: 10

Rainwater Tank 3



Roof D3 - RWT 154.26m2



Rainwater Tank 3

Rainwater tank retention volume in kilolitres: 10

Raingarden 1



Shared Driveway - RG1 Paved, 34.64m2



Raingarden 1 Area: 1 m², Extended detention depth: 0.1 m,
Submerged zone depth: 0.3 m, Site soil type: Lined

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Raingarden 2

Advertised



Shared Driveway - RG2 Paved, 84.07m2



Raingarden 2 Area: 3 m², Extended detention depth: 0.1 m,
Submerged zone depth: 0.3 m, Site soil type: Lined

Catchments



Roof D1 - RWT 133.31m2



Roof D2 - RWT 167.15m2



Roof D3 - RWT 154.26m2



Shared Driveway - RG2 Paved, 84.07m2



Driveway D1 - Permeable Pervious (garden and lawn),
20.06m2



Shared Driveway - Permeable Pervious (garden and lawn),
45.03m2



Roof / Canopy D1 - Untreated 1.75m2



Permeable surface/Garden/Lawns
Pervious (garden and lawn), 363.05m2

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Shared Driveway - RG1 Paved, 34.64m²

Advertised

Treatments



Rainwater Tank 1

Rainwater tank retention volume in kilolitres: 8

102%



Rainwater Tank 2

Rainwater tank retention volume in kilolitres: 10

73%



Rainwater Tank 3

Rainwater tank retention volume in kilolitres: 10

78%



Raingarden 1 Area: 1 m², Extended detention depth: 0.1 m,
Submerged zone depth: 0.3 m, Site soil type: Lined

163%



Raingarden 2 Area: 3 m², Extended detention depth: 0.1 m,
Submerged zone depth: 0.3 m, Site soil type: Lined

166%

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**Dwelling 1** Residential Townhouse, 4 bedroom(s)

Water sources	I want to use the average efficiency for a typical new dwelling or building
Basin taps - Primary water source	Mains water
Showers - Primary water source	Mains water
Clothes Washer - Primary water source	Rainwater
Toilets connected to mains water	0
Toilets connected to rainwater	3
Toilets connected to recycled water	0
Garden water use	Garden water demands are in use
Garden primary water source	Rainwater
• Mains	0 m ²
• Rainwater Tank	0 m ²
• Recycled Water	0 m ²
Garden water use efficiency	

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Water sources	I want to use the average efficiency for a typical new dwelling or building
Basin taps - Primary water source	Mains water
Showers - Primary water source	Mains water
Clothes Washer - Primary water source	Rainwater
Toilets connected to mains water	0
Toilets connected to rainwater	2
Toilets connected to recycled water	0
Garden water use	Garden water demands are not in use

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Dwelling 3 Residential Townhouse, 3 bedroom(s)

Advertised

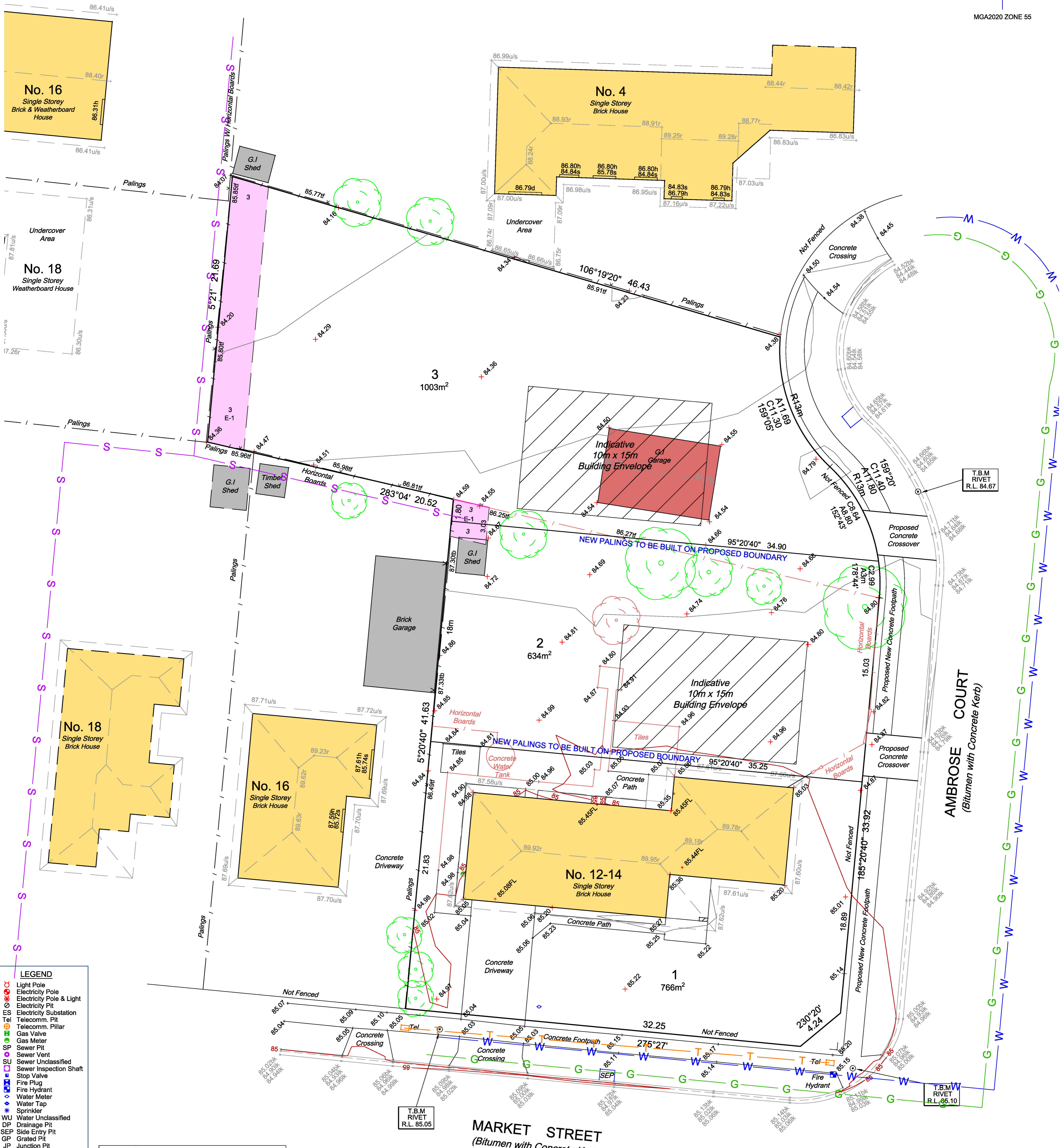
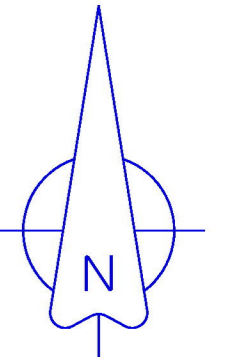
Water sources	I want to use the average efficiency for a typical new dwelling or building
Basin taps - Primary water source	Mains water
Showers - Primary water source	Mains water
Clothes Washer - Primary water source	Rainwater
Toilets connected to mains water	0
Toilets connected to rainwater	2
Toilets connected to recycled water	0
Garden water use	Garden water demands are not in use

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- LEGEND**
- Light Pole
 - Electricity Pole
 - Electricity Pole & Light
 - Electricity Pit
 - Electricity Substation
 - Telecomm. Pit
 - Telecomm. Pillar
 - Gas Valve
 - Gas Meter
 - Sewer Pit
 - Sewer Vent
 - Sewer Unclassified
 - Sewer Inspection Shaft
 - Stop Valve
 - Fire Plug
 - Fire Hydrant
 - Water Meter
 - Water Tap
 - Sprinkler
 - Water Unclassified
 - Drainage Pit
 - Side Entry Pit
 - Grated Pit
 - Junction Pit
 - Unclassified Pit
 - Sign
 - Letterbox
 - Bollard
 - Bin
 - Top of Fence
 - Floor Level
 - Top of Kerb
 - Back of Kerb
 - Invert of Kerb
 - Lip of Kerb
 - Edge of Bitumen
 - Ridge
 - Underside of Gutter
 - Eave Line
 - Parapet Wall
 - habitable window
 - non habitable window
 - Window Head
 - Window Sill
 - Door Height
 - Top of Building
 - Top of Wall

PRELIMINARY DESIGN ONLY
NOT APPROVED FOR CONSTRUCTION

WARNING AND DISCLAIMER
BEWARE OF UNDERGROUND SERVICES

The alignments of underground services plotted in this drawing are approximate only using DBYD information provided. It is the responsibility of the contractor to prove their exact positions and depth prior to works commencing on site. Furthermore, other services may exist which Land Surveys are unaware. The information provided hereon should be verified by the relevant Service Authorities.

- UNDERGROUND SERVICES-DIAL BEFORE YOU DIG**
- Drainage
 - Electricity
 - Gas
 - Optic Fibre
 - Sewerage
 - Telstra
 - Telecommunications
 - Water

PLANNING AND ENVIRONMENT ACT 1987
BAW BAW SHIRE COUNCIL
ENDORSED PLAN
PLANNING PERMIT No PLA0342/22
APPROVED
(COUNCIL DELEGATE)
DATE 14/03/2025
SHEET 3 OF 4

NOTES

PROPOSED BUILDINGS/FEATURES TO BE DEMOLISHED SHOWN IN RED.

THE SITE HAS ACCESS TO SERVICES AS SHOWN WITH THE DBYD INFORMATION ON THE PLAN.

B	AMENDMENTS MADE PER RFI	MS	13/2/23	MS
REV	DESCRIPTION	DRN	DATE	APP

Land Surveys

Unit 2, 85 Salmon Street
Port Melbourne
Victoria 3207

T (03) 9646 0864
E melbourne@landsurveys.net.au
www.landsurveys.net.au

SCALE @ A1: 1:150

SURVEYED BY:
SURVEYED ON: 06/07/22

DRAWN BY:
DRAWN ON: 22/07/22

HOR DATUM: MGA20
VERT DATUM: AHD

CONCEPT PLAN
PROPOSED SUBDIVISION
12-14 MARKET STREET,
YARRAGON VIC 3823

CLIENT:
2205656 - CP - 001 - B

JOB No.
2205656 - CP - 001 - B

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TOWN PLANNING APPLICATION

PROPOSED:
**UNIT DEVELOPMENT
3 AMBROSE COURT,
YARRAGON VIC 3823**

CONTENTS

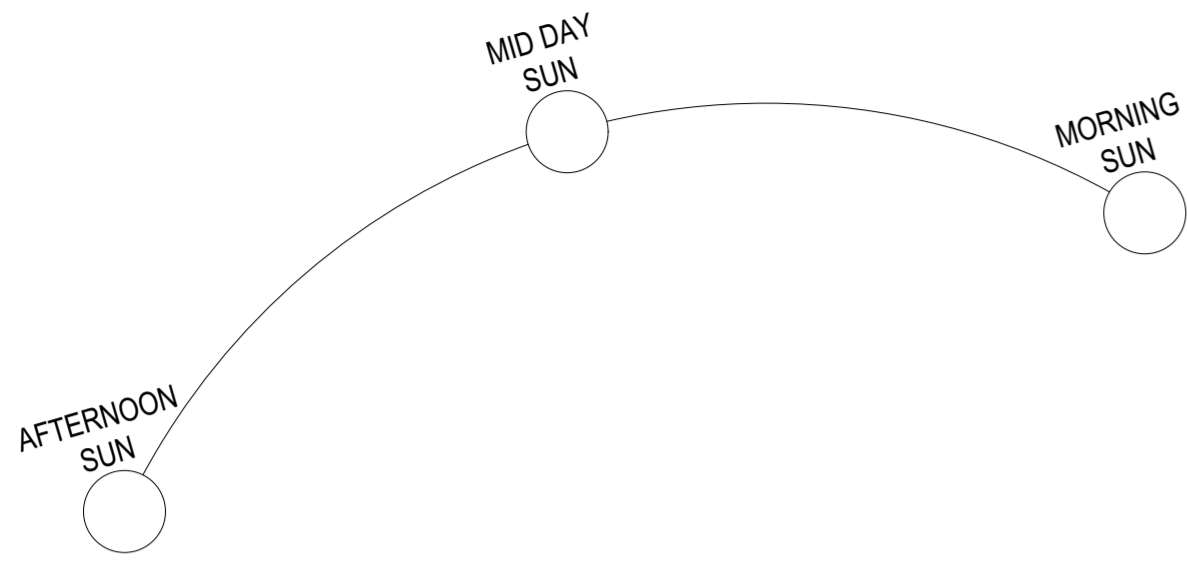
- A01 COVER PAGE
- A02 SITE DESCRIPTION
- A03 DESIGN RESPONSES
- A04 SITE LAYOUT & GROUND FLOOR PLAN
- A05 FIRST FLOOR PLAN
- A06 ROOF PLAN
- A07 FUNCTIONAL LAYOUT - GROUND FLOOR
- A08 FUNCTIONAL LAYOUT - FIRST FLOOR
- A09 W.S.U.D PLAN
- A10 GARDEN AREA PLAN
- A11 POS PLAN
- A12 ELEVATIONS
- A13 LANDSCAPE & TREE CANOPY PLAN
- A14 SHADOW DIAGRAM - 22 SEP 9AM
- A15 SHADOW DIAGRAM - 22 SEP 12PM
- A16 SHADOW DIAGRAM - 22 SEP 3PM

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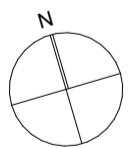
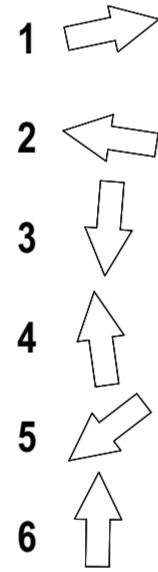
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LEFT TURN



LEGEND

- 1 NOISE DIRECTION
- 2 CBD 105.9 km
- 3 SCHOOL 289 m
- 4 PUBLIC TRANSPORT 427 m
- 5 PARKLAND 331 m
- 6 SHOPS 238 m
- 7 ADJOINING B/V RES
- 8 ADJOINING W/B RES
- 9 ADJOINING SHED
- 10 VACANT LAND
- CP CARPORT
- G GARAGE
- TPF TIMBER PAILING FENCE
- CBF COLOURBOND FENCE
- PW POST & WIRE FENCE
- SF STEEL FENCE
- BF BRICK FENCE
- PF PICKETS FENCE
- EXISTING VEHICLE CROSSING
- POS PRIVATE OPEN SPACE
- HABITABLE ROOM WINDOWS
- 4.0 FRONT SETBACK

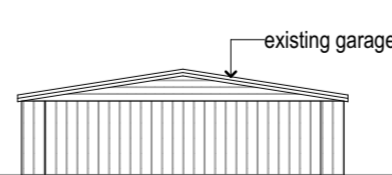


TP APPLICATION

SITE DESCRIPTION



ADJOINING RESIDENCE



SUBJECT SITE
STREETSCAPE - AMBROSE COURT



ADJOINING RESIDENCE

PROJECT:
UNIT DEVELOPMENT
3 AMBROSE COURT,
YARRAGON VIC 3823

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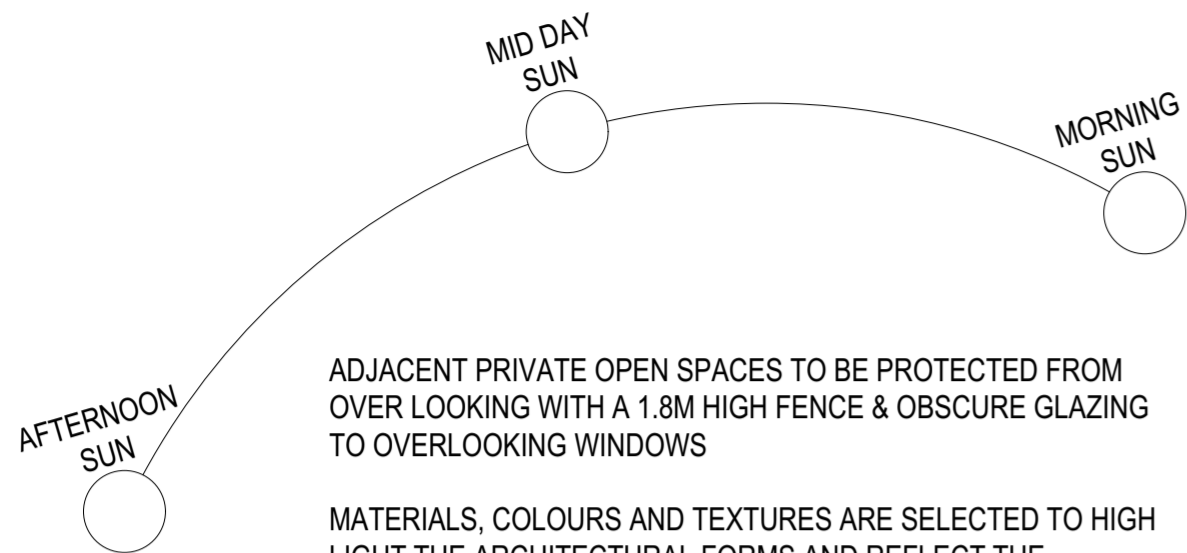
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ADJACENT PRIVATE OPEN SPACES TO BE PROTECTED FROM OVER LOOKING WITH A 1.8M HIGH FENCE & OBSCURE GLAZING TO OVERLOOKING WINDOWS

MATERIALS, COLOURS AND TEXTURES ARE SELECTED TO HIGH LIGHT THE ARCHITECTURAL FORMS AND REFLECT THE ADJACENT DWELLINGS & THE PREVAILING CHARACTER OF THE AREA

CREATE PRIVATE NORTH FACING COURTYARDS FOR ALL RESIDENCES, AND NORTH FACING LIVING AREAS

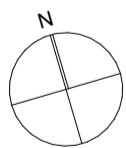
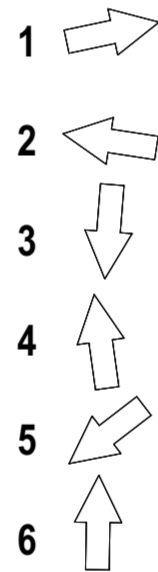
BREAK UP LARGE FORMS WITH ARTICULATED DIMENSIONS IN PLAN AND ELEVATIONS TO MAINTAIN A SCALE RELATIVE TO ADJOINING BUILDINGS

SETBACK MAINTAINED AT 4.070 METERS SIMILAR TO THE ADJOINING PROERTIES

SITE IS RELATIVELY FLAT

LEGEND

- 1 NOISE DIRECTION
- 2 CBD 105.9 km
- 3 SCHOOL 289 m
- 4 PUBLIC TRANSPORT 427 m
- 5 PARKLAND 331 m
- 6 SHOPS 238 m
- 7 ADJOINING B/V RES
- 8 ADJOINING W/B RES
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- POS PRIVATE OPEN SPACE
- HABITABLE ROOM WINDOWS
- 4.0 FRONT SETBACK

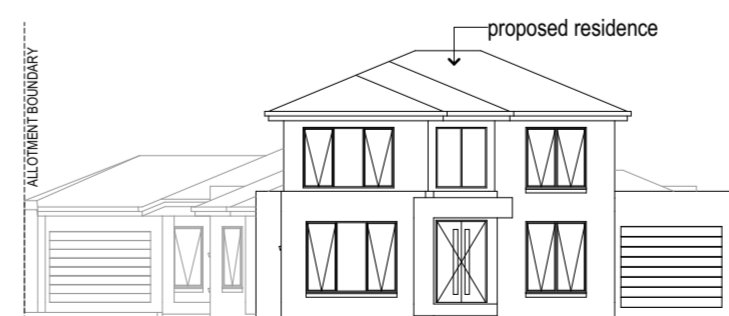


TP APPLICATION

DESIGN RESPONSES



ADJOINING RESIDENCE



SUBJECT SITE
STREETSCAPE - AMBROSE COURT



ADJOINING RESIDENCE

PROJECT:
UNIT DEVELOPMENT
3 AMBROSE COURT,
YARRAGON VIC 3823

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AREA ANALYSIS		
	m ²	sq
Dwelling 1		
porch	4.10	0.44
ground floor	97.44	10.49
first floor	84.48	9.09
garage	24.03	2.59
210.05 m²	22.61	
Dwelling 2		
porch	1.82	0.20
ground floor	119.86	12.90
garage	36.95	3.98
158.63 m²	17.08	
Dwelling 3		
porch	1.82	0.20
ground floor	124.98	13.45
garage	25.39	2.73
152.19 m²	16.38	

SITE ANALYSIS			
SITE AREA: 1003.33m ²			
min. garden area required:	m ²	% of site	
35% of 1003.33m ² = 351.17m ²			
site coverage	445.34	44.39	
permeable area	380.47	37.92	
garden area	365.75	36.45	

No. 16
Single Storey
Brick & Weatherboard House

No. 18
Adj. Single Storey
Weatherboard House

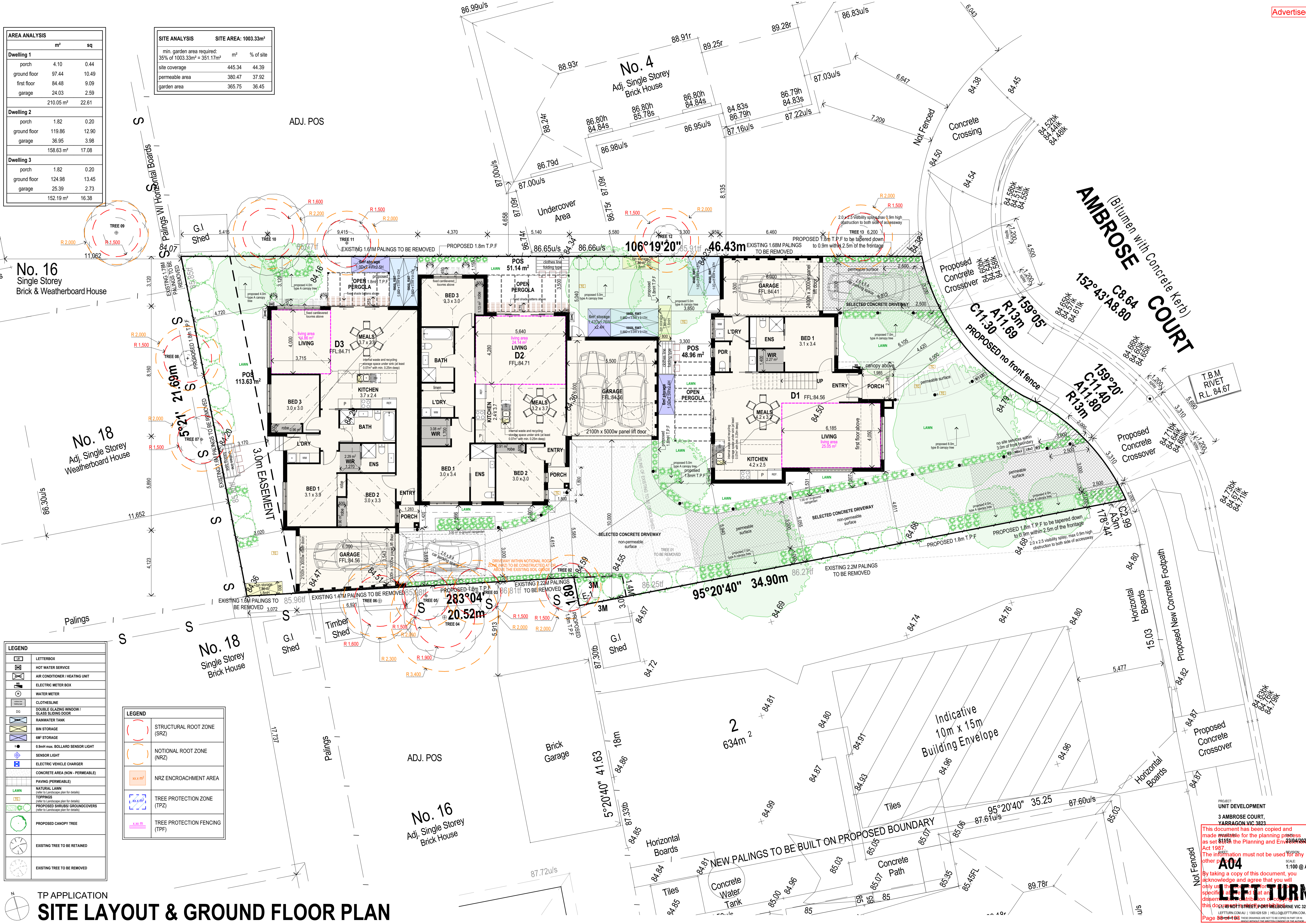
No. 18
Single Storey
Brick House

No. 16
Adj. Single Storey
Brick House

LEGEND	
[Symbol]	LETTERBOX
[Symbol]	HOT WATER SERVICE
[Symbol]	AIR CONDITIONER / HEATING UNIT
[Symbol]	ELECTRIC METER BOX
[Symbol]	WATER METER
[Symbol]	CLOTHESLINE
[Symbol]	DOUBLE GLAZING WINDOW / GLASS SLIDING DOOR
[Symbol]	RAINWATER TANK
[Symbol]	BIN STORAGE
[Symbol]	BM STORAGE
[Symbol]	0.9mH max. BOLLARD SENSOR LIGHT
[Symbol]	SENSOR LIGHT
[Symbol]	ELECTRIC VEHICLE CHARGER
[Symbol]	CONCRETE AREA (NON - PERMEABLE)
[Symbol]	PAVING (PERMEABLE)
[Symbol]	NATURAL LAWN
[Symbol]	TOPPOINGS
[Symbol]	PROPOSED SHRUBS / GROUNDCOVERS
[Symbol]	PROPOSED CANOPY TREE
[Symbol]	EXISTING TREE TO BE RETAINED
[Symbol]	EXISTING TREE TO BE REMOVED

LEGEND	
[Symbol]	STRUCTURAL ROOT ZONE (SRZ)
[Symbol]	NOTIONAL ROOT ZONE (NRZ)
[Symbol]	NRZ ENCROACHMENT AREA
[Symbol]	TREE PROTECTION ZONE (TPZ)
[Symbol]	TREE PROTECTION FENCING (TPF)

TP APPLICATION
SITE LAYOUT & GROUND FLOOR PLAN



PROJECT
UNIT DEVELOPMENT
3 AMBROSE COURT,
YARRAGON VIC 3823

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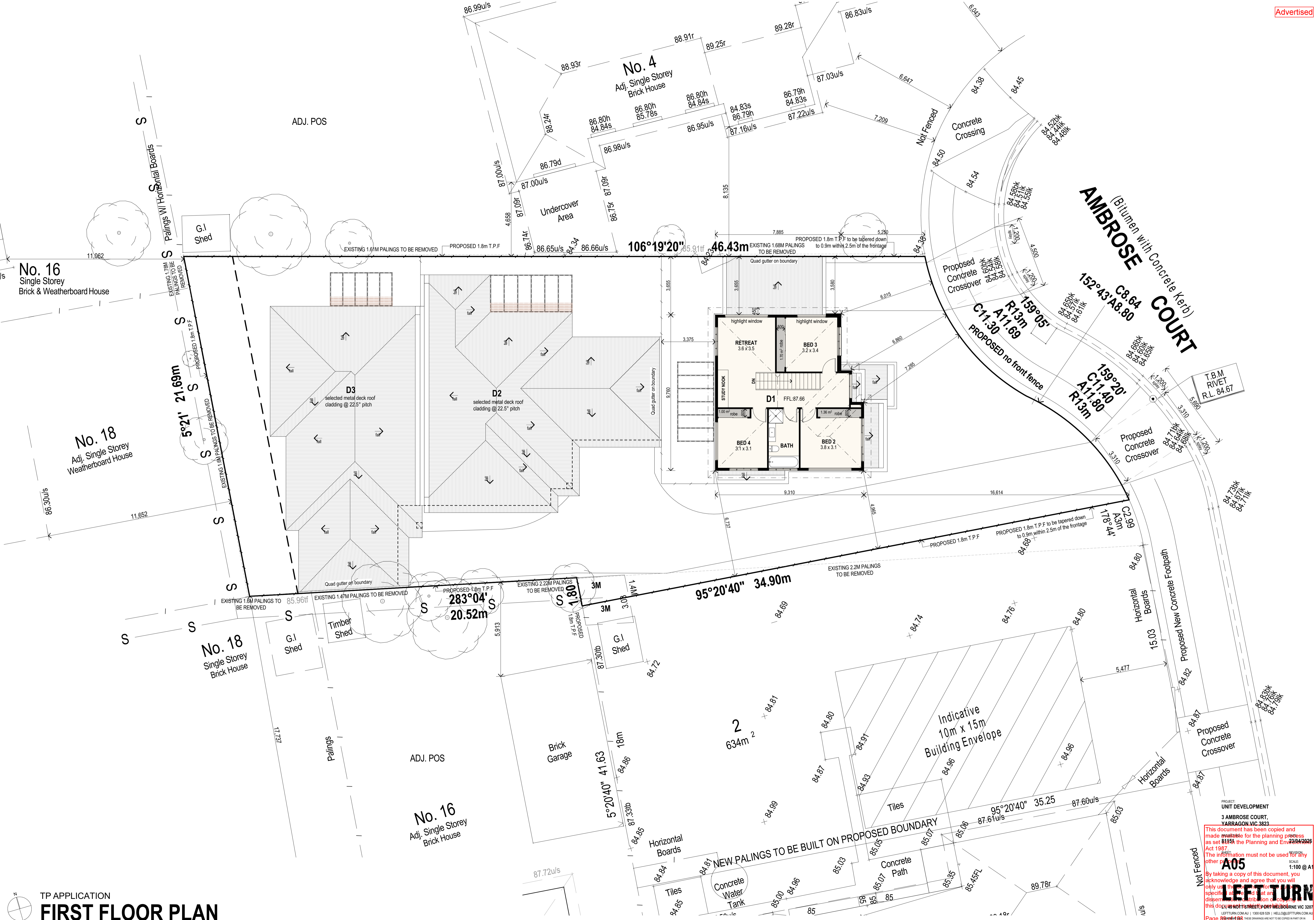
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SCALE
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A04

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TP APPLICATION
FIRST FLOOR PLAN

PROJECT
 UNIT DEVELOPMENT
 3 AMBROSE COURT,
 YARRAGON VIC 3823

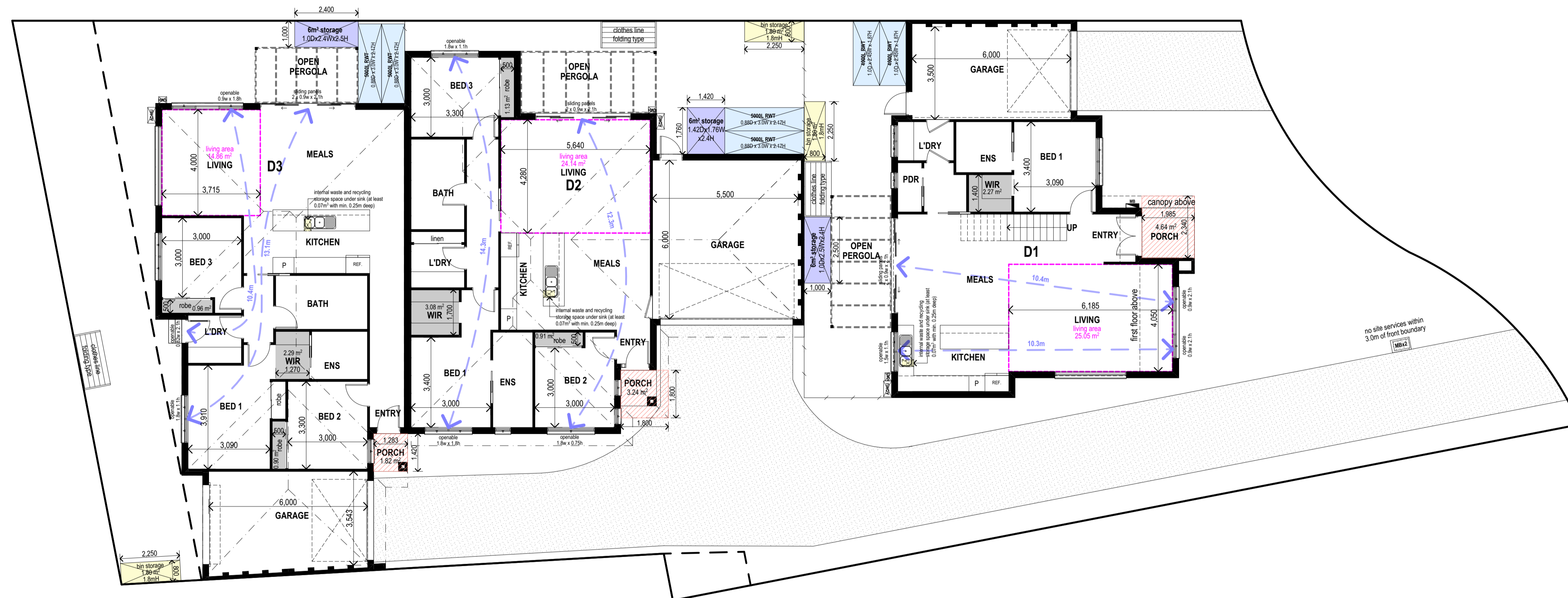
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LEFT TURN

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LEGEND

- B3-10 breeze path
- B3-11 storage 6m³ (size as shown)
- B3-4 entry covered area
- robe area (min. 0.8m²)
- B3-7.2 living area
- B5-5 bin storage (min 1.8m²)

TP APPLICATION
FUNCTIONAL LAYOUT - GROUND FLOOR

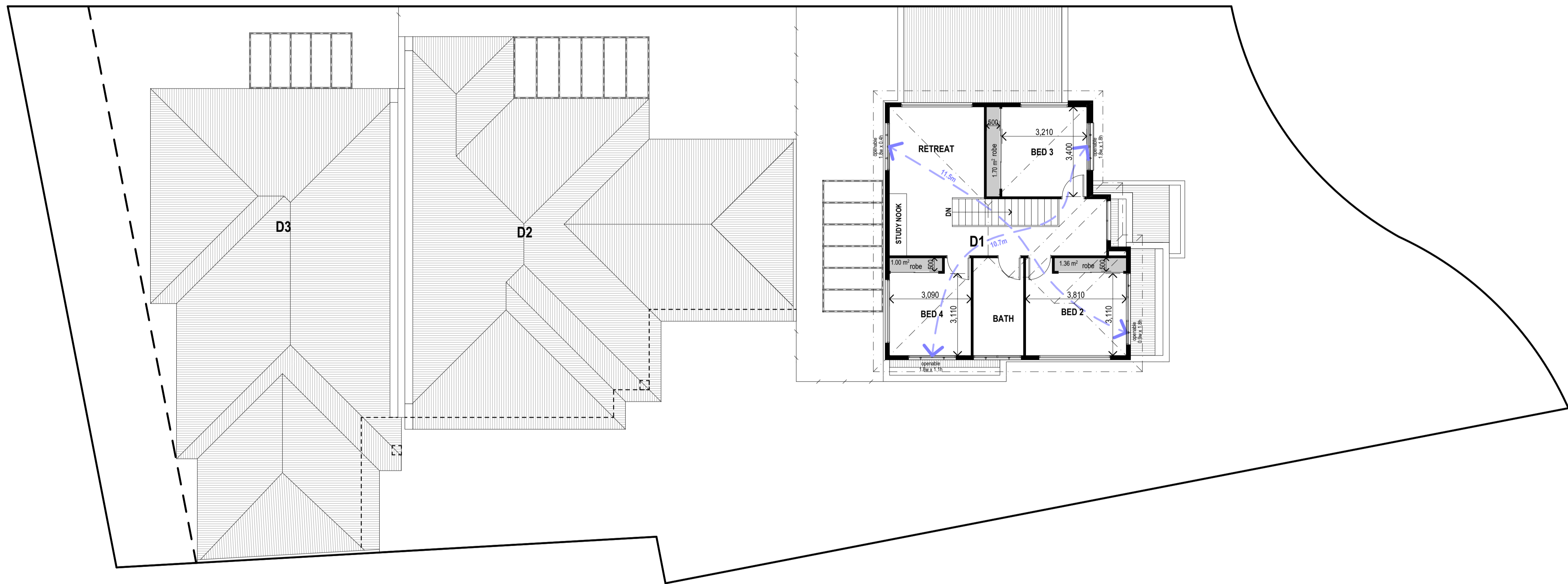
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 UNIT DEVELOPMENT
 3 AMBROSE COURT,
 YARRAGON VIC 3823

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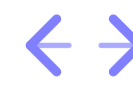
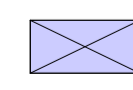


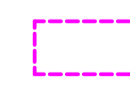
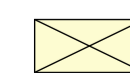
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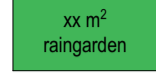
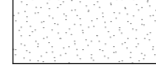


LEFT TURN
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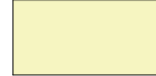


LEGEND

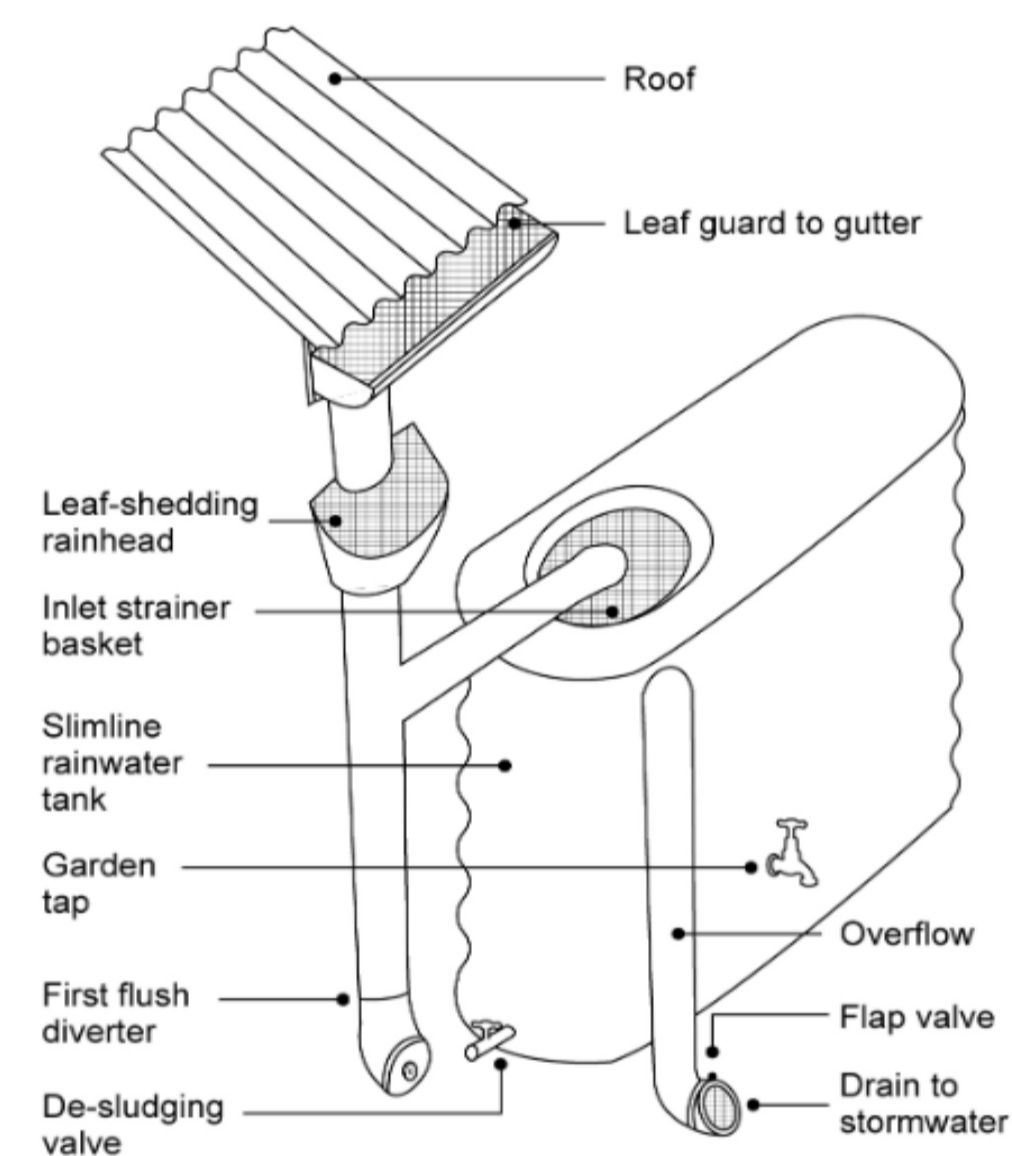
-  B3-10 breeze path
-  B3-11 storage 6m³ (size as shown)
-  B3-4 entry covered area
-  robe area (min. 0.8m²)
-  B3-7.2 living area
-  B5-5 bin storage (min 1.8m²)

LEGEND

-  DENOTES RAINWATER TANK FOR INDIVIDUAL DWELLING RE-USE (SIZE AS SHOWN)
-  DENOTES RAINGARDEN (SIZE AS SHOWN)
-  NON-PERMEABLE CONCRETE
-  PERMEABLE CONCRETE SURFACE
-  NOTE: ALL UNHATCHED AREAS ARE ZONE FOR LANDSCAPING

W.S.U.D. SCHEDULE

-  ROOF AREA DRAINING TO RAINWATER TANK (FULLY CHARGED)
-  ROOF AREA DRAINING TO RAINGARDEN
-  UNTREATED AREA



RAINWATER MAINTENANCE INFORMATION
<https://www.melbournwater.com.au/sites/default/files/WSUD-Maintenance-manager-guidelines.pdf>
 Source: www.yourhome.gov.au

Rainwater Tank Maintenance
 Regular maintenance is needed to ensure that your rainwater is safe for all requirements around the home, particularly for drinking. Design and construct the system so that the maintenance schedule can be carried out.

Monthly:

- Check and clean tank inlet screens, outlet screens, and leaf-shedding rain-heads.
- Check and clean the first flush diverter.

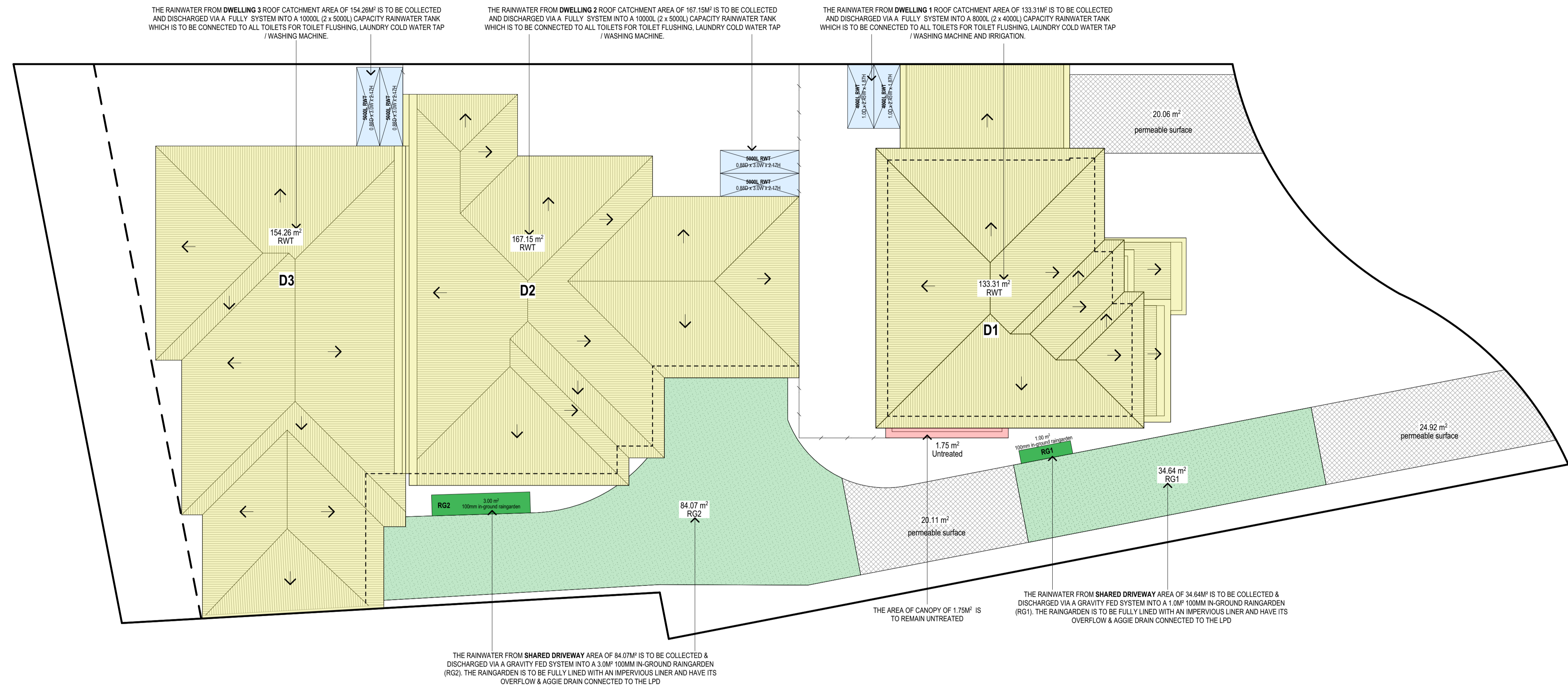
Annually:

- Check roofs and gutters and remove debris.
- Check filters and replace if necessary.
- Remove overhanging vegetation where possible.

3-5 yearly:

- De-sludge your tank.
- In the longer term, rainwater pumps typically need servicing or replacing after approximately 10 years of use.

Guidance shall be sought via the Australian Government Department of Health, [Guidance on use of rainwater tanks](#).



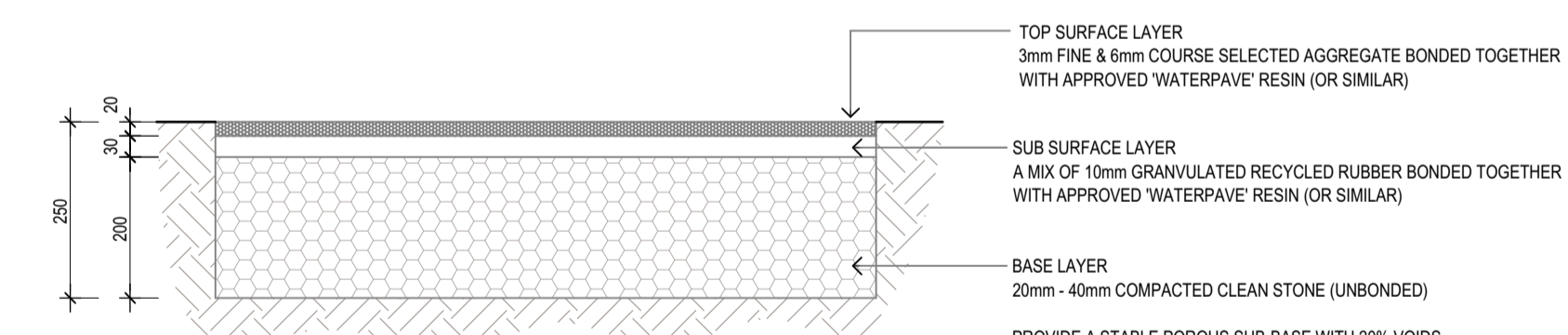
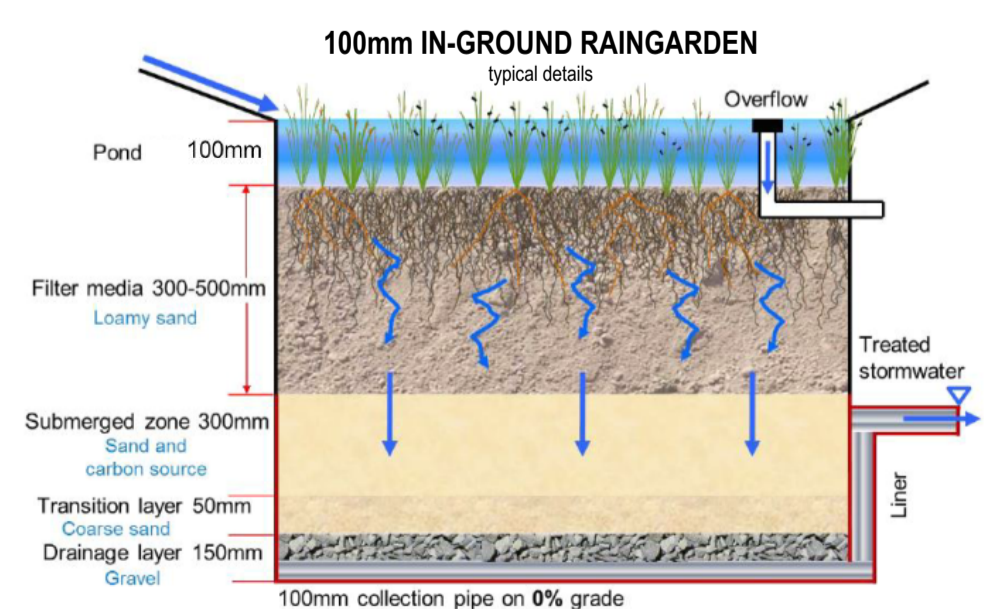
Raingarden Maintenance
 Regular maintenance is needed to ensure that the raingarden system is operating sufficiently and effectively to maintain a healthy stormwater system.

Quarterly:

- Remove leaf litter and gross pollutants
- Check for biofilms (algal biofilms may develop on the surface of the filter media leading to clogging issues)
- Monitor ponding of water following rainfall events
- Check for permanently boggy/pooled areas
- Check for erosion/scouring
- Check for evidence of preferential flow paths
- Replace filter media in eroded areas
- Add rock protection around inlets (if required)
- Check depth and even distribution of mulch
- Check mulch is not touching plant stems
- Check for sediment/silt accumulation in mulch layer
- Replace mulch (if required)
- Retain mulch using jute mats or nets (if required)
- Inspect plant health and cover
- Replace dead plants (maintain a consistent vegetation density of 6-10 plants per square metre across the raingarden filter media)
- Remove weeds (avoid use of herbicides)
- Prune plants (where applicable)
- Water plants (if required during establishment phase)
- Check infrastructure for damage and repair as required
- Ensure inlet and outlet points are clear of sediment, litter and debris

Annually:

- Remove sediment (or scarify filter media surface if required)
- Inspection opening for underdrain (slotted drainage pipe):
 - Check water level
 - Check for sediment accumulation
 - Flush the underdrain system (if required)



PERMEABLE CONCRETE (FOR VEHICULAR LOADS)
 SCALE 1:10

Maintenance Schedule for Permeable Concrete Driveway

During or after a major rain event (particularly in the first 12 months):

- Visually monitor infiltration performance.
- Check that driveway dewaters between events.

Quarterly (monthly during the first 12 months):

- Check that driveway surface and immediate catchment area is free of sediment and debris.
- If required, brush or vacuum sweep area to remove sediment and debris.

Annually:

- Check infiltration performance and sediment accumulation.
- Inspect surface of driveway for deterioration or structural damage
- Vigorously brush and pressure wash areas showing reduced performance.

3-5 yearly (at least within 10 years):

- Perform infiltration test.
- Undertake wet suction cleaning if required.

Maintenance of the permeable driveway is the responsibility of the applicant and/or property owner.

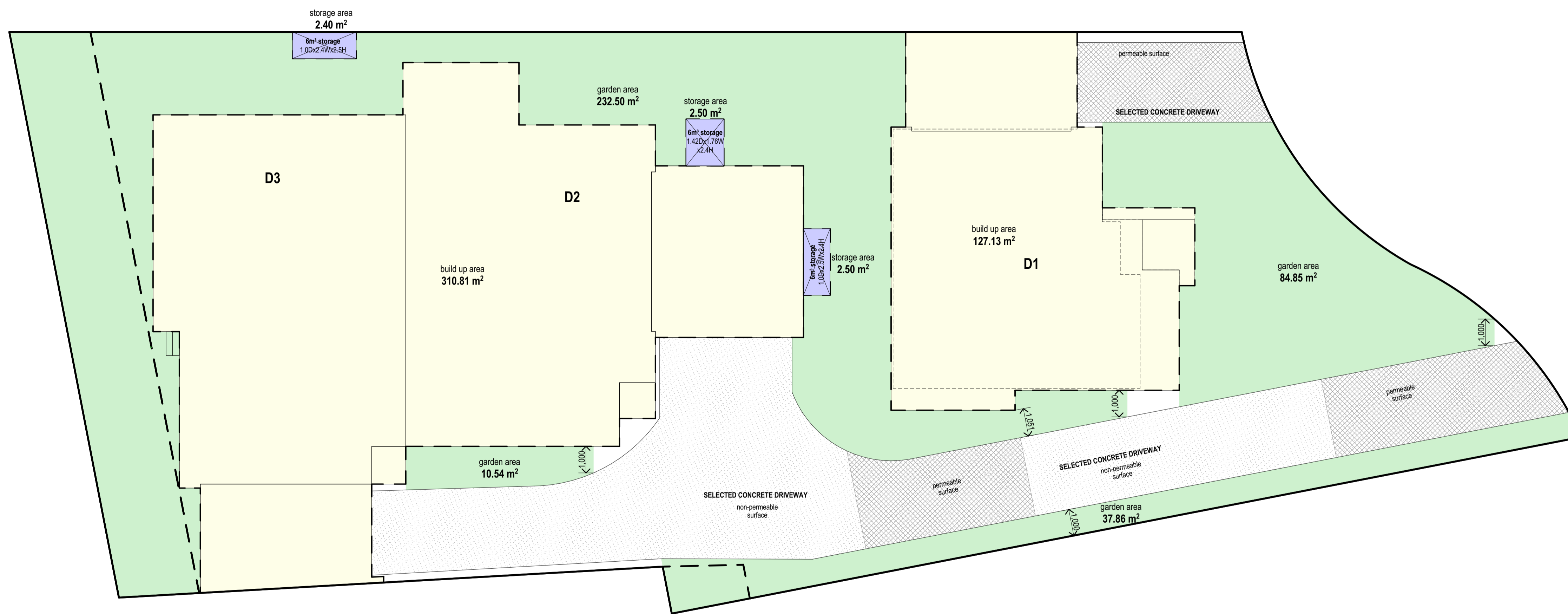
PROJECT: UNIT DEVELOPMENT
 3 AMBROSE COURT, YARRAGON VIC 3823

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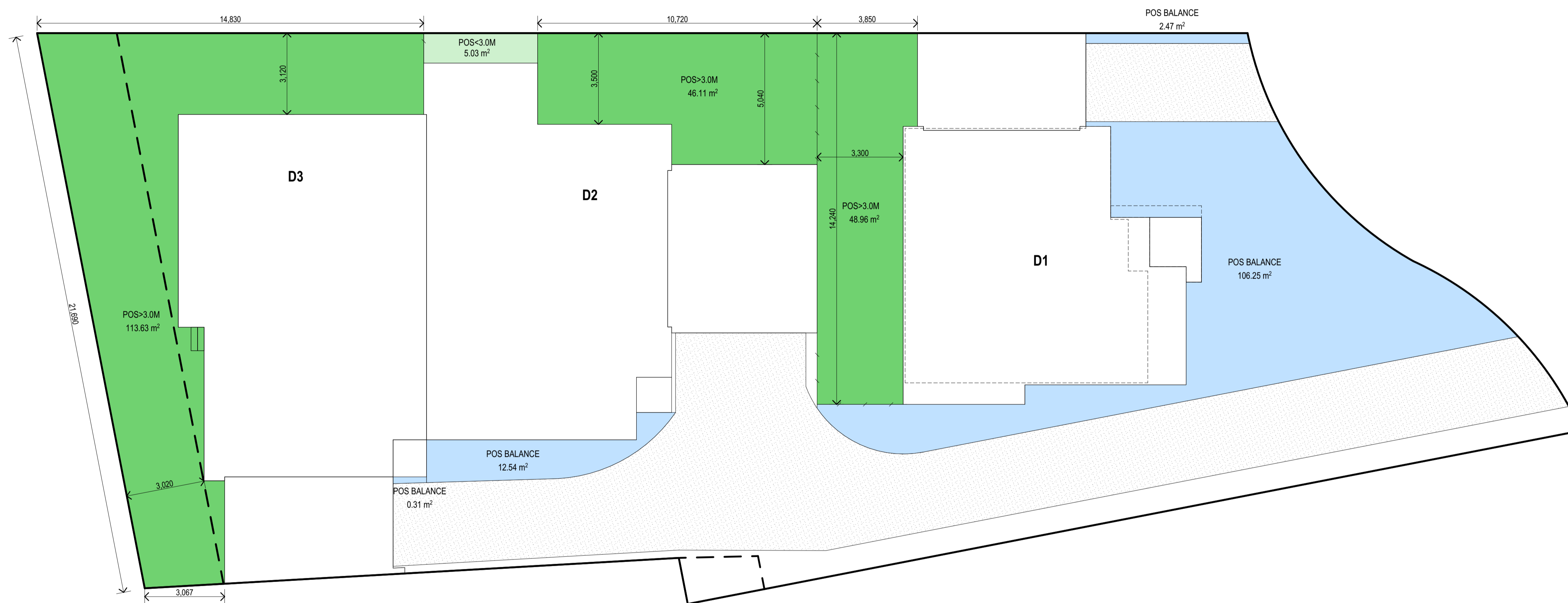
LEFT TURN

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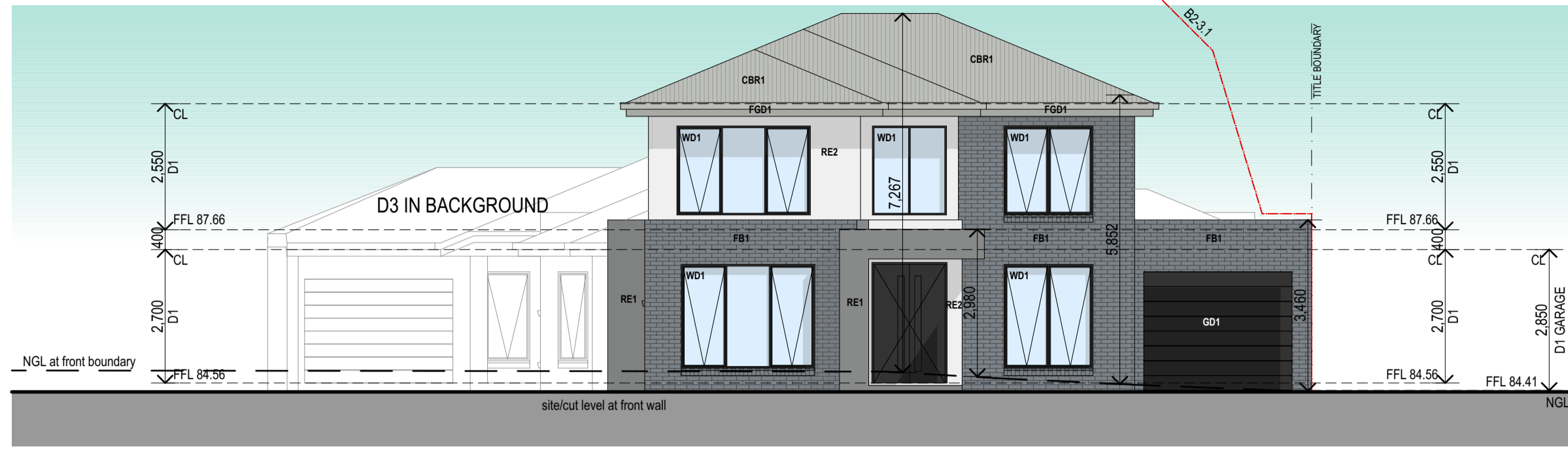


LEGEND	
	GARDEN AREA
	CONCRETE DRIVEWAY (NON-PERMEABLE)
	BUILT UP AREA
	6m² STORAGE SHED (NON-PERMEABLE - INC. IN SITE COVERAGE)

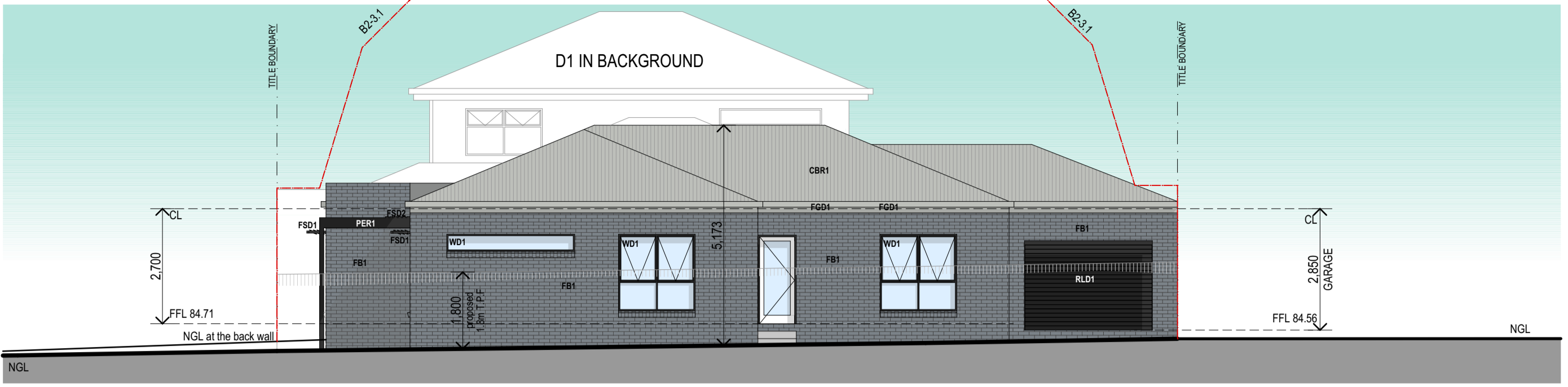
SITE ANALYSIS		SITE AREA: 1003.33m²	
min. garden area required:	m²	% of site	
35% of 1003.33m² =	351.17m²		
site coverage	445.34	44.39	
permeable area	380.47	37.92	
garden area	365.75	36.45	



POS DWELLING 1	POS > 3.0M	POS < 3.0M	BALCONY	POS BALANCE	TOTAL
	48.96	0.00	0.00	108.72	157.68 m²
POS DWELLING 2	POS > 3.0M	POS < 3.0M	BALCONY	POS BALANCE	TOTAL
	46.11	5.03	0.00	12.54	63.68 m²
POS DWELLING 3	POS > 3.0M	POS < 3.0M	BALCONY	POS BALANCE	TOTAL
	113.63	0.00	0.00	0.31	113.94 m²



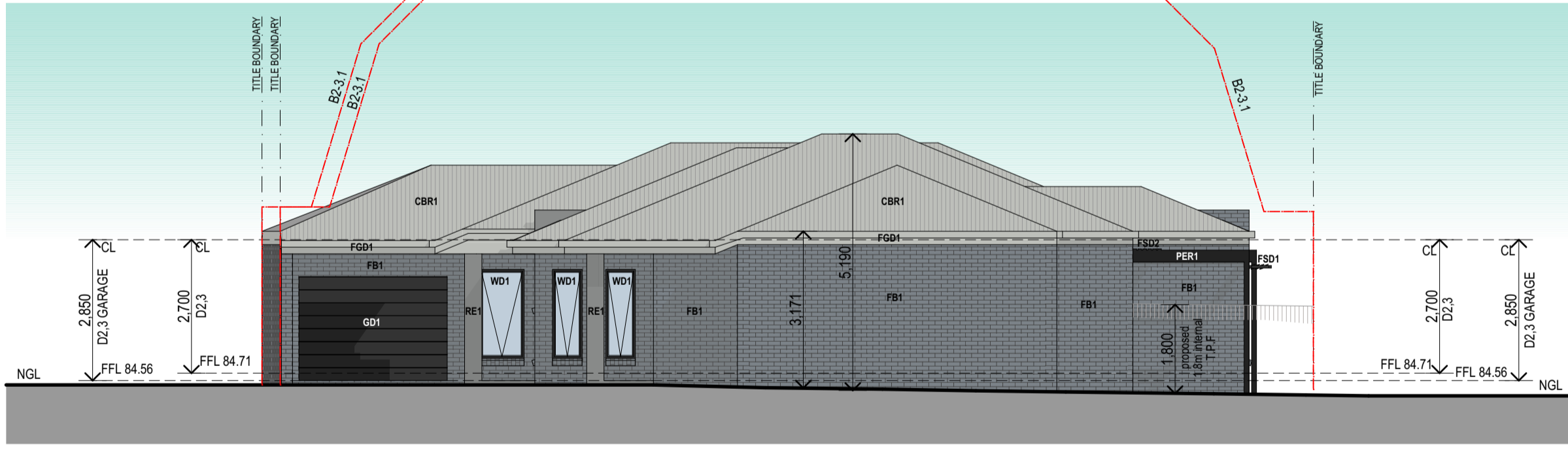
SOUTH EAST ELEVATION
SCALE 1:100



NORTH WEST ELEVATION
SCALE 1:100



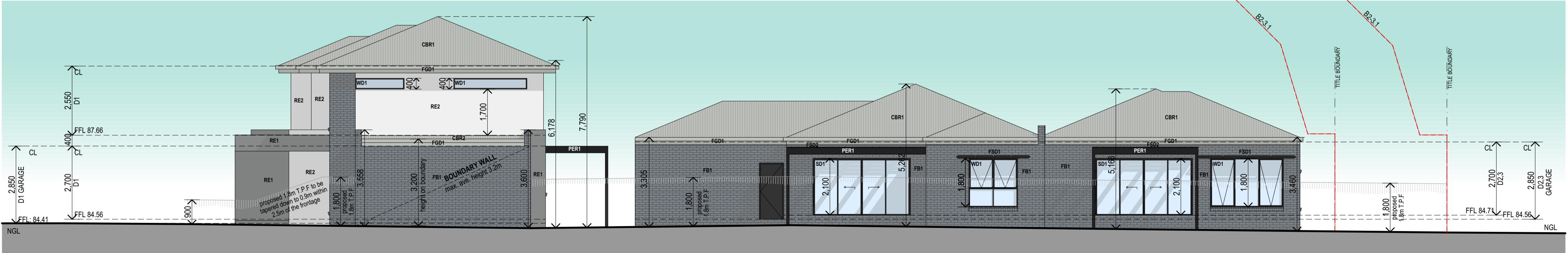
SOUTH WEST ELEVATION
SCALE 1:100



INTERNAL SOUTH EAST ELEVATION
SCALE 1:100

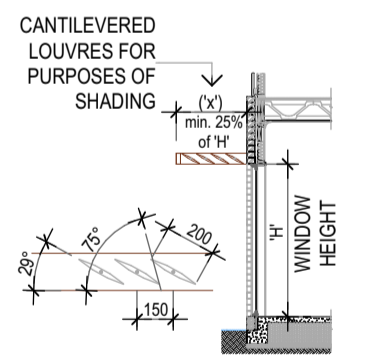


INTERNAL NORTH WEST ELEVATION
SCALE 1:100

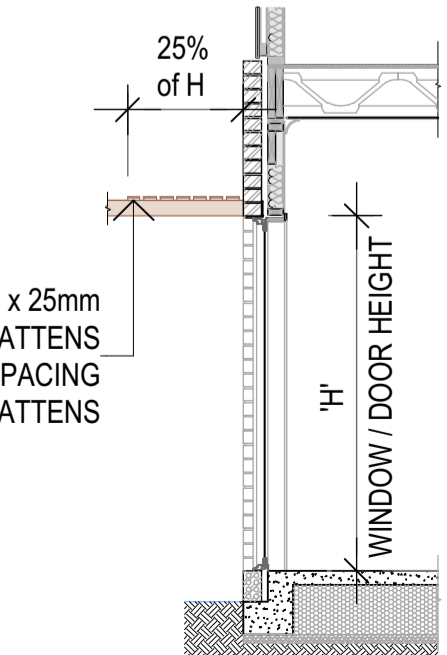


NORTH EAST ELEVATION
SCALE 1:100

-  FB1 face brick - Grey
-  RE1 render finish - Grey
-  RE2 render finish - White
-  CBR1 colorbond roof 22.5° - Grey
-  CBR2 colorbond roof 2° - Grey
-  FGD1 fascia and gutter colorbond - Light Grey
-  WD1 / SD1 glass window sliding door - powdercoat aluminium - Black
-  OBS fixed obscure glazing to 1700h above FFL
-  PER1 exposed rafters and post painted - Monument
-  FSD1 fixed cantilevered louvers - Dark Grey
-  FSD2 fixed shade battens - Dark Grey
-  GD1 flush panel lift door Monument
-  RLD1 roller door - Monument
-  Concrete driveway exposed aggregate - Grey



FIXED CANTILEVERED LOUVERS (TYP)
NOT TO SCALE



FIXED SHADE BATTENS (TYP)
NOT TO SCALE

PROJECT
UNIT DEVELOPMENT
3 AMBROSE COURT,
YARRAGON VIC 3823

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LEGEND

	CLOTHESLINE		SIR WATER BUFFALO TURF		EXCLUDED CANOPY COVER AREA (outside lot boundary or overlapping)
	BIN STORAGE		TIMBER GARDEN EDGING		B2-7.2 AREA OF DEEP SOIL
	6M STORAGE		TUSCAN TOPPINGS		PROPOSED NRZ ENCROACHMENT AREA
	RAIN WATER TANK		CONCRETE PAVERS		EXISTING TREES TO BE RETAINED
	ELECTROMETER METER BOX		SELECTIVE HARD COLOURED CONCRETE		RETAINED TREE TO BE PROTECTED
	LETTERBOX		0.8mH SENSOR BOLLARD LIGHT		EXISTING TREES TO BE REMOVED
	HOT WATER SERVICE		SENSOR LIGHT		NEW TREES
	AIR CONDITIONING / HEATING UNIT		NEW SHRUBS / GROUNDCOVERS		

NOTE: ALL TREES PLANTED AS PART OF THE LANDSCAPE WORKS MUST BE A MINIMUM HEIGHT OF 1.5 METRES AT THE TIME OF PLANTING.

PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT mm approx	MATURE WIDTH mm approx	POT SIZE mm	NUMBER REQUIRED
TREES						
Ln	Lagerstroemia 'Natchez'	Crepe Myrtle	6000	4000	40lt pot	04
Ti	Tristanopsis laurina	Kanooka Gum	8000	5000	40lt pot	03
Ai	Acacia implexa	Lightwood	8000	7000	40lt pot	02
Am	Acacia melanoxylon	Blackwood	14000	8000	40lt pot	01
SHRUBS / GROUNDCOVERS						
Aa	Acacia acinacea	Gold Dust Wattle	3000	2000	140mm	02
Cv	Callistemon 'Caption Cook'	Captain Cook Bottlebrush	2000	1500	140mm	05
Cr	Correa alba	White Correa	1200	1500	140mm	13
Cd	Correa 'Dusky Bells'	Native Fuchsia	1000	1000	140mm	05
Nd	Nandina domestica 'Moon Bay'	Sacred Bamboo	750	750	140mm	12
Lt	Lomandra longifolia 'Tanika'	Mat Rush	600	600	tube	48
Dj	Dianella revoluta 'Little Rev'	Flax Lily	400	400	tube	81
Db	Dianella tasmanica 'Blaze'	Flax Lily	500	500	tube	63
Ca	Carex appressa	Tall Sedge	800	500	tube	15
Bm	Brachycome multifida	Cut Leaf Daisy	200	400	tube	24
Mp	Myoporum parviflorum	Creeping Bobbialia	100	1000	tube	08

NOTE: NO ARTIFICIAL LAWN

NOTE: ALL SPECIES SELECTED MUST BE TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

VISIBILITY SPLAYS HAVE AT LEAST 50 PER CENT CLEAR OF VISUAL OBSTRUCTIONS, ANY STRUCTURES OR VEGETATION WITHIN THE SPLAYS MUST NOT BE MORE THAN 0.9M IN HEIGHT. THIS MUST BE IN ACCORDANCE WITH CLAUSE 52.06-9 - DESIGN STANDARDS FOR CAR PARKING

LANDSCAPE MAINTENANCE SPECIFICATIONS

MAINTENANCE STANDARDS & FREQUENCY

Landscape
In accordance with accepted horticultural practices and techniques to ensure plants are established in early growth stages and are healthy and good form and structure, so that specifications towards the following are met.

LAWN MAINTENANCE, PLANT MAINTENANCE, WEEDING, MULCHING, WATERING & LITTER

Lawn Maintenance
Lawns shall be healthy, vigorous and uniform in appearance.
Heights of the lawn shall not exceed 80mm and grass shall be cut no lower than 30mm in height. Edges of lawns shall be cut and kept tidy and mechanically or hand edged the lawn is cut. The lawn areas shall be even (level) and free of holes, protruding objects, broken glass or other dangerous objects and litter. Lawn areas shall be maintained to control the occurrence of Papuatum, Onion Weed, Capeweed, Bind, Thistle, Clover and Ryegrass weeds in accordance with Department of Primary Industry guidelines.
Lawn areas shall be used as an edge treatment of control in the grass area. All edges of trees and shrubs shall be mulched as an edge to control weed growth around trees (including exposed roots). Shrubs, plants, drip irrigation systems, signs, concrete pits and other infrastructure are to be maintained. All grass clippings and trimmings will be removed from site and composted or disposed off as per waste purposes.

Plant Maintenance
Plants shall be healthy, vigorous, free of pests and disease and dead, diseased, vandalised, damaged, unhealthy plants shall be removed and replaced on a monthly basis. Replacement plants shall be to species listed in the endorsed landscape plan, be healthy, free of disease and pests and vigorous.

Weeding
Paths, car park areas, garden beds and mulched areas shall be kept free of weeds and weed growth basis. Perennial weeds difficult to eradicate shall be sprayed with an appropriate herbicide control as per the Department of Primary Industry guidelines.

Mulching
Mulching shall encompass and maintain that can be composted, free from phytotoxins, pathogens, weed seeds and plant material that can regenerate and comply with horticultural industry standards. The mulch on garden beds shall be maintained to a depth of 100mm and such areas mulched at least once a year to maintain this depth of mulch. Mulch must be placed to a neat thickness to achieve a neat and tidy appearance.

Watering
Watering shall be automatic reticulation by a seasonal method of hose, plants etc. The method and quantity application (e.g. irrigation systems, handheld hoses, plant care, optimum soil levels based on soil type, mulch cover, seasonal variation of rainfall, and temperatures). Watering shall be applied to maintain continued healthy growth of plants. Plants shall not exhibit the effects of drought or the effects of wateringlog (soil saturation).

Litter
The site shall be regularly cleaned of litter and other debris and accumulated garbage/bins shall be empty daily appearance. Debris, dirt and aggregate shall be swept from roads, footpaths, decking and gutter on a weekly basis. Accumulated litter and debris shall be removed from pits and pipes to maintain adequate drainage of the stormwater system.

LANDSCAPE CONSTRUCTION SPECIFICATIONS

SUBGRADE PREPARATION
Site preparation to be carried out under suitable conditions and in accordance with standard horticultural practice. The use of machinery and tools that may damage soil structure is not acceptable. Garden bed and lawn sub-grade is to be cultivated to a depth of 150mm and shaped to achieve drainage falls prior to adding topsoil. If gypsum is required, this is to be distributed and cultivated into the sub-grade as per the manufacturer's instructions.
Weeds are to be removed prior to sub-grade preparation, top-soiling and planting.

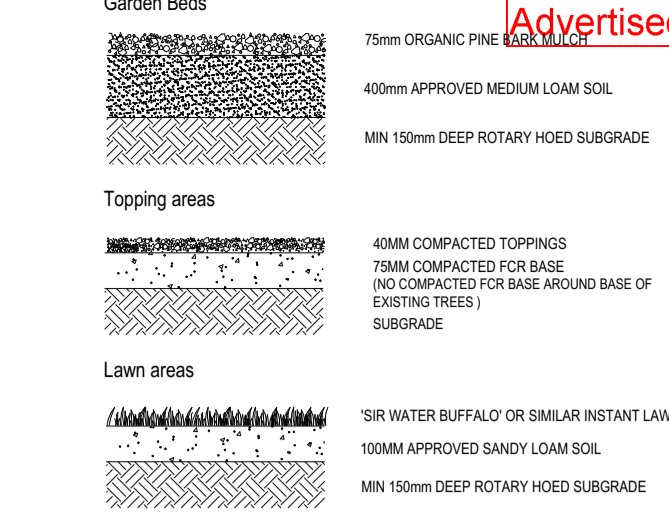
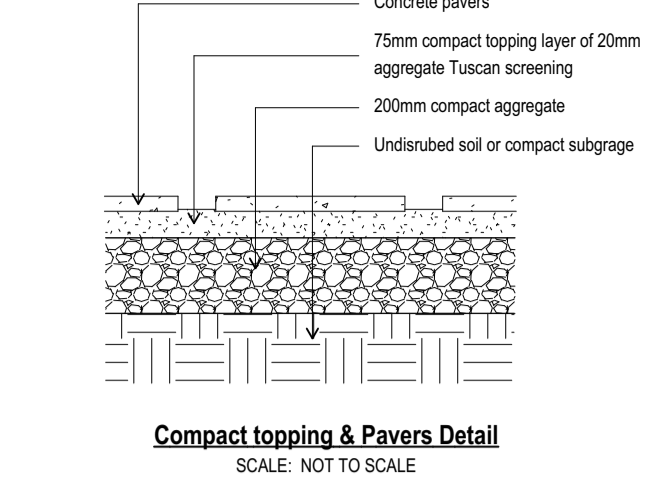
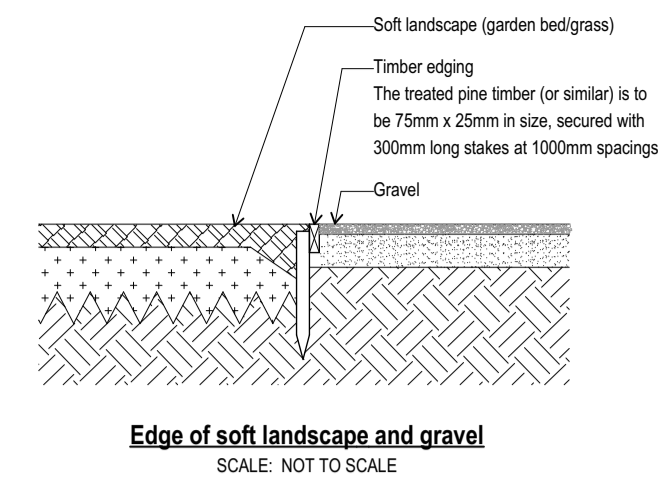
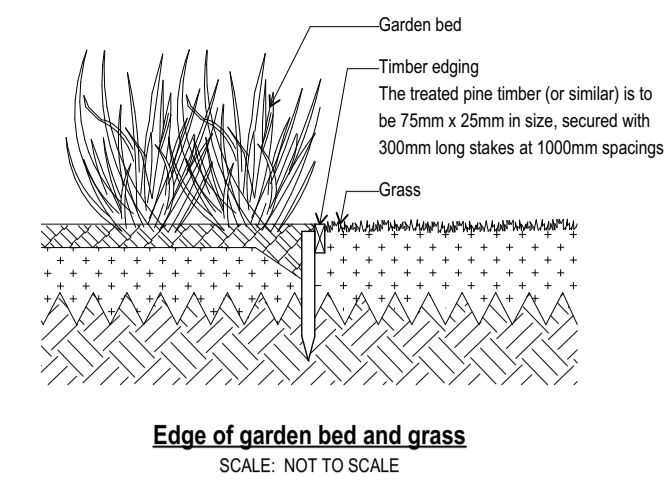
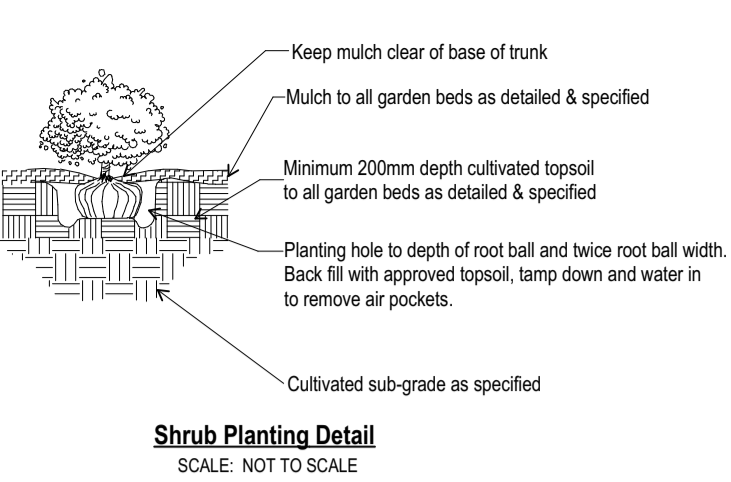
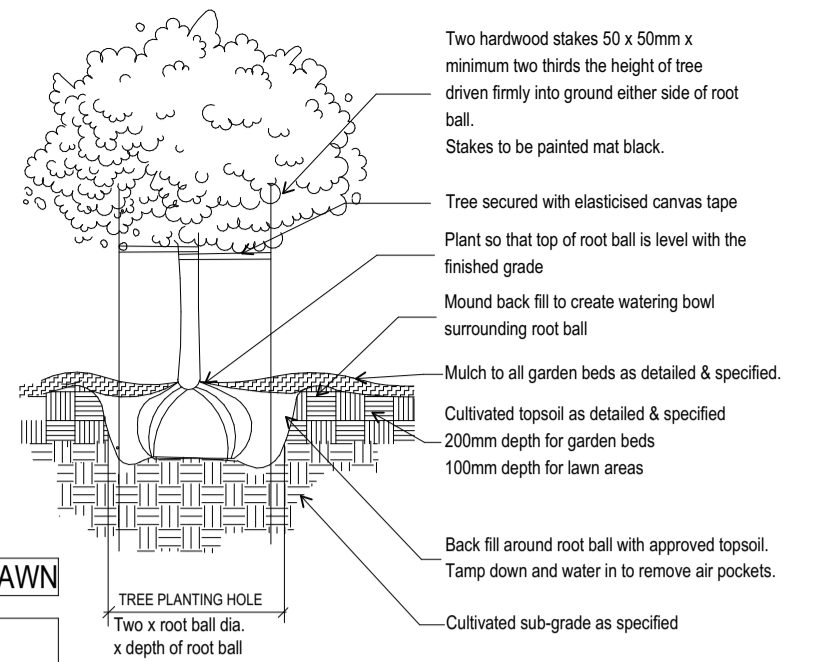
SOIL PREPARATION
Imported topsoil is to be supplied by an approved supplier to a depth of approximately 150-300mm (as required) for garden beds. Do not spread in muddy conditions. The topsoil is a light to medium friable loam capable of being compressed into a ball by hand when moist yet can be broken apart immediately after. Its pH will be 6.0-7.0 and free from perennial weeds and building rubble. The finished top level after settlement should be 75mm below the edging level to allow for mulch. Imported topsoil for lawn areas is to be supplied to a depth of approximately 100mm (as required).

TIMBER EDGING
Timber edging is to be installed to separate all lawn, planting areas and toppings / pebble areas. The treated pine timber (or similar) is to be 75mm x 25mm in size, secured with 300mm long stakes at 1000mm spacings.

PLANTS AND PLANTING
Trees and plants supplied are to be healthy and free from insects, diseases and weeds. The pot sizes indicated in the plant schedule are the minimum size to be supplied and installed.
When each planting area is prepared, if soil is dry, fill with water and allow to drain away. Plant roots are to be teased outwards if roots are matted in pot. Place plant in centre of hole and ensure that the top of rootball is flush with the surrounding soil surface and the trunk is vertical. Soil is to be backfilled firmly into the hole and thoroughly watered in.
Trees are to be staked with two hardwood stakes driven firmly into the ground but not through the rootball. Trees are to be secured to the stakes with strong but flexible ties that are tight enough to support the trees in windy conditions but loose enough to stimulate good tree growth and development. The tree ties must not injure bark or restrict tree growth for at least the first three years of tree growth.
A slow release fertiliser (e.g. Osmocote or similar) is to be applied to all garden beds as specified by the manufacturer and be kept away from the plant trunks and then watered immediately.
A layer of aged organic mulch to a minimum depth of 75mm is to be applied to all planting areas after planting is completed.

IRRIGATION
An in-ground automatic drip irrigation system is to be installed to water all planting areas.

DRAINAGE
Surface and sub-surface drainage is to be specified by a certified consulting engineer.

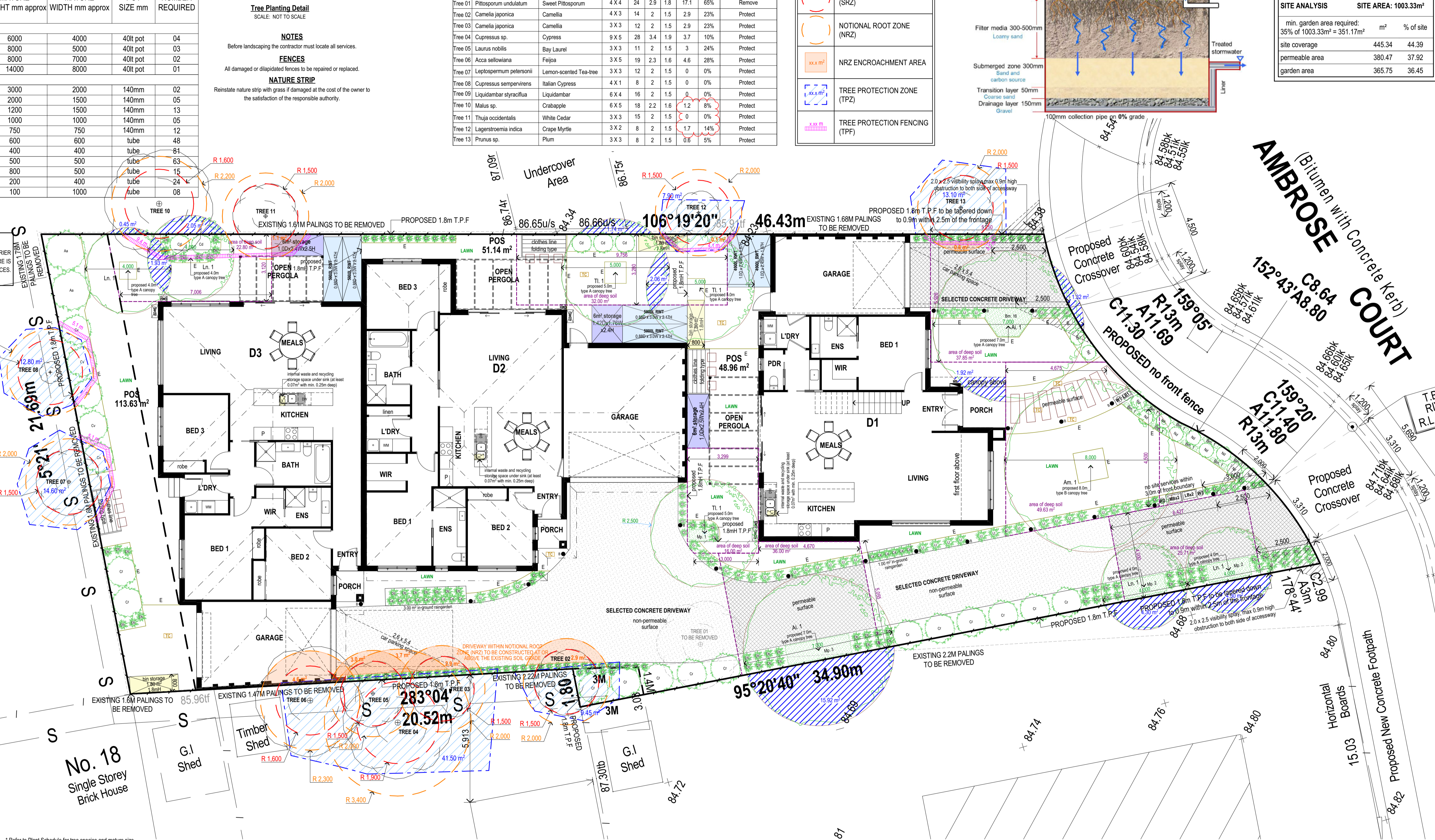


*** Refer to arborist report from gum&maple consulting dated 14/04/2026

TREE	SPECIES	COMMON NAME	HEIGHT & SPREAD (m)	NRZ (radius -m)	SRZ (radius -m)	ENCR SOM	ENCR %	RECOMMENDATION	
Tree 01	Pittosporum undulatum	Sweet Pittosporum	4 X 4	24	2.9	1.8	17.1	65%	Remove
Tree 02	Camellia japonica	Camellia	4 X 3	14	2	1.5	2.9	23%	Protect
Tree 03	Camellia japonica	Camellia	3 X 3	12	2	1.5	2.9	23%	Protect
Tree 04	Cupressus sp.	Cypress	9 X 5	28	3.4	1.9	3.7	10%	Protect
Tree 05	Laurus nobilis	Bay Laurel	3 X 3	11	2	1.5	3	24%	Protect
Tree 06	Acacia selowiana	Feijoa	3 X 5	19	2.3	1.6	4.6	28%	Protect
Tree 07	Leptospermum petersonii	Lemon-scented Tea-tree	3 X 3	12	2	1.5	0	0%	Protect
Tree 08	Cupressus sempervirens	Italian Cypress	4 X 1	8	2	1.5	0	0%	Protect
Tree 09	Liquidambar styraciflua	Liquidambar	6 X 4	16	2	1.5	0	0%	Protect
Tree 10	Malus sp.	Crabapple	6 X 5	18	2.2	1.6	1.2	8%	Protect
Tree 11	Thuja occidentalis	White Cedar	3 X 3	15	2	1.5	0	0%	Protect
Tree 12	Lagerstroemia indica	Crape Myrtle	3 X 2	8	2	1.5	1.7	14%	Protect
Tree 13	Prunus sp.	Plum	3 X 3	8	2	1.5	0.6	5%	Protect

LEGEND

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STORM RATING NOTES

DWELLING 1
THE RAINWATER FROM DWELLING 1 ROOF CATCHMENT AREA OF 133.31M² IS TO BE COLLECTED AND DISCHARGED VIA A FULLY SYSTEM INTO A 800L (2 x 400L) CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO ALL TOILETS FOR TOILET FLUSHING, LAUNDRY COLD WATER TAP / WASHING MACHINE AND IRRIGATION.

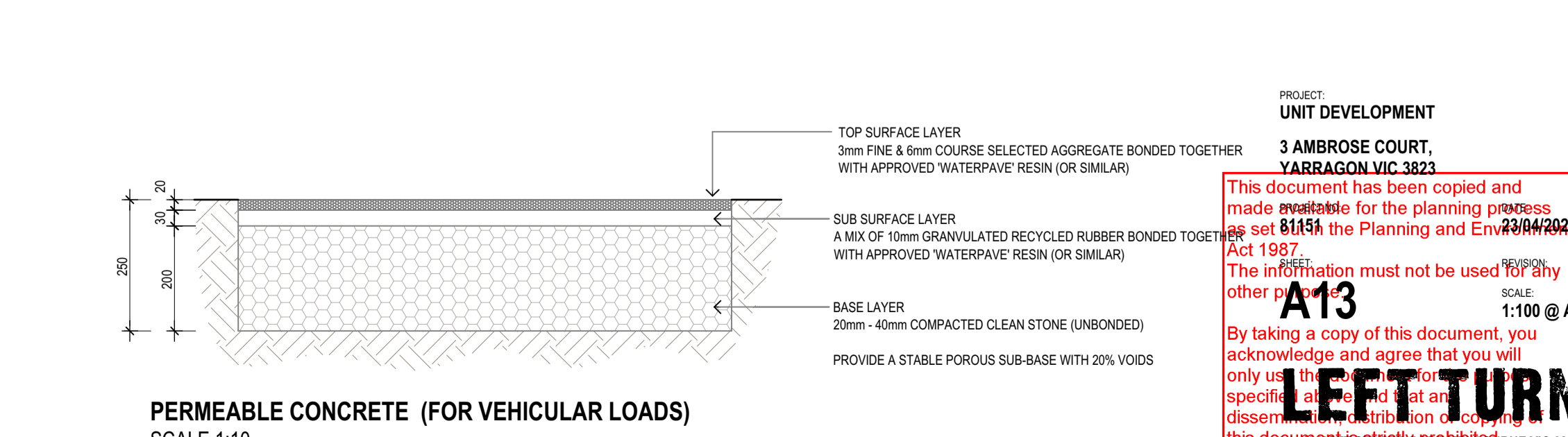
DWELLING 2
THE RAINWATER FROM DWELLING 2 ROOF CATCHMENT AREA OF 167.15M² IS TO BE COLLECTED AND DISCHARGED VIA A FULLY SYSTEM INTO A 1000L (2 x 500L) CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO ALL TOILETS FOR TOILET FLUSHING, LAUNDRY COLD WATER TAP / WASHING MACHINE.

DWELLING 3
THE RAINWATER FROM DWELLING 3 ROOF CATCHMENT AREA OF 154.28M² IS TO BE COLLECTED AND DISCHARGED VIA A FULLY SYSTEM INTO A 1000L (2 x 500L) CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO ALL TOILETS FOR TOILET FLUSHING, LAUNDRY COLD WATER TAP / WASHING MACHINE.

SHARED DRIVEWAY - RG1
THE RAINWATER FROM SHARED DRIVEWAY AREA OF 34.64M² IS TO BE COLLECTED & DISCHARGED VIA A GRAVITY FED SYSTEM INTO A 1.0M³ 100MM IN-GROUND RAINWATER TANK WHICH IS TO BE FULLY LINED WITH AN IMPERVIOUS LINER AND HAVE ITS OVERFLOW & AGGIE DRAIN CONNECTED TO THE LPD

SHARED DRIVEWAY - RG2
THE RAINWATER FROM SHARED DRIVEWAY AREA OF 84.07M² IS TO BE COLLECTED & DISCHARGED VIA A GRAVITY FED SYSTEM INTO A 3.0M³ 100MM IN-GROUND RAINWATER TANK WHICH IS TO BE FULLY LINED WITH AN IMPERVIOUS LINER AND HAVE ITS OVERFLOW & AGGIE DRAIN CONNECTED TO THE LPD

UNTREATED AREA
THE AREA OF CANOPY OF 1.75M² IS TO REMAIN UNTREATED



TP APPLICATION LANDSCAPE & TREE CANOPY PLAN

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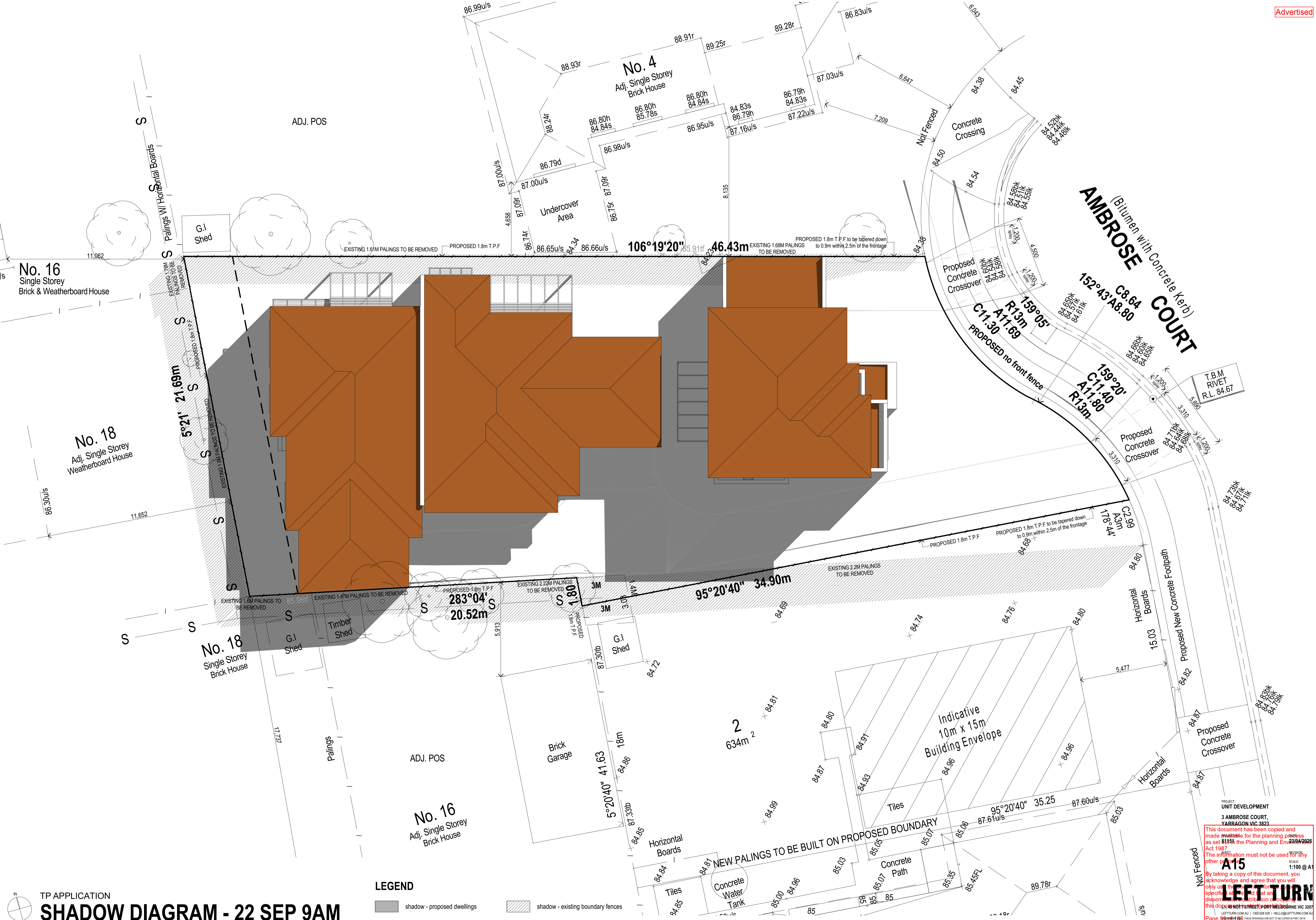
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LEFT TURN

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TP APPLICATION
SHADOW DIAGRAM - 22 SEP 9AM

LEGEND
 ■ shadow - proposed dwellings
 ▨ shadow - existing boundary fences

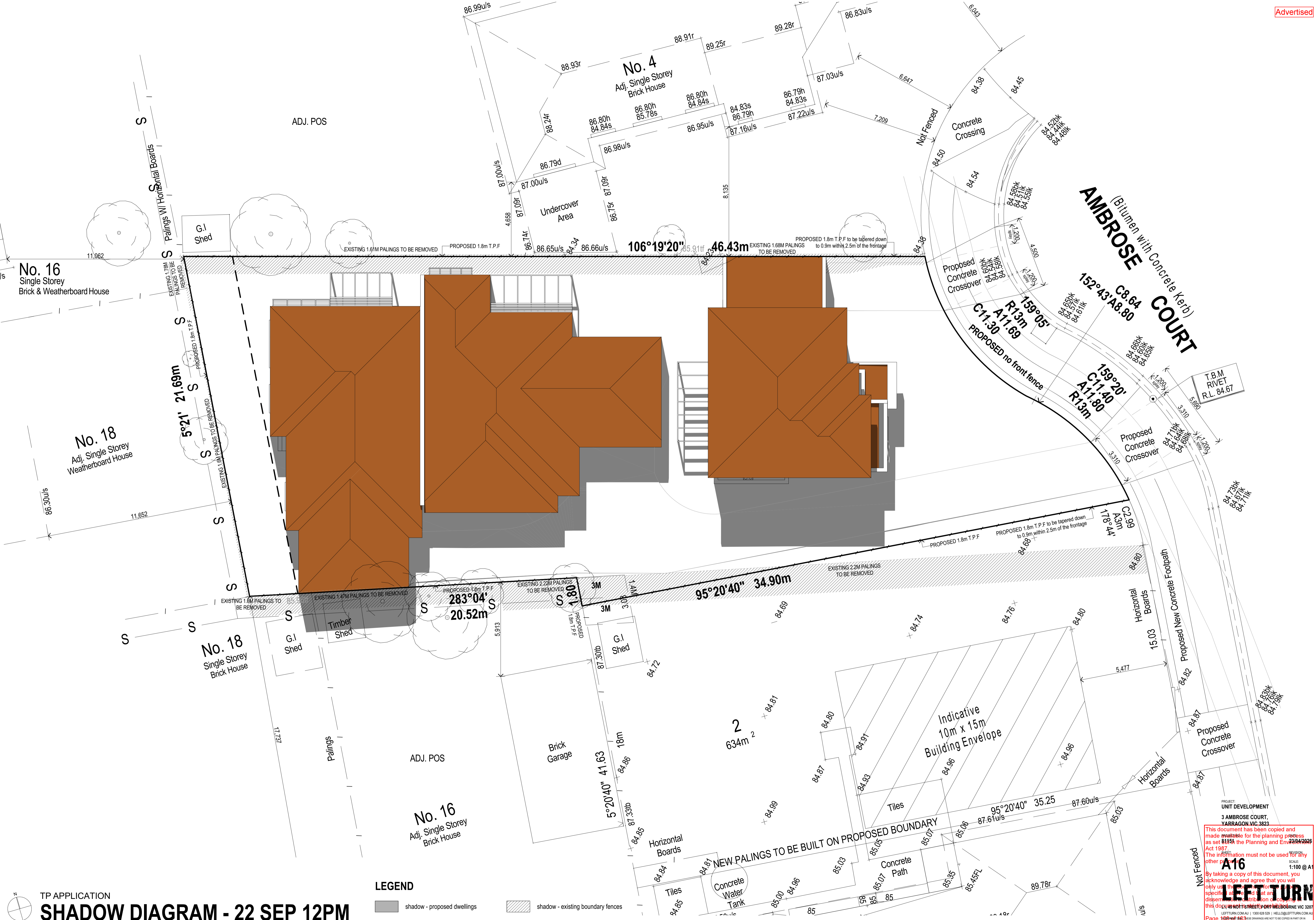
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TP APPLICATION
SHADOW DIAGRAM - 22 SEP 12PM

LEGEND
 ■ shadow - proposed dwellings
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TP APPLICATION
SHADOW DIAGRAM - 22 SEP 3PM

LEGEND
 ■ shadow - proposed dwellings
 ▨ shadow - existing boundary fences

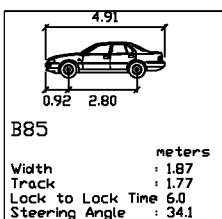
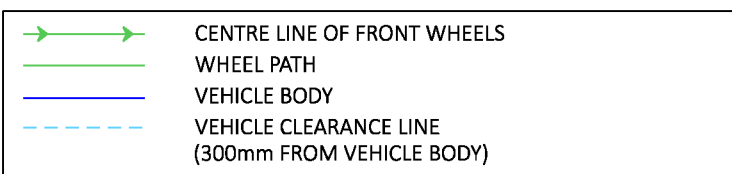
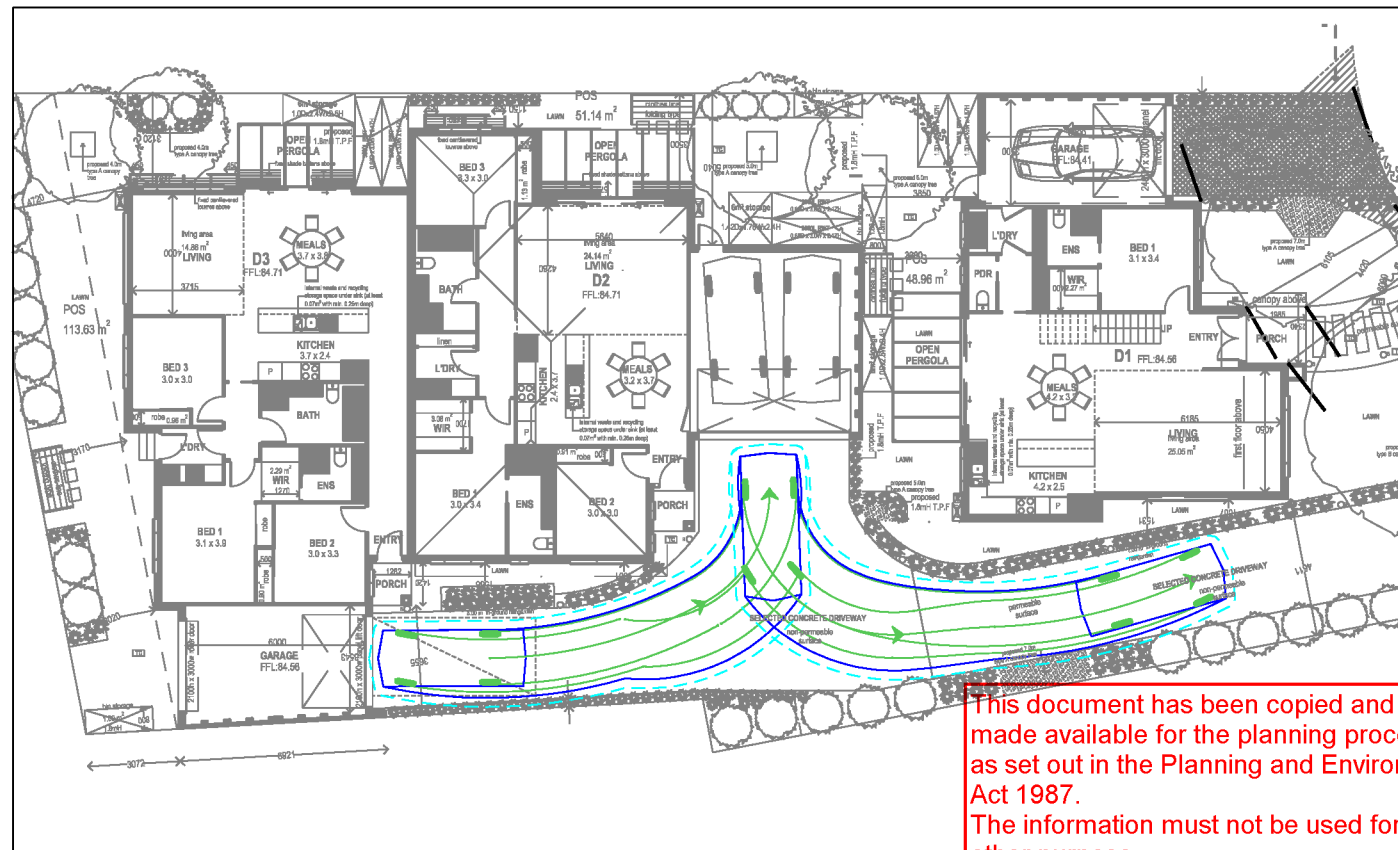
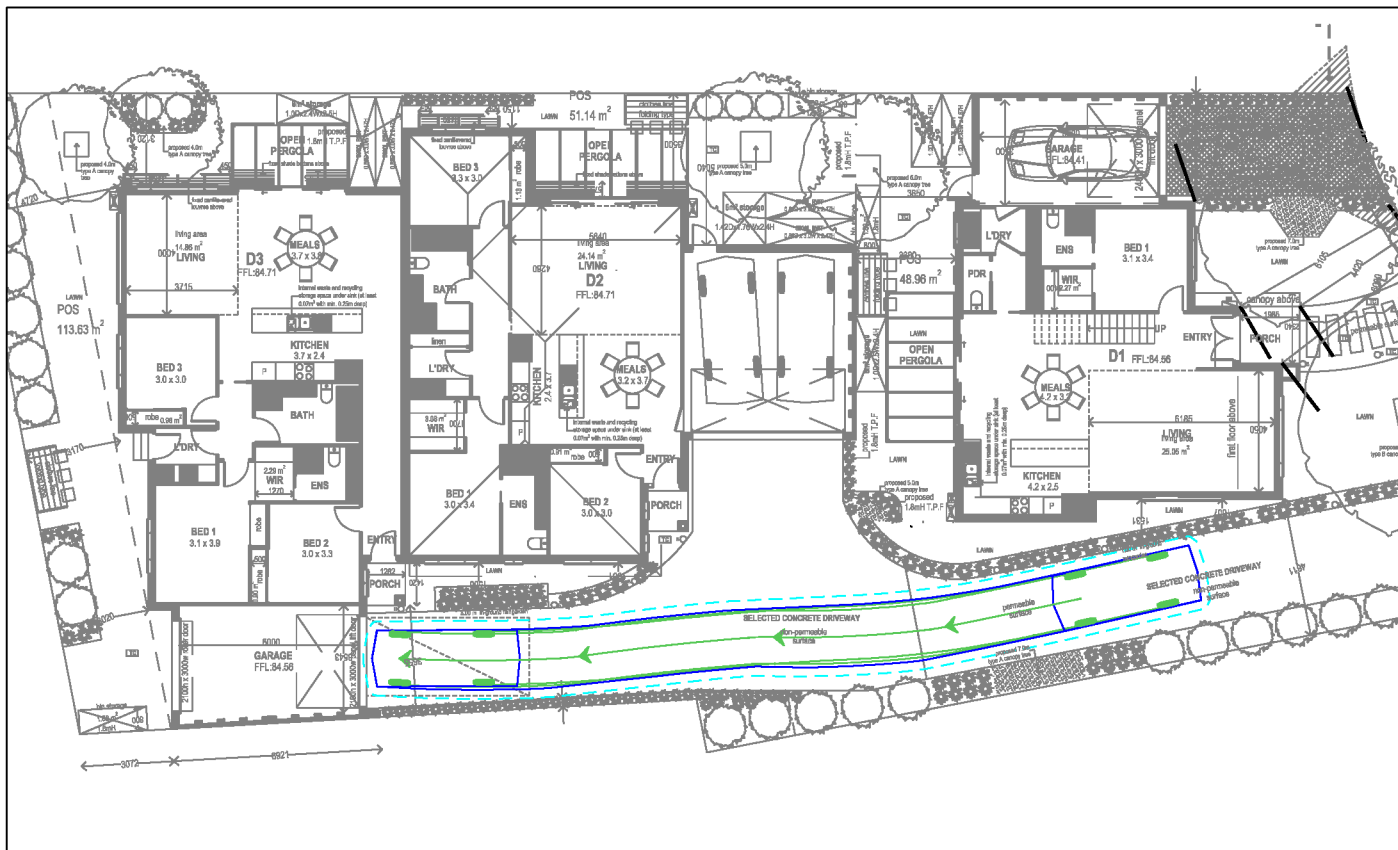
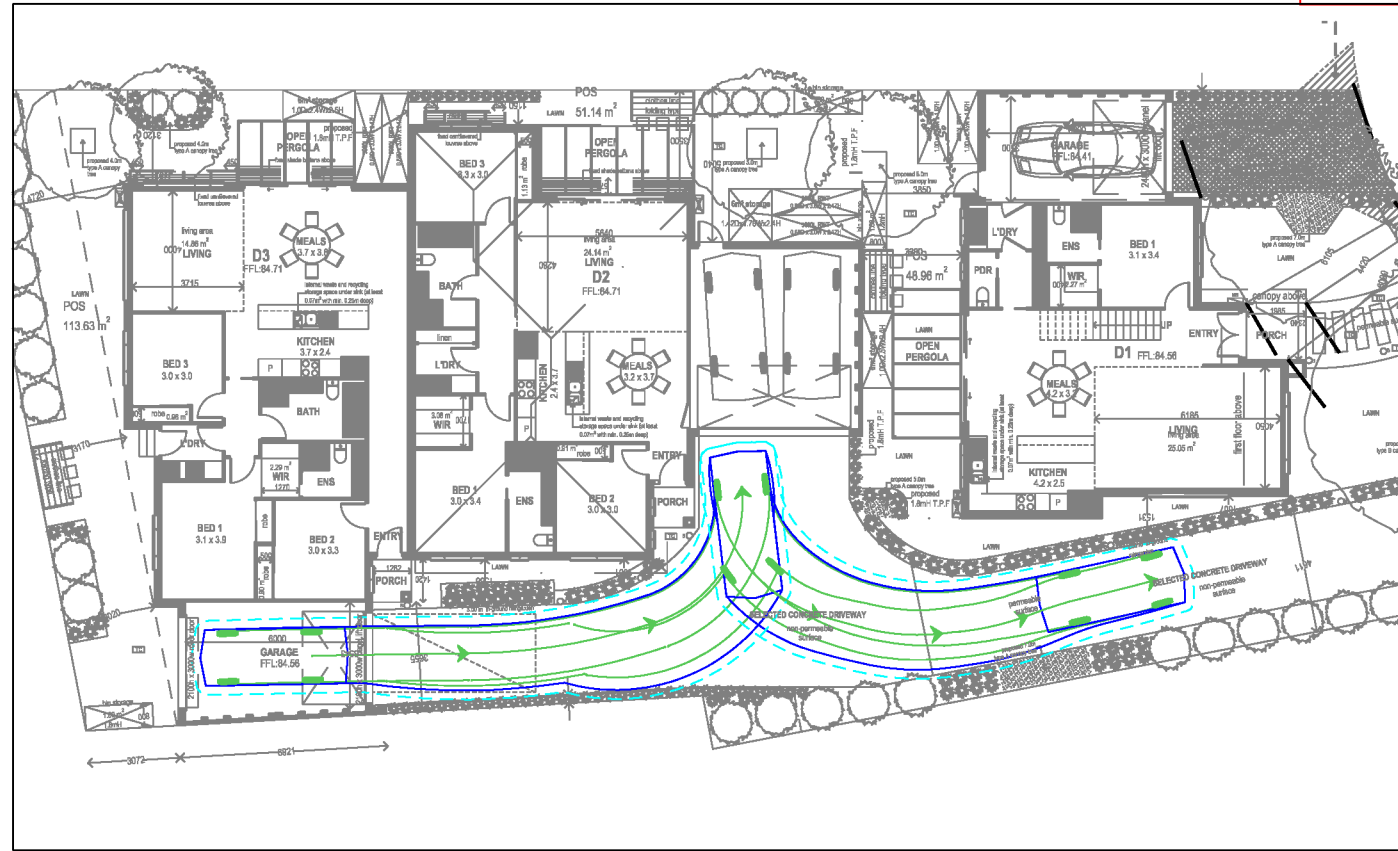
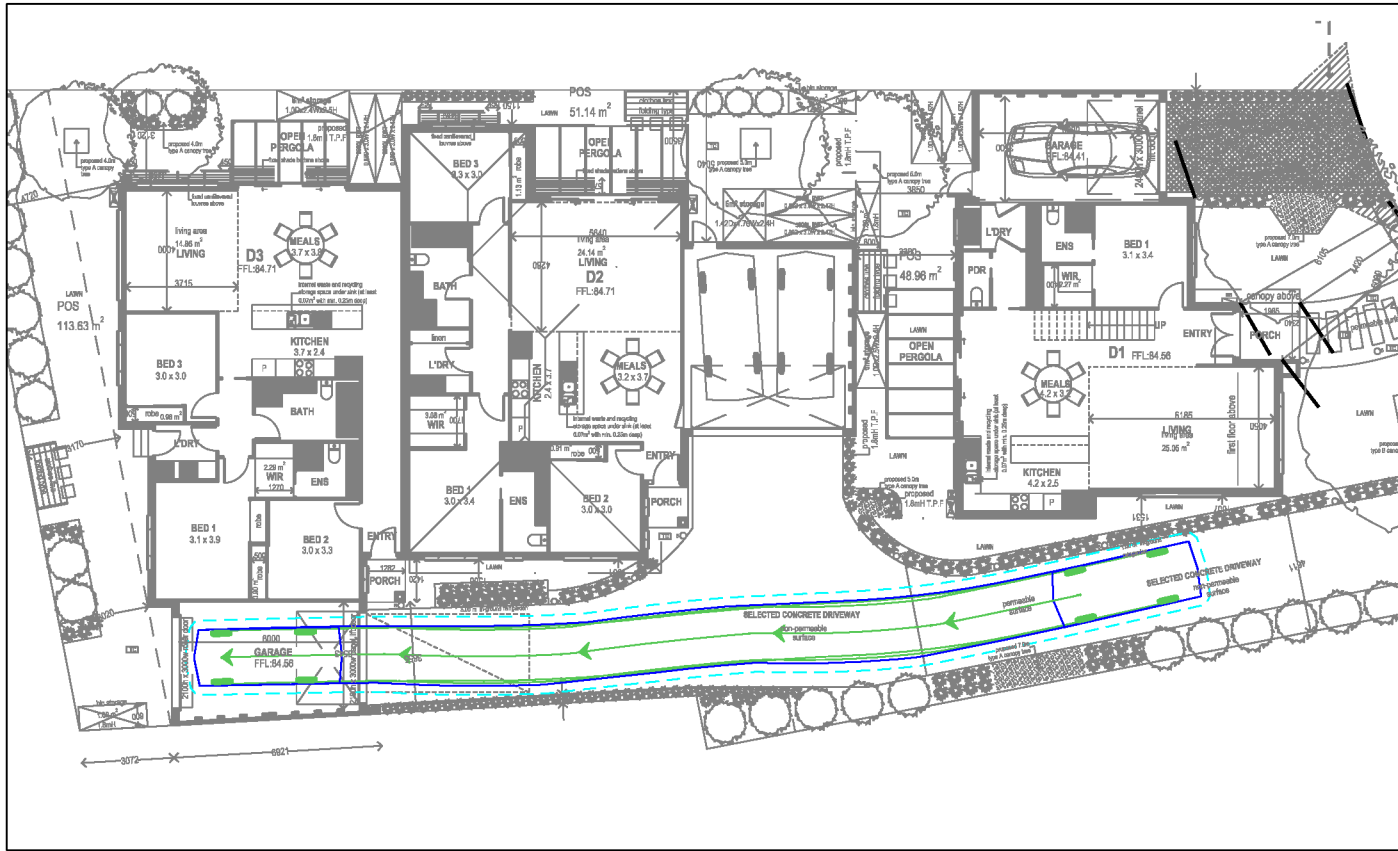
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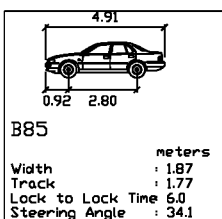
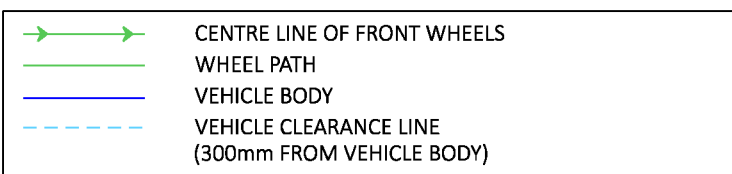
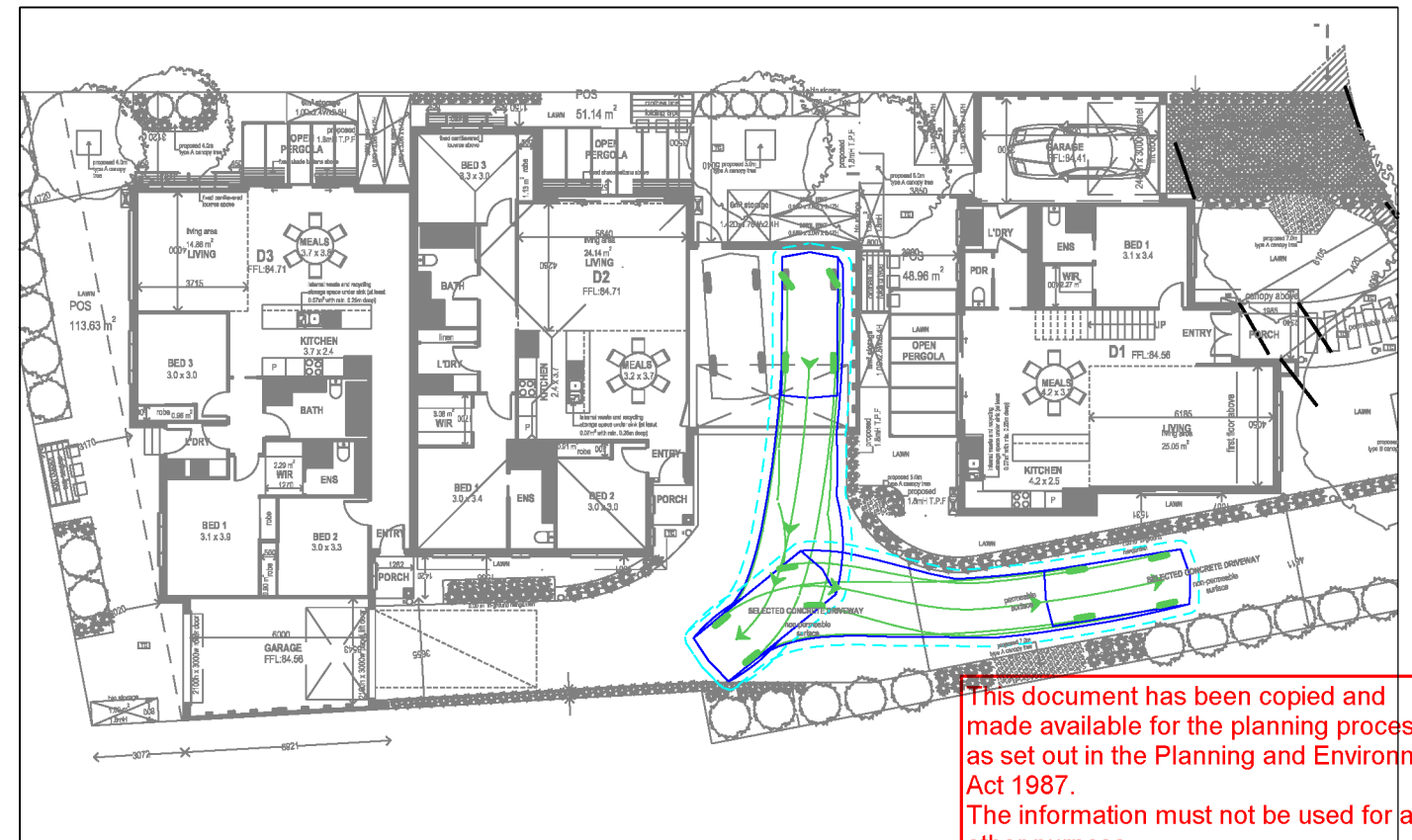
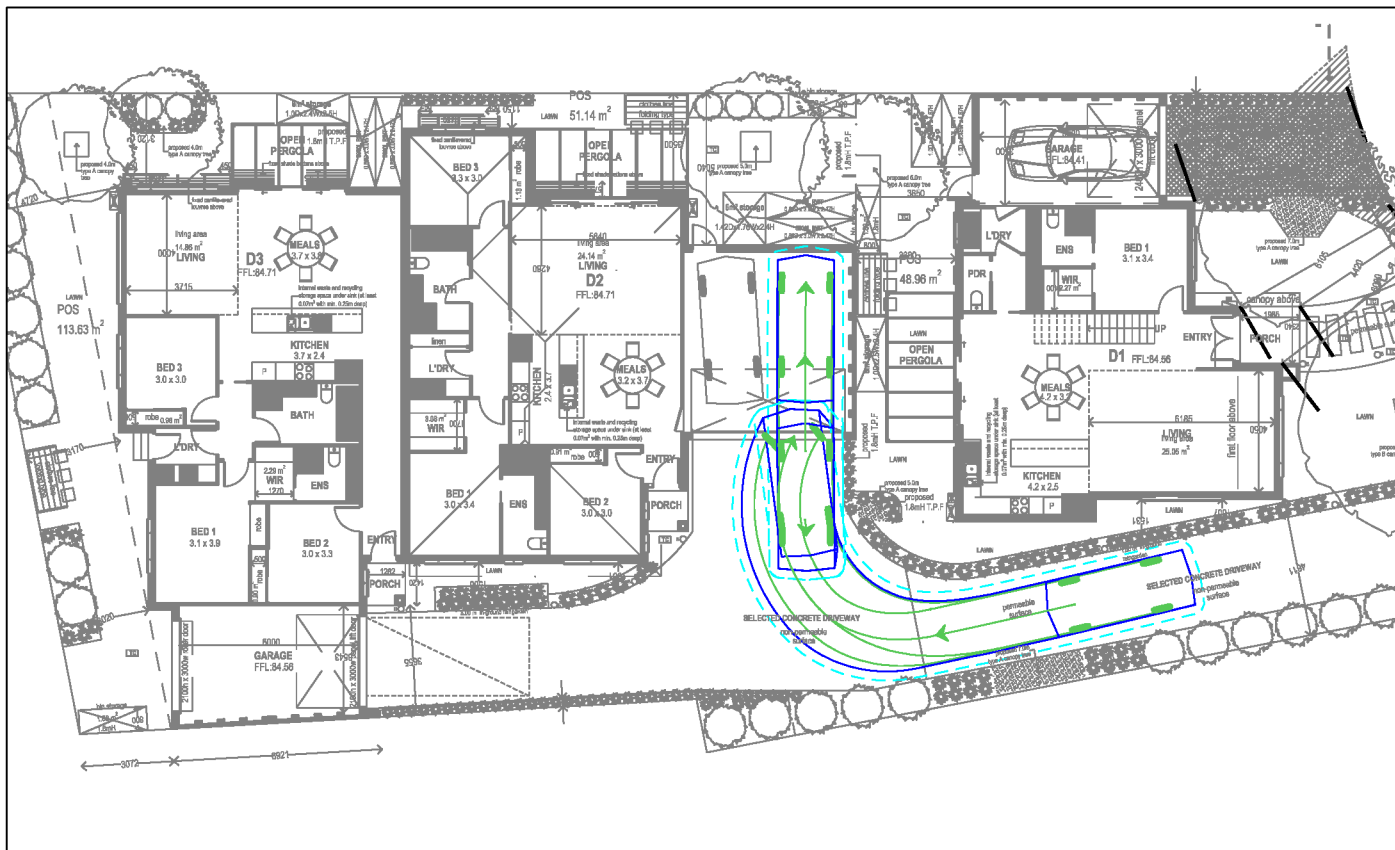
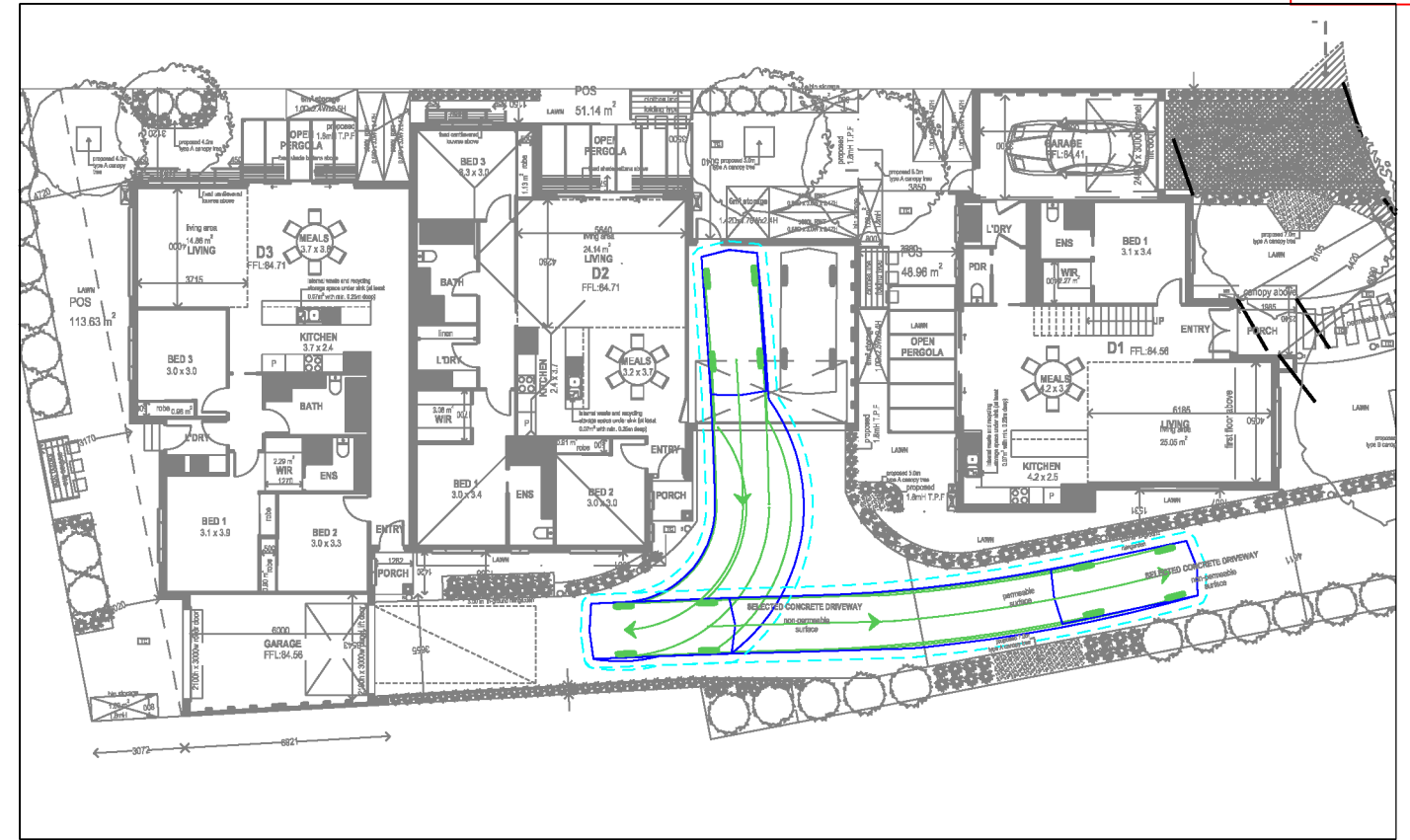
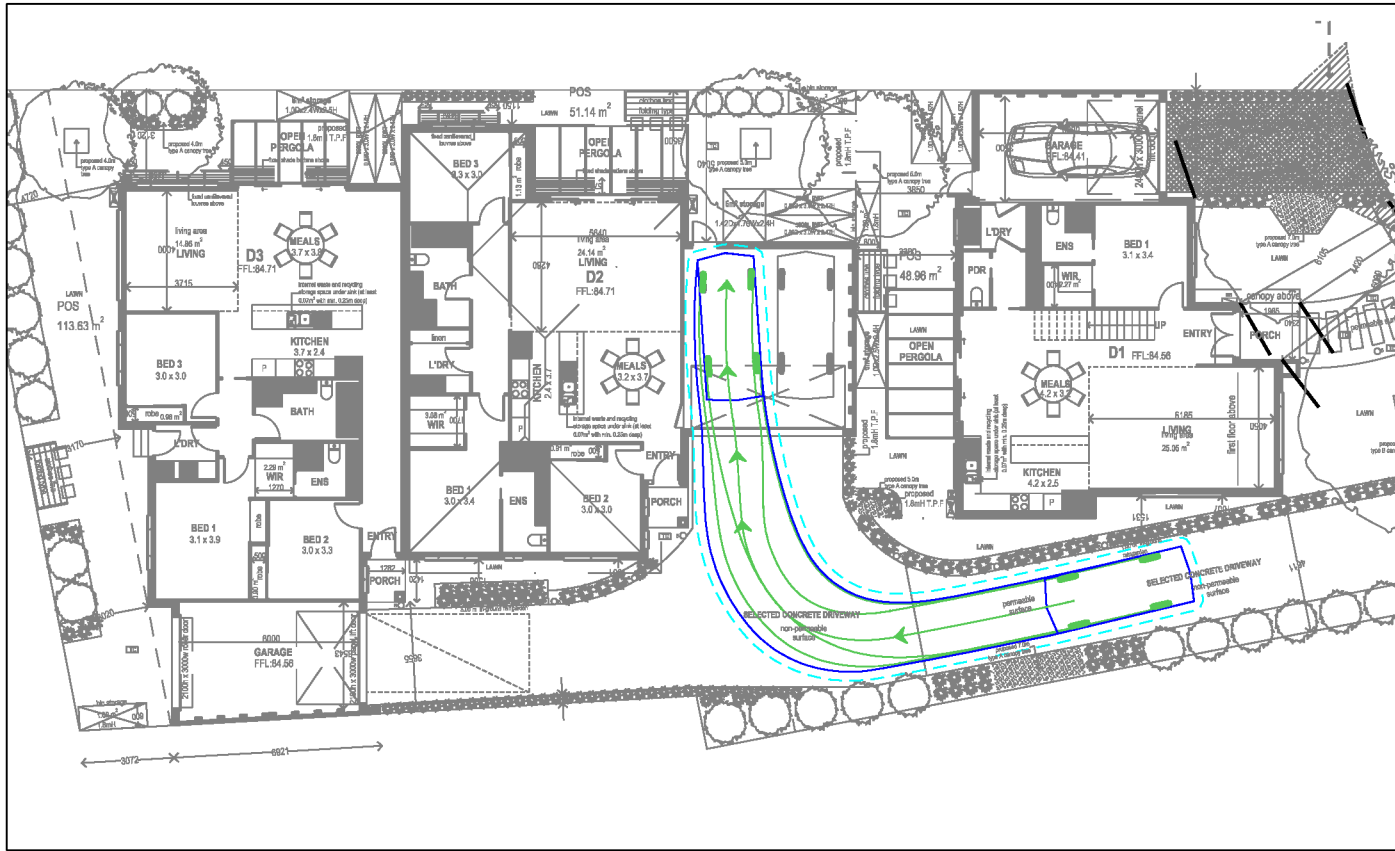
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B85 ENTRY/EXIT SWEEP PATH DIAGRAM

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