

# Application to Amend a Planning Permit S72

Advertised

This form is only for an application under Section 72 of the Planning and Environment Act 1987

## Section 1: PERMIT DETAILS

Planning Application No:	PLA0239
Address:	14 Tarago Crt, Warragul

## Section 2: PERMIT APPLICANT

Name:	
Business:	Immakulate Constructions PTY LTD
Postal Address:	
Telephone No. (H)	
Email Address:	

## Section 3: OWNER DETAILS (if different to the Applicant)

Name(s):	
Postal Address:	
Telephone No. (H)	
Email Address:	

## Section 4: LAND DETAILS (Please complete either A or B - this information can be found on the Certificate of Title)

### Option A:

Lot No:	29
Type of Plan: Please tick ✓	Lodge Plan <input type="checkbox"/> Title Plan <input type="checkbox"/> Plan of Subdivision <input checked="" type="checkbox"/>
Plan Number:	118828

### Option B:

Crown Allotment Number:	8
Section Number:	A
Parish/Township Name:	Drouin East

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**Section 5: AMENDMENT DETAILS** You must give full details of the amendment being applied for. Insufficient or unclear information will delay your application. Please indicate the type of changes proposed to the permit and list the details of the proposed changes.

This application seeks to amend:

What the permit allows <input type="checkbox"/>	Plans endorsed under the permit <input checked="" type="checkbox"/>
---	---

Current conditions of the permit

Other documents endorsed under the permit

Advertised

Does the amendment proposal breach, in anyway, a registered covenant, Section 173 agreement or restriction of Title?

Yes  No  Not Applicable (no such covenant, section 173 agreement or restriction applies)

If yes, you should contact Council for advice as to how to proceed with the application.

Please provide details of the amendment: Provide plans clearly identifying all proposed changes to the endorsed plans, together with; any information required by the planning scheme, requested by Council or outlined in a Council checklist; and if required, include a description of the likely effect of the proposal.

Changes to heritage dwelling as plans provided.

Changes to exterior colours and materials of five townhouses as per plans.

**Section 6: DEVELOPMENT COST**

State the estimated total cost of the proposed development, including amendment.

Unchanged from initial application

Or

Additional costs proposed through this amendment \$ 200,000

Does the amendment proposal introduce any additional Permit Triggers? (eg: creation of easement, parking reduction)  
If yes, an additional application fee may be required.

Yes  No

**Section 7: EXISTING CONDITIONS** Provide a plan of the existing conditions if the conditions have changed since the time of the original permit application. Photos are also helpful.

Have the conditions of the land changed since the time of the original permit application?

Yes  No

If yes, please provide details of the existing conditions:

See changes as per plans.

**Section 8: DECLARATION** This form must be signed. Complete box A or B

A. I declare that I am the Applicant and Owner of this land and that all information given is true and correct.

Owner/ Applicant signature:

Date:

28/9/23

B. I/We the Applicant declare that I/We have notified the owner about this application and that all information given is true and correct.

Applicant Signature:

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**CHECK LIST** Please ensure you have included the following items with your application form. Failure to provide all the information

above may result in a delay in the processing of the application.

Advertised

- A fully completed and **signed** copy of this form.
- Most applications require a fee to be paid. *Please make payment at time of lodgement if submitting at Councils Customer Service Centre or submitting through our on-line portal. If emailing your application, a payment link will be sent to your nominated email once registered on the system.*  
**Contact Council to determine the appropriate fee.**
- All necessary supporting information and documents - Including Endorsed Plans if applicable
- Full and current copy of title (no older than 60 days) for each individual parcel of land forming the subject site.

**PLEASE FORWARD THIS APPLICATION TO**

<b>E-mail:</b>	<a href="mailto:planning@bawbawshire.vic.gov.au">planning@bawbawshire.vic.gov.au</a>	<b>Mall:</b>	Planning Department, Baw Baw Shire Council PO Box 304 Warragul VIC 3820
<b>Phone:</b>	5624 2411		
<b>In Person:</b>	Customer Service Centre: 33 Young Street Drouin		

The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application.

These third parties generally include, but are not limited to:

- Transport Infrastructure Agencies such as VicRoads and VLine
- Energy/Utilities Providers
- Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

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If you have any concerns or require access to the information held by Council, please contact us on 5624 2411.

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# Application to Amend Advertised a Planning Application S50/S57A

## Section 1: PERMIT DETAILS

Planning Application No:	AMD0064/23
Address:	14 Tarago Court Warragul

## Section 2: PERMIT APPLICANT

Name:	
Business:	Buildingdesigned Pty Ltd
Postal Address:	
Telephone No. (H)	
Email Address:	

## Section 3: OWNER DETAILS (If different to the Applicant)

Name(s):	
Postal Address:	
Telephone No. (H)	
Email Address:	

## Section 4: AMENDMENT CATEGORY Please tick ✓

Section 50 – Amendment to the application at request of the applicant <b>before</b> notice	<input checked="" type="checkbox"/>
Section 57A – Amendment to the application <b>after</b> notice of application is given (please note, this will incur a fee)	<input type="checkbox"/>

**AMENDMENT DETAILS** List the changes being applied for and highlight changes on corresponding plans if applicable. A copy of the plans must be submitted with this application. If you need more space, please attach these details separately.

Heritage Dwelling existing front door to be relocated, all other heritage details to remain unchanged	
5 Units change of materials, colours and roof type over garages	

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Yes  No

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## Section 5: DEVELOPMENT COST

State the estimated total cost of the proposed development, including amendment.	<input checked="" type="checkbox"/>	Unchanged from initial application
	<input type="checkbox"/>	Or total cost \$
Does the amendment proposal introduce any additional Permit Triggers? (eg. creation of easement, parking reduction) If yes, an additional application fee may be required.	<input type="checkbox"/>	Yes <input checked="" type="checkbox"/> No

**Section 6: DECLARATION** This form must be signed. Complete box A or B

A. I declare that I am the Applicant and Owner of this land and that all information given is true and correct.	Owner/ Applicant signature:	Date: <b>06/06/2024</b>
B. I/We the Applicant declare that I/We have notified the owner about this application and that all information given is true and correct.	Applicant Signature:	Date: <b>12/06/2024</b>

**Advertised**

**PLEASE FORWARD THIS APPLICATION TO**

E-mail: <a href="mailto:planning@bawbawshire.vic.gov.au">planning@bawbawshire.vic.gov.au</a>	Mail: Planning Department, Baw Baw Shire Council PO Box 304 Warragul VIC 3820
Phone: 5624 2411	
In Person: Customer Service Centre: 33 Young Street Drouin	

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 1

VOLUME 09226 FOLIO 224

Security no : 124113202832W  
Produced 06/03/2024 02:29 PM

**LAND DESCRIPTION**

Lot 29 on Plan of Subdivision 118828.  
PARENT TITLE Volume 09137 Folio 278  
Created by instrument LP118828 12/09/1977

**REGISTERED PROPRIETOR**

Estate Fee Simple

**ENCUMBRANCES, CAVEATS AND NOTICES**

- -

**DIAGRAM LOCATION**

SEE LP118828 FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 14 TARAGO COURT WARRAGUL VIC 3820

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 15940N COMMONWEALTH BANK OF AUSTRALIA  
Effective from 02/06/2022

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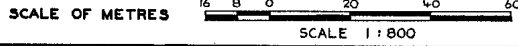
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PLAN OF SUBDIVISION OF  
 PART OF CROWN ALLOTMENTS 8 & 10 B  
 SECTION A  
 PARISH OF DROUIN EAST  
 COUNTY OF BULN BULN



**APPROPRIATIONS**

BLUE — DRAINAGE.  
 PURPLE — DRAINAGE AND SEWERAGE.  
 PURPLE HATCHED — SEWERAGE.  
 BROWN — WAY AND DRAINAGE

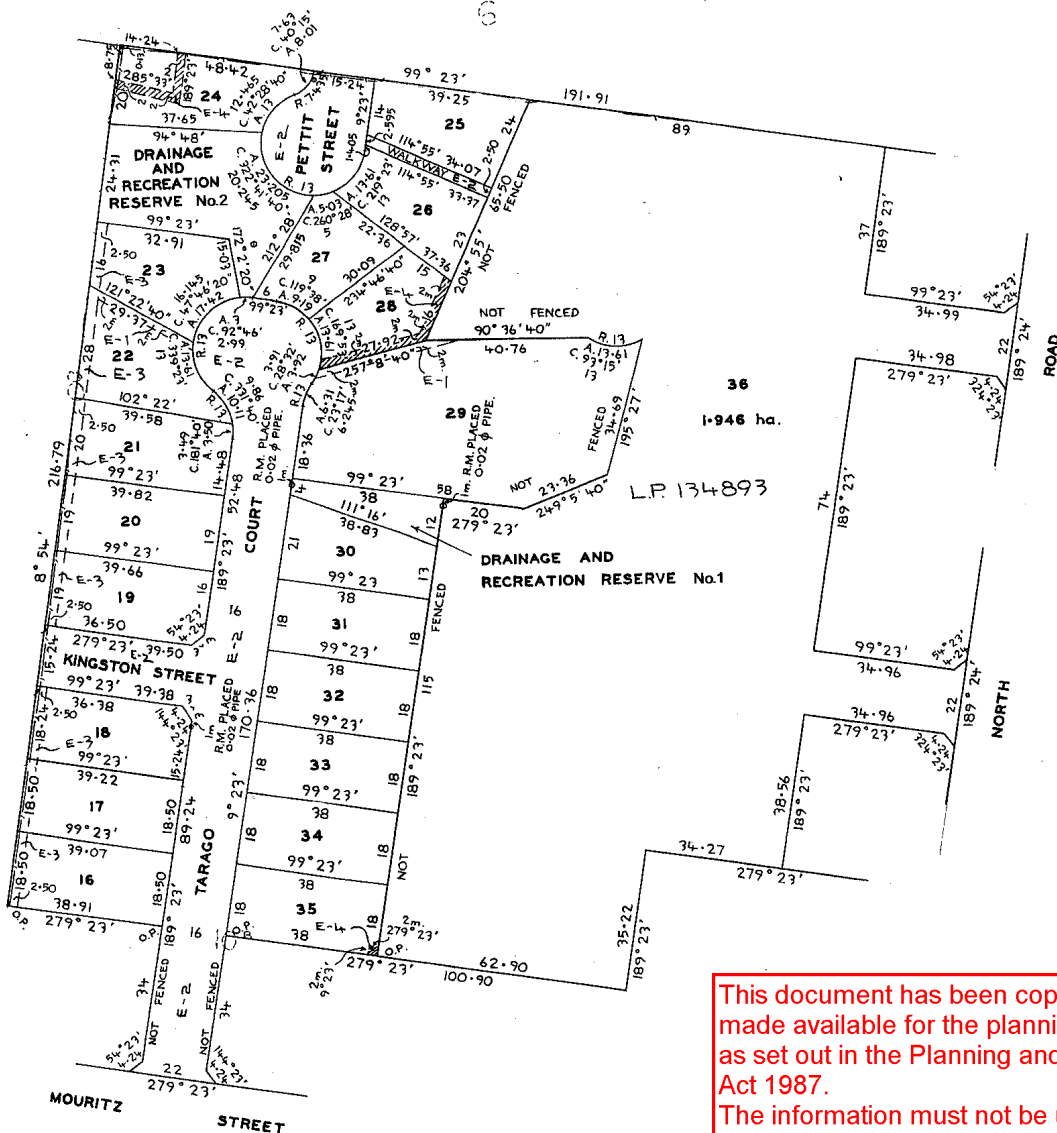
**ENCUMBRANCES & OTHER NOTATIONS**

THE BALANCE OF LOT 36 IS NOT THE SUBJECT OF THIS SURVEY.

V. 9137 F.278

**COLOUR CONVERSION**

BLUE = E-1  
 BROWN = E-2  
 PURPLE = E-3  
 PURPLE HATCHED = E-4



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# 14 Tarago Court, Warragul Redevelopment Heritage Impact Statement

Client: Architectural Home Designs

March 2024



Ecology and Heritage Partners Pty Ltd

Author

[Redacted]

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## ACKNOWLEDGEMENTS

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We thank the following organisations for their contribution to the project:

- Architectural Home Designs for project information.
- Baw Baw Shire Council for heritage information

### Cover Photo:

(Photo by Ecology and Heritage Partners Pty Ltd)

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## DOCUMENT CONTROL

<b>Activity</b>	Heritage Impact Statement
<b>Address</b>	14 Tarago Court, Warragul, Victoria
<b>Project number</b>	12148
<b>Project manager</b>	
<b>Report author(s)</b>	
<b>Report reviewer</b>	
<b>Mapping</b>	
<b>File name</b>	17749_EHP_HIS_14_Tarago_Court_Amended_ON_06.03.2024
<b>Client</b>	Architectural Home Designs
<b>Council</b>	Baw Baw Shire

Report versions	Comments	Comments updated by	Date submitted
Draft v1	Draft for internal QA review	ON	05/04/2019
Draft v2	Draft to client for comment	GH	05/04/2019
Final v1	Final Report	ON	23/01/2024
Final	Final report amended	ON	06/03/2024

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## ABBREVIATIONS

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Acronym	Description
Act, the	<i>Heritage Act 2017</i>
CHL	Commonwealth Heritage List
DoEE	Department of the Environment and Energy (Commonwealth)
EPBC Act	<i>Environment Protection and Biodiversity Conservation Act 1999</i>
HIS	Heritage Impact Statement
HO	Heritage Overlay
HV	Heritage Victoria
NES	National Environmental Significance
NHL	National Heritage List
NTR	National Trust Register (Victoria)
PMST	Protected Matters Search Tool
RNE	Register of the National Estate
SLV	State Library of Victoria
VHI	Victorian Heritage Inventory
VHR	Victorian Heritage Register

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# 1 INTRODUCTION

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This Heritage Impact Statement (HIS) has been prepared for Architectural Home Designs to accompany a permit application to Baw Baw Shire for the redevelopment (including demolition) of 14 Tarago Court, Warragul, Victoria (Map 1). An earlier version was prepared in 2019 and this 2024 supersedes that version. The amendment was required due to changed circumstances in regard to impacts and at the request of council. The aim of this report is to identify the cultural heritage values attributed to HO143 'Weatherboard Residence' and determine the heritage impact and regulatory implications of a proposal to develop five dwellings on this parcel of land, as illustrated in the amended plans prepared by 'Architectural Home Design – Building Plans and Drafting Services', dated 02.10.2023 and Building designed dated 4/03/2024.

## 1.1 Background

Ecology and Heritage Partners Pty Ltd were commissioned by Architectural Home Designs to provide advice on heritage issues associated with a proposal to subdivide and redevelop 14 Tarago Court, Warragul in Victoria. This advice was sought in response to a request for further information by Baw Baw Shire Council in relation to a planning application (PLA0239/18) for 'Demolition of outbuildings, and development of five single storey dwellings, carport for the existing dwelling and associated works. In response to preliminary advice, Architectural Home designs amended the plans. The revised proposal is for five new dwellings, along with the demolition of outbuildings and construction of a carport on the north side of the heritage dwelling. Ecology and Heritage Partners were engaged to prepare this Heritage Impact Statement in support of this amended proposal.

The key project components with regard to heritage considerations include the following:

- Demolition of outbuildings;
- Construction of 5 new buildings; and
- Construction of a new carport adjacent to the existing heritage dwelling.

The land encompassing 14 Tarago Court is included in the Schedule to the Heritage Overlay of the Baw Baw Planning Scheme (HO143 "Weatherboard Residence). Accordingly, in considering the potential heritage impacts of the proposed redevelopment, reference has been made to the relevant heritage policies and provisions within the Baw Baw Planning Scheme, including:

- *Clause 15.03 – 1S –Heritage conservation;*
- *Clause 21.09 –Heritage; and*
- *Clause 43.01 – Heritage Overlay.*

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## 1.2 Site Inspection

A site inspection of 14 Tarago Court was undertaken on 25 October by [redacted], Director and Principal Heritage Advisor at Ecology and Heritage Partners. The objective of this physical analysis was to ascertain the current condition of the constituent elements (including weatherboard residence, outbuildings, built form context and landscaping) that potentially contribute to the cultural heritage significance of the site - and the degree to which these elements were intact to their original form.

## 1.3 Authors

This report was prepped by [redacted].

[redacted] is the Director and Principal Heritage Advisor at Ecology and Heritage Partners. She has Honours qualifications in Australian Studies and Archaeology. She has worked in State Government and the private consulting sector in Australia for over 25 years. From 2010 to 2016 she was appointed to the Victorian Heritage Council. She is experienced in historical research, assessing built heritage places, assessing heritage landscapes, recording and excavating archaeological sites and has contributed to council heritage assessments for individual places and precincts on the Heritage Overlay. She has appeared before VCAT, Planning Panels and the Heritage Council as an Expert Witness for historical heritage.

[redacted] has been working in the cultural heritage field for over 13 years. She has worked in both the public and private sectors to gain a breadth of knowledge and experience in cultural heritage processes and practices throughout Australia.

[redacted] completed a Bachelor of Arts at Monash University in 2001 with majors in both history and archaeology. She went on to complete a Masters Degree in Cultural Heritage Management and Conservation in 2006, and most recently consolidated her heritage planning knowledge with a Graduate Diploma in Urban Planning and Community Development at La Trobe University in 2015.

She has contributed to a wide variety of projects including heritage studies, significance assessments, heritage impact analyses, policy formation and conservation management plans. This has included working closely with the State Government and local Councils, property owners, managers and developers to provide expert advice on heritage issues and planning in relation to new works, alterations or additions to heritage listed buildings.

[redacted] has extensive experience with providing heritage advice on appropriate interventions in significant heritage contexts with regard to design, materials and detailing of new built form. She has a detailed knowledge of heritage planning issues and is well-accustomed to engaging with and preparing heritage impact advice for submission to municipal councils and Heritage Victoria.

## 1.4 Reference Material

The following documentation has been referred to in the preparation of this HIS:

- Baw Baw – Rural City of Warragul Heritage Study (David Bick and Sally Wilde 1991)
- City of Yarra Heritage Review: Landscape Citations, John Patrick and Allom Lovell and Associates (1998)
- Victorian Heritage Database: <https://vhd.heritagecouncil.vic.gov.au/>

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## 2 DESCRIPTION

The subject site is a large and irregularly shaped allotment located on the east side of Tarago Court and extends through to the south west end of Earl Court, Warragul. It supports an Edwardian style weatherboard residence which is sited in the centre of this parcel of land at a large setback from both Tarago Court and Earl Court. It has a hipped roof form with two skillion additions meeting at a porch area to the rear of the building. In 2019, the remainder of the site consists of mature tree and shrub plantings, three dilapidated outbuildings (including a weatherboard clad toilet) and a cement water tank covered in overgrown vegetation.

The built character of the remainder of Tarago Court is generally brick veneer single storey suburban residential dwellings dating to the past 30 years with set-backs ranging from approximately 3-5 metres. They have hipped roof forms clad with tiles and are all reasonably consistent in form.

In 2023 the outbuildings were removed and the skillion additions to the rear of the building had been removed. Part of the west facing and north facing veranda had been removed and the original front door (facing south) had been removed in order to reposition it facing north. There is a concrete footpath around the south, east and west elevations of the house.

The first set of photos below were taken in 2019 compared to 2023 (but referred to as 2024 for this report) are used below to show the relevant changes.



**Plate 1:** West elevation of 14 Tarago Court, Warragul (Source: Ecology and Heritage Partners Pty Ltd January 2019)



**Plate 2:** South east elevation of 14 Tarago Court, Warragul (Source: Ecology and Heritage Partners Pty Ltd January 2019)

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**Plate 3:** North elevation of 14 Tarago Court, Warragul showing sleepout built into veranda (Source: Ecology and Heritage Partners Pty Ltd January 2019)



**Plate 4:** Outdoor toilet at the rear of the heritage dwelling at 14 Tarago Court, Warragul (Source: Ecology and Heritage Partners Pty Ltd January 2019)



**Plate 5:** South west elevation of 14 Tarago Court, Warragul (Source: Ecology and Heritage Partners Pty Ltd January 2019)



**Plate 6:** Streetscape presentation of 14 Tarago Court, Warragul (Source: Ecology and Heritage Partners Pty Ltd January 2019)

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**Plate 7:** Outbuilding to the rear of heritage dwelling at 14 Tarago Court, Warragul (Source: Ecology and Heritage Partners Pty Ltd January 2019)



**Plate 8:** Outbuildings to the rear of the heritage dwelling at 14 Tarago Court, Warragul (Source: Ecology and Heritage Partners Pty Ltd January 2019)



**Plate 9:** (Right to left) North of the subject site is 18 and 20 Tarago Court, Warragul (Source: Ecology and Heritage Partners Pty Ltd January 2019)



**Plate 10:** At the end of the cul de sac is number 15 Tarago Court, Warragul (Source: Ecology and Heritage Partners Pty Ltd January 2019)

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**Plate 11:** (Left to right) Opposite the subject site is number 9 and 11 Tarago Court, Warragul (Source: Ecology and Heritage Partners Pty Ltd January 2019)



**Plate 12:** South of the subject site is 12 Tarago Court, Warragul (Source: Ecology and Heritage Partners Pty Ltd January 2019)

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**Plate 13:** South elevation of 14 Tarago Court, Warragul (Source: Ecology and Heritage Partners Pty Ltd January 2024)



**Plate 14:** South elevation of 14 Tarago Court, Warragul (Source: Ecology and Heritage Partners Pty Ltd January 2024)



**Plate 14:** part of South elevation of 14 Tarago Court, Warragul showing temporary door in place of former original front door (Source: Ecology and Heritage Partners Pty Ltd January 2024)



**Plate 15:** western end of the south elevation of 14 Tarago Court, Warragul (Source: Ecology and Heritage Partners Pty Ltd January 2024)

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**Plate 16:** North elevation of 14 Tarago Court, Warragul shwoign partial demolition of sleepout veranda and location of new main entrance door (Source: Ecology and Heritage Partners Pty Ltd January 2024)



**Plate 16:** North elevation of 14 Tarago Court, Warragul shwoign partial demolition of sleepout veranda (Source: Ecology and Heritage Partners Pty Ltd January 2024)

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### 3 STATEMENT OF SIGNIFICANCE

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The Statement of Significance for the heritage place contained within the *Baw Baw – Rural City of Warragul Heritage Study* (David Bick and Sally Wilde 1991) is as follows:

*This residence is a former farm dwelling which, with the growth of Warragul, is now surrounded by close suburban subdivision and houses from recent times. Apart from its survival, this building is also of interest for its size.*

The Heritage Study also notes that the architects of the house were Reed, Smart and Tappin and builders were the Miller Bros. The original owner of the house was Councillor G.W. Anderson.

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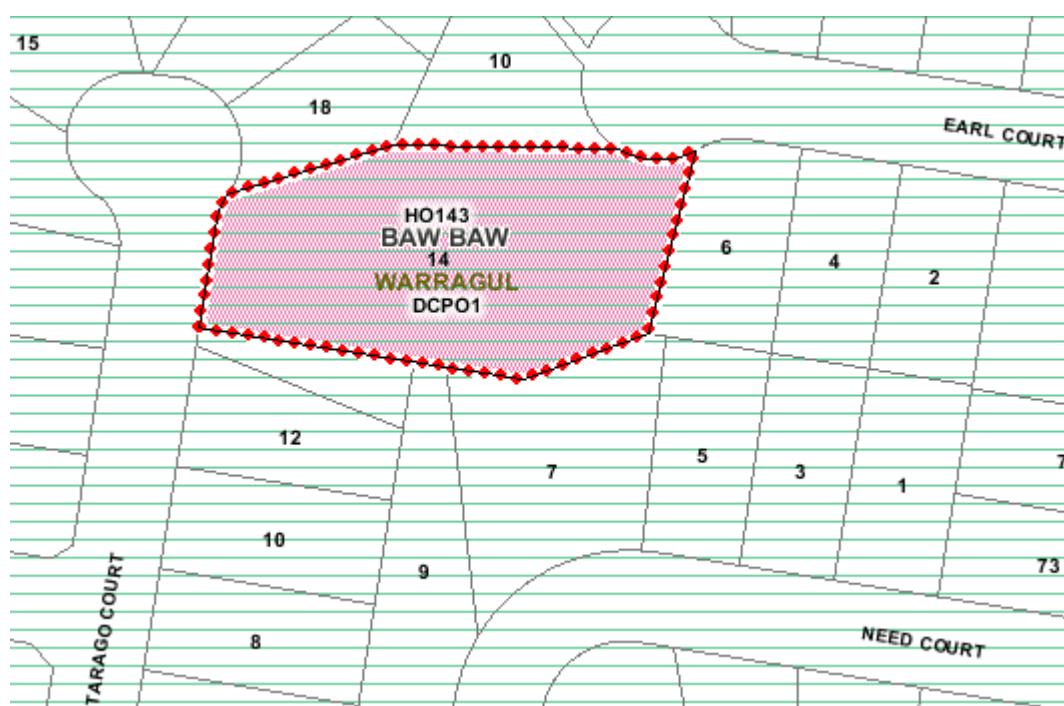
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## 4 STATUTORY HERITAGE CONTROLS

Places with a local threshold of heritage significance can be protected by inclusion in the Schedule to the Heritage Overlay (HO) of local government planning schemes under the *Planning and Environment Act 1987*. As the subject site at 14 Tarago Court is subject to Heritage Overlay 'HO143 – Weatherboard Residence', the proposed redevelopment must consider the relevant planning provisions and policies within the *Baw Baw Planning Scheme*.



**Figure 1:** HO143 covering 14 Tarago Court. (Source: Planning Maps online: <http://services.land.vic.gov.au/maps/pmo.jsp>)

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The following controls apply under the Planning Scheme.

PS map reference	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences which are not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place
HO143	Weatherboard house 14 Tarago Court Warragul	No	No	No	Yes	No	No	No	No

At Clause 15.03-1S of the Baw Baw Planning Scheme, ‘Heritage conservation’ a stated SPPF objective is to:

*Ensure an appropriate setting and context for heritage places is maintained or enhanced.*

The local heritage planning policy at Clause 21.09 of the *Baw Baw Planning Scheme* states as its objective:

*To conserve the distinctive and often unique heritage characteristics that contribute to the identity of communities within Baw Baw Shire and to the identity of the municipality as a whole.*



*To conserve the cultural significance of the heritage place or precinct by protecting and conserving the fabric that contributes to the significance of the place.*

Relevant policies identified at Clause 21.09 include the following:

**Subdivision**

*It is policy to:*

*Give preference to subdivision that is compatible with the historic subdivision pattern found in a heritage precinct, or relates to an approved multi-unit development. Consider subdivision of heritage places only if it maintains the significant fabric associated with that heritage place on a single lot.*

**New Development**

*It is policy to:*

*Encourage new development, including alterations and additions to existing heritage places, that respects the historic context by fitting in with the precinct in terms of scale, siting, design, form, materials and colours.*

*Encourage new development that maintains and enhances the setting of heritage places and the visual relationship between heritage places. This includes views of and vistas to a heritage place from public places.*

*Avoid new development of any kind that will become visually dominant or intrusive, eroding the significant character of the heritage precinct or place.*

*Consider multi-unit development on Significant or Contributory places within heritage precincts*

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where the new buildings are designed and sited to respect the scale form and materials of the heritage place, retain the existing Significant or Contributory building and retain the original view of the site from the street.

Conserve historic public realm features such as basalt gutters, kerb or verge treatments and mature street trees where they form an integral part of the fabric of a heritage precinct.

### **Trees**

It is policy to:

Support the maintenance and management of significant trees in a manner that ensures that they will survive in good condition according to their normally expected life span.

Apply the Australian Standard AS4970-2009 'Protection of Trees on Development Sites' to significant trees on sites affected by works.

Avoid development within the area within the drip-line of the tree, i.e. under its canopy, for significant trees on sites subject to new buildings and works,

Avoid development that would have an adverse effect on a significant tree or a tree that contributes to the setting of a heritage place or precinct.

### **Managing Planning Applications**

It is policy that the following information may be required to support an application, as appropriate:

For applications that may have an adverse impact upon the significance of the heritage place or precinct (Refer to Figure 1) a heritage impact statement prepared by a suitably qualified heritage consultant, which assesses the impact of the application upon the significance of the heritage place. This report should:

– As part of the Site Analysis, describe the significant elements of the place having regard to the relevant heritage citation and how these have been considered in the preparation of the application.

It is possible that there may be significant fabric not specifically identified by an existing heritage study. Any additional fabric identified should be noted and assessed as part of the report.

In addition to Clause 21.01, heritage considerations are addressed at Clause 43.01 of the Baw Baw Planning Scheme – the Heritage Overlay. The purpose of the Heritage Overlay includes the following:

- To conserve and enhance heritage places of natural or cultural significance.
- To ensure that development does not adversely affect the significance of heritage places.

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## 5 ASSESSMENT OF HERITAGE IMPACTS

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Based on the relevant planning scheme provisions and policies identified in Section 4, the key heritage considerations to consider in relation to the proposal to redevelop 14 Tarago Court are discussed below. As the report has been amended due to changed conditions the 2019 comments are included firstly in italics followed by the amended 2024 comments that supersede the earlier ones and have been prepared to respond to Clause 15.03 of the Baw Baw Shire Planning Scheme. In some instances there is no change to the assessment.

### a) Setting of heritage building

2019

*The historic subdivision pattern surrounding 14 Tarago Court has been distorted and this area is now characterised by close suburban development. The addition of houses nearby is appropriate in this context.*

*The historic dwelling will be retained on a single lot with a frontage to Tarago Court and therefore retains its presentation to the public realm. The proposed new development is set back behind the façade of the heritage building and are therefore recessive when viewed from the Tarago Court streetscape.*

2024

The historic subdivision pattern surrounding 14 Tarago Court has been distorted and this area is now characterised by close suburban development. The addition of houses nearby is appropriate in this context.

The historic dwelling will be retained on a single lot with a frontage to Tarago Court and therefore retains its presentation to the public realm. The proposed new development is set back behind the façade of the heritage building and are therefore recessive when viewed from the Tarago Court streetscape.

There will be minimal visual impacts of the heritage place during the works as ground disturbance, plant and equipment will be visible while the works are in progress, however, these will mostly be temporary. It is understood that impacts to the existing front garden will be minimised and temporary fencing can be installed to protect the main house and front garden from impacts by any large machinery.

### b) Demolition of the outbuildings

2019

*The utilitarian outbuilding structures are in a state of dilapidation and overgrown with vegetation. They are not mentioned in the citation for the place however outbuildings associated with a former farming residence are likely to contribute to the interpretation of the farming history of the site. Notwithstanding this, the setting of this rural property has already been compromised by encroaching suburbs and the outbuildings are not visible from any public vantage point. In this context, their demolition is considered acceptable.*

2024

The outbuildings have been demolished. This is considered acceptable given the encroachment by suburbs and the lack of visibility of the outbuildings from the street. The outbuildings were not considered to be significant.

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**c) New development**

2019

*The proposal to redevelop 14 Tarago Court with 6 dwellings does not involve demolition or alteration of the heritage dwelling on the site. New development is considered acceptable in this context which is predominantly suburban residential built form.*

2024

The proposed works will have limited physical impact on the main building and the demolition of the main dwelling on the site is not planned. There has been removal of parts of the northern veranda. This is considered to be acceptable as the main dwelling will continue to be retained and the removal in parts (especially the old sleepout made of window panes) does not detract from its built form and it continues to be well set back from the street.

**d) Construction of new carport for existing heritage dwelling**

2019

*The proposed carport has a substantial setback behind the façade of the existing heritage dwelling. It has been designed as an open structure (as opposed to a garage) which is appropriate so as to reduce the bulk of its appearance.*

2024

The proposed carport has a substantial setback behind the façade of the existing heritage dwelling. It has been designed as an open structure (as opposed to a garage) which is appropriate so as to reduce the bulk of its appearance.

**e) Design response for new built form**

2019

*The new dwellings will be single storey, clad in brick with terracotta roof tiles, aluminium framed windows and doors, with a colour palette of greys and browns. They are all setback behind the primary façade of the heritage building when viewed from Tarago Court. The design for the new buildings demonstrates respect for the scale, bulk, setback, and setting of the heritage dwelling.*

2024

*The impact of the proposed works upon the significant framework of the existing dwelling and subject site.*

The new dwellings will be single storey, clad in brick with terracotta roof tiles, aluminium framed windows and doors, with a colour palette of greys and browns. They are all setback behind the primary façade of the heritage building when viewed from Tarago Court.

The proposed works are considered to have minimal detrimental impact on the significant framework of the existing dwelling. The size of the building is essentially the same and it will retain its original footprint. The

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design for the new buildings demonstrates respect for the scale, bulk, setback, and setting of the heritage dwelling which is the basis of its significance.

In terms of managing impacts, the mitigation measures that have been proposed are to avoid any built form other than fencing in the front garden and attempt to keep a number of the mature plantings. If fencing to the front facing the street is required it is suggested a heritage style fence using woven wire and wood or wood be used as it is preferable to metal or brick given the style of the weatherboard dwelling. It is preferable some of the mature plantings be retained but the trees in themselves are not protected and may require replacing in the future.

In addition, the original front door of the main dwelling (facing south) is to be replaced with a heritage style door that contains two glazed panels. This is considered appropriate to the style of the house and will allow filtered light to enter the house. Given it is not visible from the street this is acceptable. The new main entrance will be to the north where the sleep out was situated. Given the close proximity of the houses to the south, the front door facing the north is acceptable given neither the south or north door are visible from the street and both were used for access and will continue to be used.

The following exterior and paint colours have been suggested for the house are below. These are all considered to be acceptable.

- Colourbond “Surfmist”: weatherboards, staircase rail verticals, downpipes and eaves.
- Colourbond – Ironstone: gutter, fascia posts, fretwork, windows, window shade, staircase handrail, top rail, baseboards
- Roof – Zinc
- Chimneys - Limewash to original brick

?

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## 6 CONCLUSION

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The proposed redevelopment of 14 Tarago Court is considered to comply with the Baw Baw Shire Council's local planning policies to an acceptable degree. There is some minor impact on the historic fabric – namely the demolition of the outbuildings and alteration of the veranda and front door and exterior paint colours. The main dwelling will have minimal impact. However, this is considered acceptable as these elements are not mentioned in the citation for the place and, in their dilapidated state, only marginally contribute the cultural heritage significance of the place whose rural setting has already been irrevocably altered.

Measures such as temporary fencing will be put in place to minimise impact to the main house and from garden during works to avoid damage by machinery. It is not planned to remove all the mature plantings from the front garden, and although tree controls are not in place, it is preferable that any structural building in the front garden be avoided besides erection of a fence and gate.

The proposal essentially address key elements of Clause 15.03 of the Planning Scheme, in particular relating to it remaining in a garden setting, avoiding destruction of the main dwelling, incorporating appropriate renovation to allow continued use of the place as a dwelling.

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## 7 REFERENCES

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Bick, David and Wilde, Sally. Baw Baw – Rural City of Warragul Heritage Stud, 1991

‘Architectural Home Design – Building Plans and Drafting Services’, amended plans dated 28 March 2019. Marquis-Kyle, Peter. & Walker, Meredith. The illustrated Burra Charter, Good Practice for Heritage Places. Australia ICOMOS, Sydney 2004.

Victorian Heritage Database: <https://vhd.heritagecouncil.vic.gov.au/>

Waters, Glenn. ‘Arboricultural Assessment and Report’, 14 March 2019.

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Advertised

**DOCUMENT TRANSMITTAL**

DATE 12/06/2024

JOB NO 2331

TO Immakulate

PROJECT ADDRESS 14 Tarago Court, Warragul

We forward herewith the following drawings:

Drawing Transmittal			
Issued date	ID	Name	Issue
<b>12/06/2024 2:09 PM, Planning Drawings</b>			
	A.B.1	Transmittal	02
	A.B.2	Site Plan	02
	A.B.3	Design Response	02
	A.B.4	Existing Floor Plan	02
	A.B.5	Demolition Plan	02
	A.B.6	Site Floor plan	02
	A.B.7	Elevations	02
	A.B.8	Unit Floor Plans	02
	A.B.9	Unit Elevations	02
	A.B.10	Unit Material Schedule	02
	A.B.11	Shadows	02

Please find attached AHD drawings for your review in pdf format.

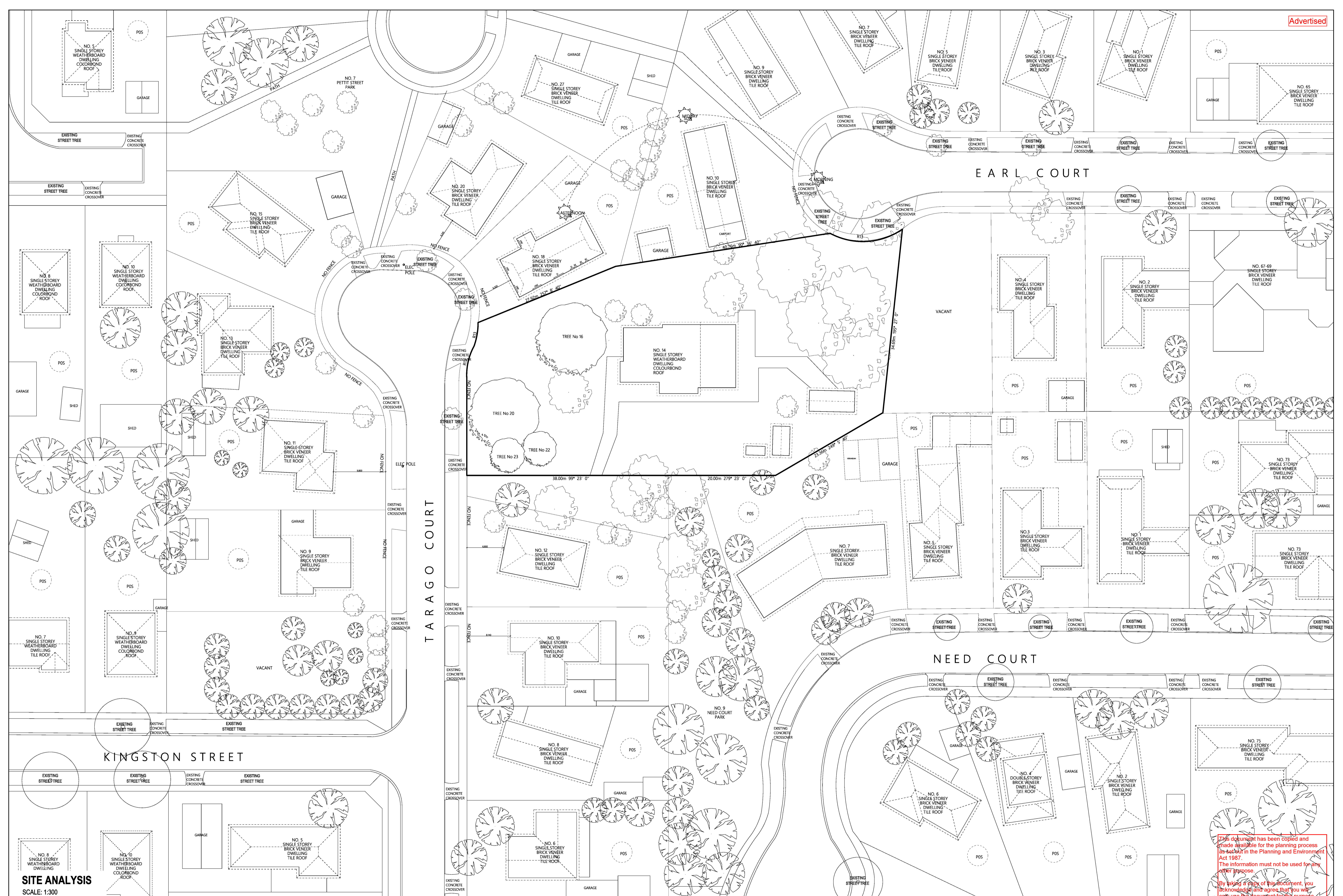
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**SITE ANALYSIS**  
SCALE: 1:300

Project: PROPOSED MULTI-UNIT DEVELOPMENT  
Property Address: 44 TARGO CRT, WARRAGUL

LEGEND			
THICK SOLID FRAMING	● 100 DOWN PIPE	A1 ARTICULATION JOINTS	KP-1 SELECTED KILN-DRIED ROOFING
BRICKWORK	● 150 DOWN PIPE WITH SPREADER	TILE SELECTED TILE FLOORING	TILE SELECTED TILE FLOORING
BRICK VENEER WALL	● 100 EXISTING DOWN PIPE	FB SELECTED TIMBER FLOORING	BG-2 TYPICAL GARAGE FLOORING
BRICK CAVITY WALL	● 150 FLOOR WASTE	CP SELECTED CARPET	BG-3 TYPICAL ROOF CRISTE
100mm FOAM ON STUD	● EXHAUST FAN TO EXTERNAL	TD SELECTED TIMBER DECKING	← FALL DIRECTION
EXISTING STRUCTURE	● SMOKE ALARM	PC POLISHED CONCRETE	
		CR SELECTED COLOURBOND ROOFING	

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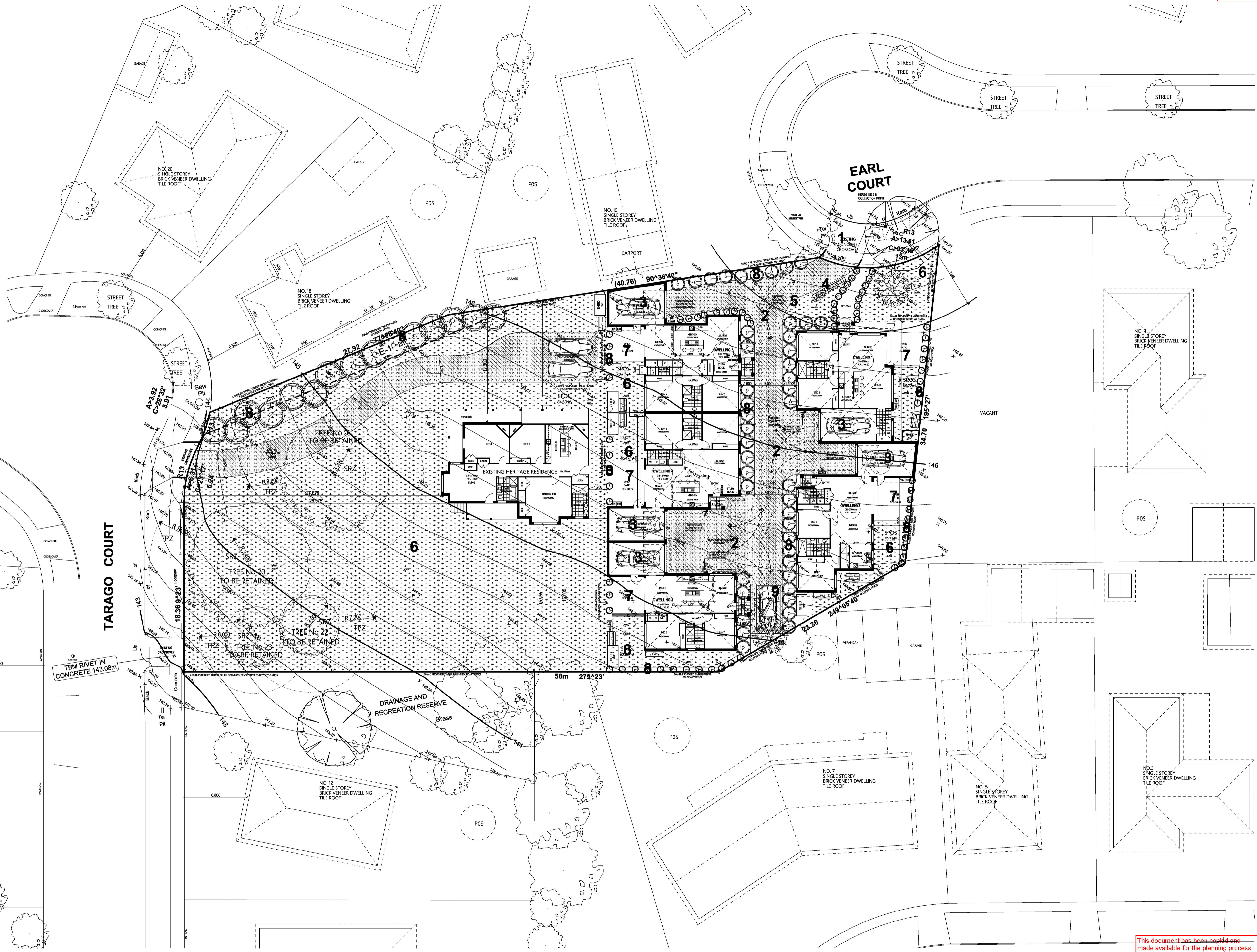
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# DESIGN RESPONSE

- 1 PROPOSED CROSSOVER TO SERVICE UNITS 1-5
- 2 NEW CONCRETE DRIVEWAY FOR ACCESS TO ALL DWELLINGS.
- 3 NEW GARAGES TO PROPOSED DWELLINGS TO BE SUBSTANTIALLY SETBACK FROM STREET TO AVOID VISIBLE IMPACT ON EXISTING STREETScape.
- 4 NEW MAILBOXES AND METER BOXES FOR ALL DWELLINGS.
- 5 FRONT SETBACK OF 7M FOR PROPOSED UNITS
- 6 LAWN AREA PROVIDES SPACE FOR LANDSCAPING.
- 7 OPEN SPACE ON SITE FOR EACH DWELLING IS DISTRIBUTED TO THE REAR AND THROUGHOUT THE SITE. THE DEVELOPMENT WILL PROVIDE SUFFICIENT PRIVATE OPEN SPACE FOR THE REASONABLE RECREATION, SERVICE AND STORAGE NEEDS OF RESIDENTS. THE PRIVATE OPEN SPACES FOR BOTH DWELLING ARE LOCATED OFF LIVING AREAS.
- 8 LANDSCAPING LOCATION TO PROVIDE SOFT BUFFER AND SCREENING BETWEEN THE ADJOINING PROPERTIES. EXTENSIVE LANDSCAPING TO BE IMPLEMENTED.
- 9 PROVIDE VISITOR CARSPACE FOR DWELLINGS 1-7



## DESIGN RESPONSE

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 Date: 05/11/24  
 Drawn: P.P.  
 Checked: P.P.

Project PROPOSED MULTI-UNIT DEVELOPMENT

Property Address 44 TARAGO CRT, WARRAGUL

Client

THIN LINE	THIN LINE STUD FRAMING	DOWN PIPE	ARTICULATION JOINTS	SELECTED TIMBER FLOORING	SELECTED TIMBER CHECKING	SELECTED COLORBOND ROOFING
BRICKWORK	DOWN PIPE WITH SPREADER	SELECTED TILE FLOORING	SELECTED TIMBER CHECKING	POURED CONCRETE	SELECTED COLORBOND ROOFING	
BRICK CAVITY WALL	FLOOR WASTE	SELECTED CARPET	POURED CONCRETE			
100mm FOAM ON STUD	EXHHAUST FAN TO EXTERNAL AIR TO PIT	SMOKE ALARM				
EXISTING STRUCTURE						

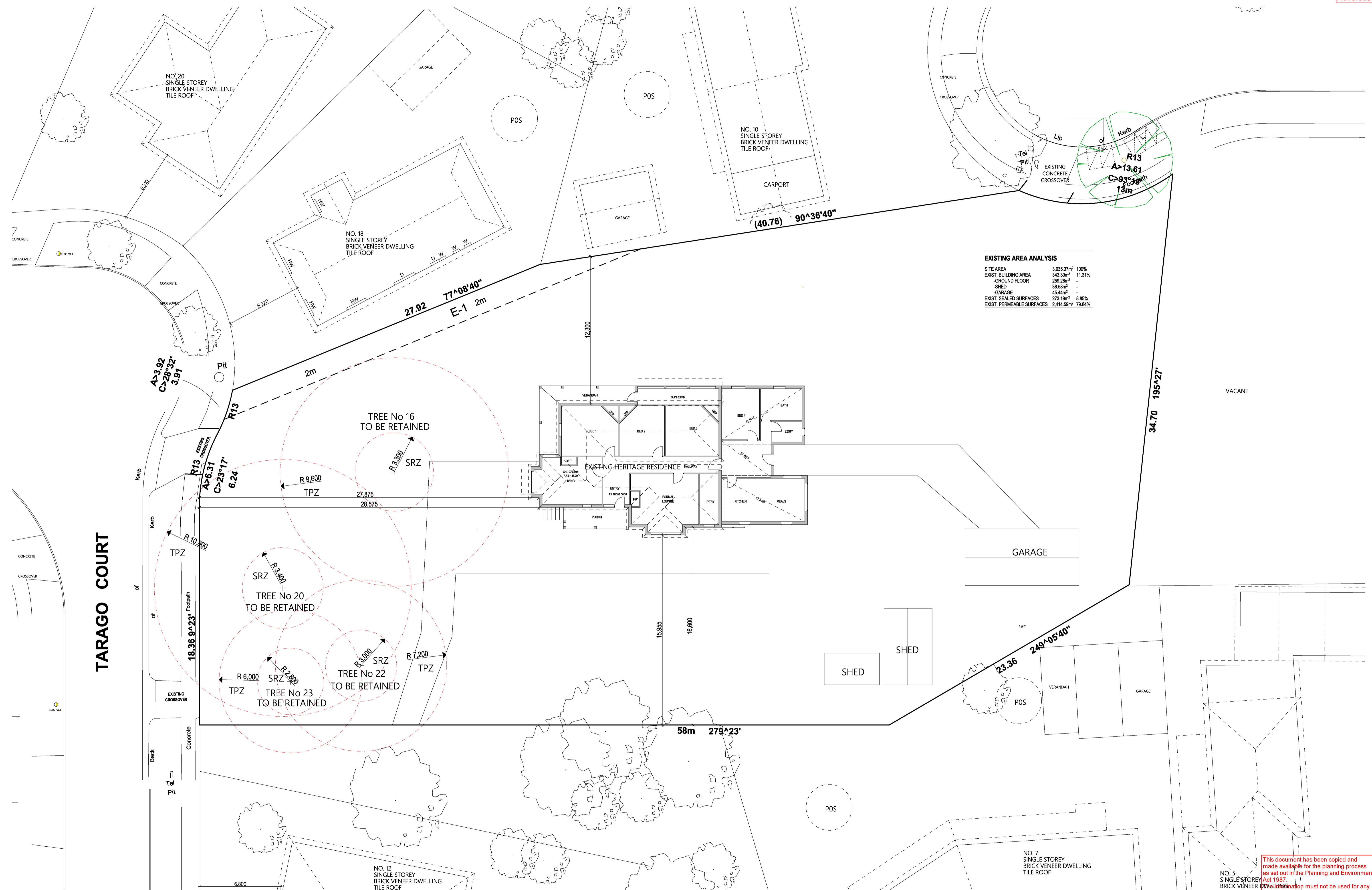
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**EXISTING AREA ANALYSIS**

SITE AREA	3,035.37m <sup>2</sup>	100%
EXIST. BUILDING AREA	343.30m <sup>2</sup>	11.31%
-GROUND FLOOR	259.28m <sup>2</sup>	-
-SHED	38.59m <sup>2</sup>	-
-GARAGE	45.44m <sup>2</sup>	-
EXIST. SEALED SURFACES	273.19m <sup>2</sup>	8.85%
EXIST. PERMEABLE SURFACES	2,414.59m <sup>2</sup>	79.84%

**EXISTING GROUND FLOOR PLAN**  
SCALE: 1:100

Project: PROPOSED MULTI-UNIT DEVELOPMENT  
Property Address: 44 TARAGO CRT, WARRAGUL  
Client:

**LEGEND**

Timber Stud Framing	Down Pipe	Articulation Joints	Selected Klip-Lok Roofing
Brickwork	Down Pipe with Spreader	Selected Tile Flooring	Typical Parapet Wall
Brick Veneer Wall	Down Pipe with Spreader	Selected Timber Flooring	Typical Parapet Wall
Brick Cavity Wall	Down Pipe with Spreader	Selected Carpet	Typical Parapet Wall
100mm PCC on Stud	Down Pipe with Spreader	Selected Timber Decking	Typical Parapet Wall
Existing Structure	Down Pipe with Spreader	Polished Concrete	Typical Parapet Wall
	Down Pipe with Spreader	Selected Colorbond Roofing	Typical Parapet Wall

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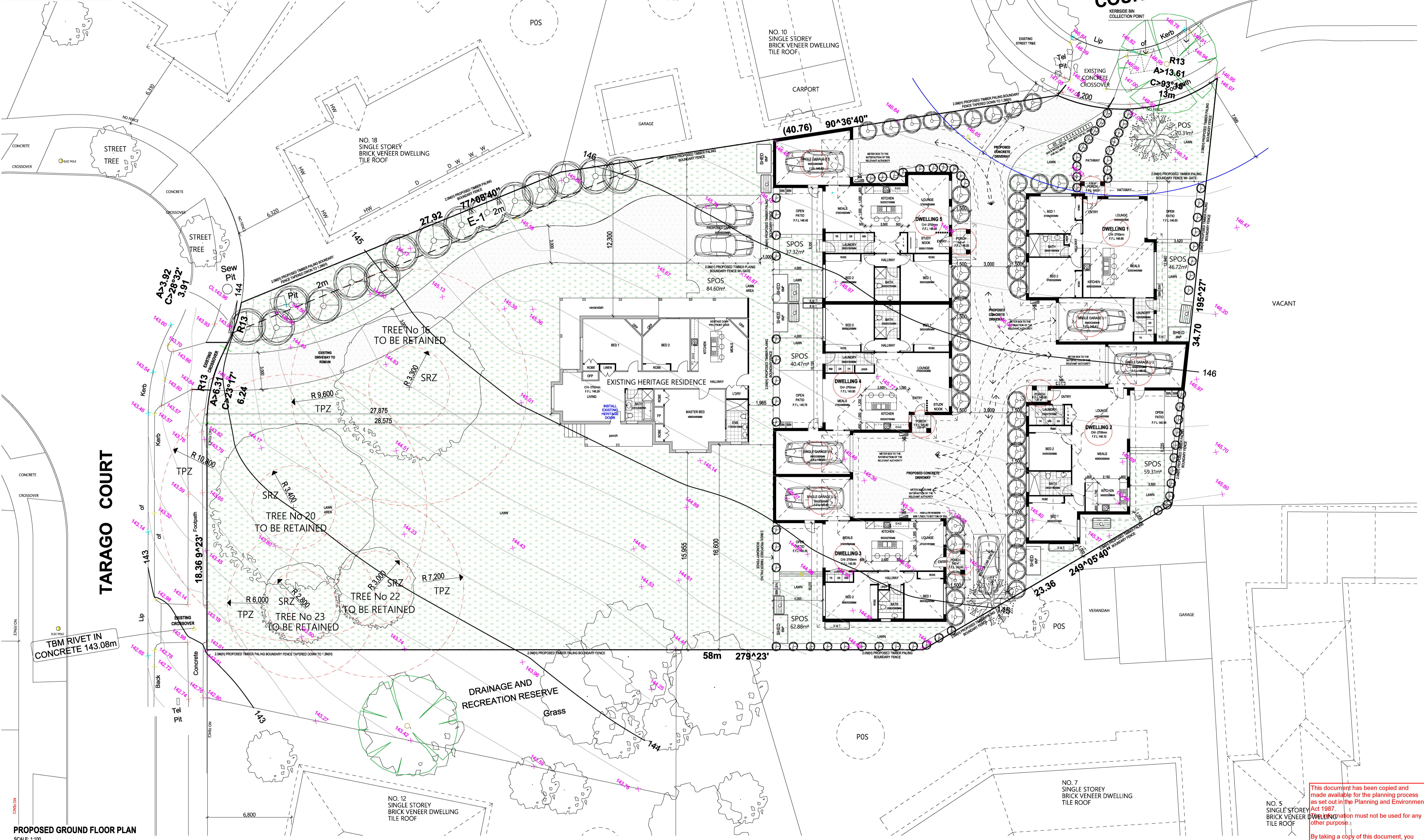
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DO NOT SCALE THIS DRAWING. DIMENSIONS TO BE TAKEN FROM DIMENSION LINES. DIMENSIONS TO BE TAKEN FROM DIMENSION LINES OR BY THE CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK.	Scale:
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05/11/2024  
3/1/2024  
Page 35 of 42



NOTE:  
NO RETAINING WALLS ARE BEING PROPOSED

EXISTING AREA ANALYSIS		EXST. UNIT		UNIT 2		UNIT 3		UNIT 5	
SITE AREA	3,035.37m <sup>2</sup> 100%	EXIST. G.F.	259.28m <sup>2</sup>	GROUND FLOOR	95.55m <sup>2</sup>	GROUND FLOOR	83.70m <sup>2</sup>	GROUND FLOOR	104.95m <sup>2</sup>
EXIST. BUILDING AREA	343.30m <sup>2</sup> 11.31%	PRO. CARPORT	33.00m <sup>2</sup>	GARAGE	25.58m <sup>2</sup>	GARAGE	24.27m <sup>2</sup>	GARAGE	28.06m <sup>2</sup>
-GROUND FLOOR	259.28m <sup>2</sup>	TOTAL	292.28m <sup>2</sup> 31.46sq	PORCH	1.67m <sup>2</sup>	PORCH	3.00m <sup>2</sup>	PORCH	3.00m <sup>2</sup>
-SHED	38.58m <sup>2</sup>			TOTAL	122.80m <sup>2</sup> 13.22sq	TOTAL	110.97m <sup>2</sup> 11.94sq	TOTAL	136.01m <sup>2</sup> 14.64sq
-GARAGE	45.44m <sup>2</sup>								
EXIST. SEALED SURFACES	273.19m <sup>2</sup> 8.85%	EXST. UNIT		UNIT 1		UNIT 4			
EXIST. PERMEABLE SURFACES	2,414.59m <sup>2</sup> 79.84%	PRO. G.F.	171.92m <sup>2</sup>	GROUND FLOOR	93.15m <sup>2</sup>	GROUND FLOOR	104.98m <sup>2</sup>		
		PRO. CARPORT	33.00m <sup>2</sup>	GARAGE	23.04m <sup>2</sup>	GARAGE	24.27m <sup>2</sup>		
		TOTAL	292.28m <sup>2</sup> 22.95sq	PORCH	2.30m <sup>2</sup>	PORCH	2.22m <sup>2</sup>		
				TOTAL	118.49m <sup>2</sup> 12.75sq	TOTAL	131.47m <sup>2</sup> 14.15sq		
AREAS:									
SITE	3,035.37m <sup>2</sup> 100.00%								
SITE COVERAGE	84.29m <sup>2</sup> 27.78%								
IMPERVIOUS COVERAGE	452.53m <sup>2</sup> 14.90%								
SITE PERMEABILITY	1,716.36m <sup>2</sup> 56.54%								
GARDEN AREA	1,708.49m <sup>2</sup> 56.21%								



PROPOSED GROUND FLOOR PLAN  
SCALE: 1:100

Project: PROPOSED MULTI-UNIT DEVELOPMENT  
 Property Address: 14 TARAGO CRT, WARRAGUL  
 Client:

LEGEND	
THICK SOLID FRAMING	DOWN PIPE
BRICKWORK	DOWN PIPE WITH SPREADER
BRICK VENEER WALL	EXISTING DOWN PIPE
BRICK CAVITY WALL	FLOOR WASTE
100mm FOAM ON STUD	EXHAUST FAN TO EXTERNAL
EXISTING STRUCTURE	ASBESTOS
	SMOKE ALARM
ARTICULATION JOINTS	SELECTED TILE FLOORING
TILE	SELECTED TIMBER FLOORING
SELECTED CARPET	SELECTED CARPET
SELECTED TIMBER DECKING	SELECTED TIMBER DECKING
POURED CONCRETE	POURED CONCRETE
SELECTED COLORBOND ROOFING	SELECTED COLORBOND ROOFING
SELECTED CLIP-LOCK ROOFING	SELECTED CLIP-LOCK ROOFING
TYPICAL ZAMBATI GUTTER	TYPICAL ZAMBATI GUTTER
300x300 POPS OUTLET	300x300 POPS OUTLET
300x300 POPS OUTLET	300x300 POPS OUTLET
FALL DIRECTION	FALL DIRECTION

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NOTES	
1. SITE COVERABLE TO BE CONFIRMED BY EPV FROM PROPOSAL TO CONVEYANCE OF ANY INTEREST IN THE LAND.	Drawn: [Signature]
2. NO RETAINING WALLS ARE BEING PROPOSED.	Scale: [Scale]
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.	Drawn: [Signature]
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.	Scale: [Scale]
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.	Drawn: [Signature]
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.	Scale: [Scale]
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.	Drawn: [Signature]
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.	Scale: [Scale]
9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.	Drawn: [Signature]
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.	Scale: [Scale]

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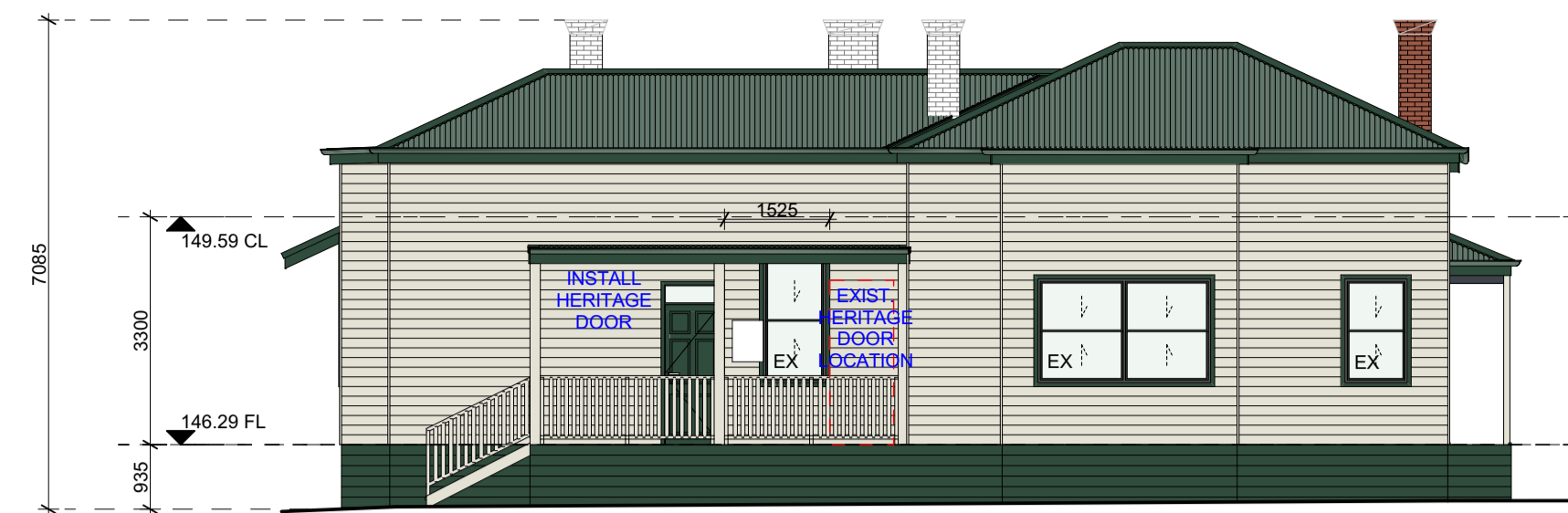


Perspective 1

NOTE: COLOURS ON 3 PERSPECTIVE MAY NOT BE A TRUE REPRESENTATION OF THE ACTUAL COLOUR

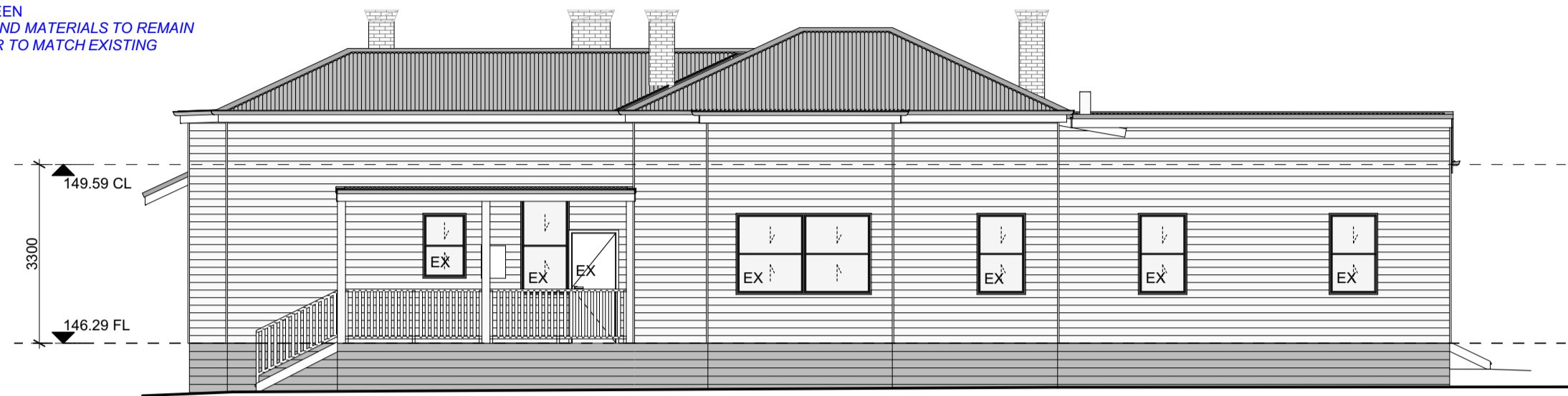


Perspective 2



Proposed South Elevation  
SCALE 1:100

ROOF - GAL. PAINTED GREEN  
CHIMNEY - LIMEWASH PAINTED WHITE/GREEN  
GUTTER - GREEN  
WALLS - WHITE/CREAM  
WINDOWS - GREEN  
ALL COLOURS AND MATERIALS TO REMAIN UNCHANGED OR TO MATCH EXISTING

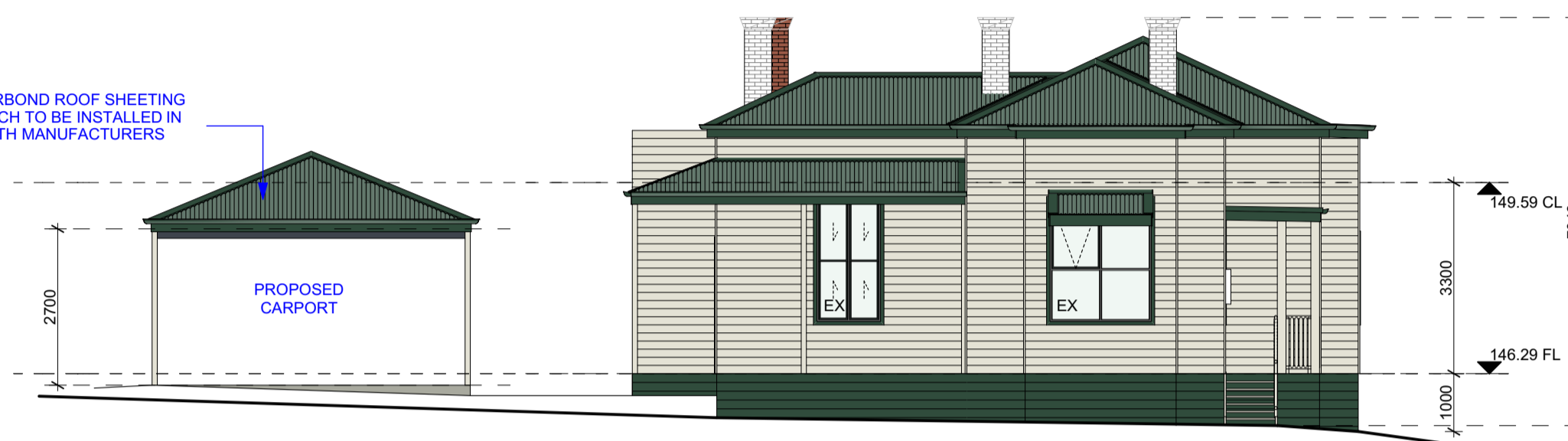


Pre-Works Existing South Elevation  
SCALE 1:100



Plate 2: South east elevation of 14 Tarago Court, Warragul (Source: Ecology and Heritage Partners Pty Ltd January 2019)

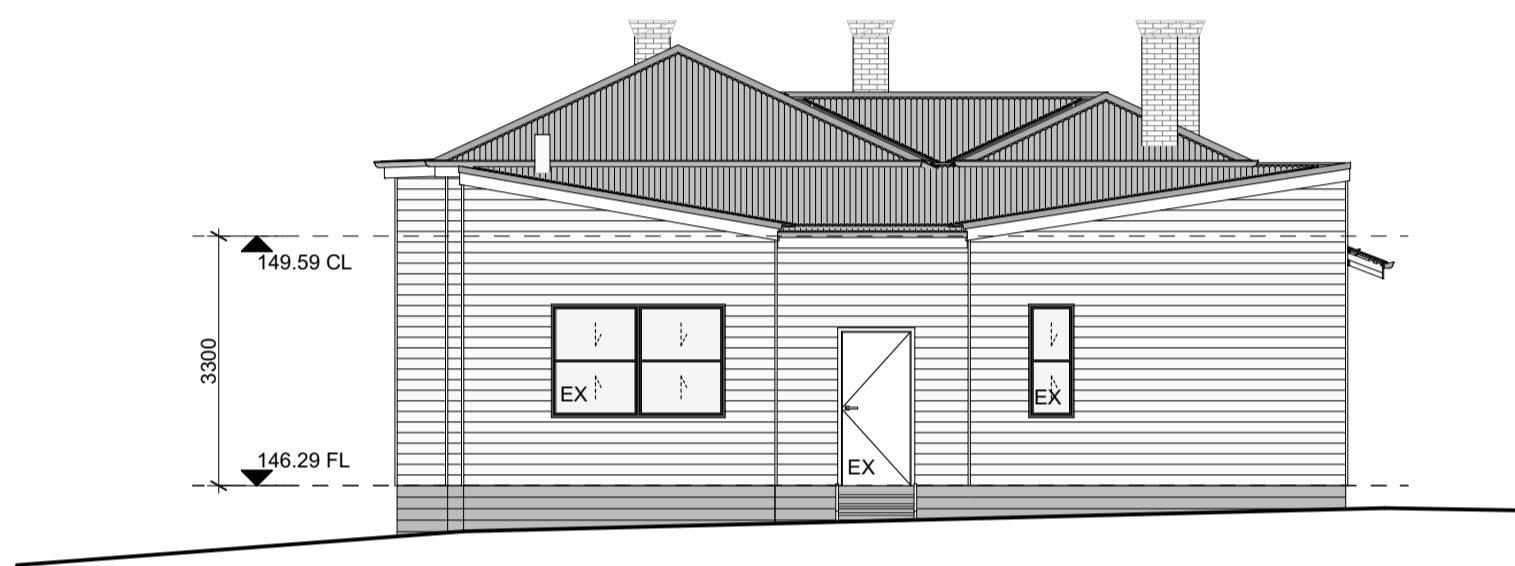
SELECTED COLORBOND ROOF SHEETING AT 22.5° ROOF PITCH TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS



Proposed West Elevation  
SCALE 1:100



Pre-Works Existing West Elevation  
SCALE 1:100



Pre-Works Existing East Elevation  
SCALE 1:100

SELECTED COLORBOND ROOF SHEETING AT 22.5° ROOF PITCH TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS



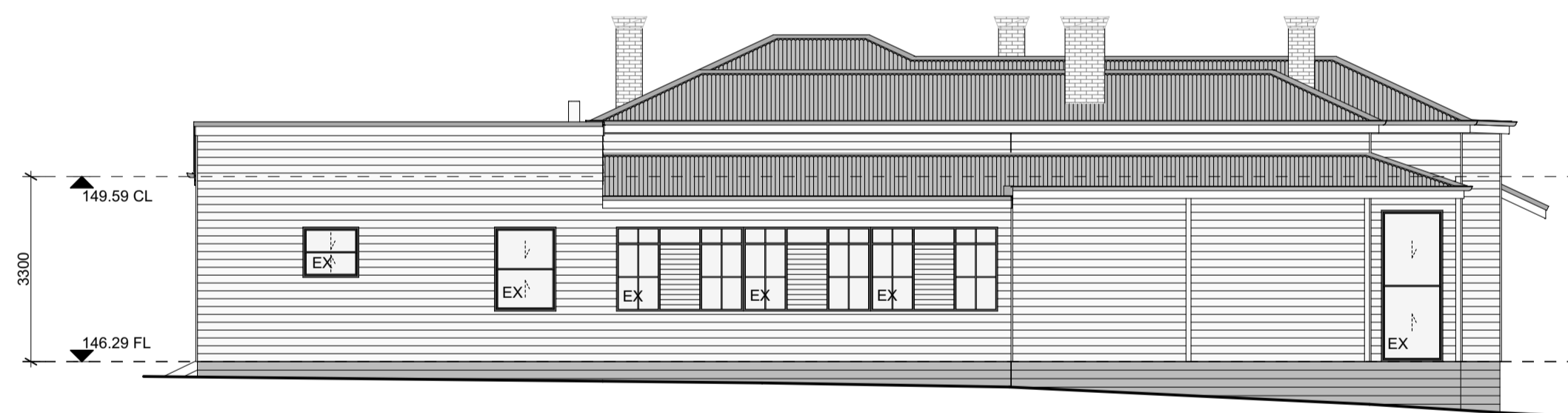
Proposed North Elevation  
SCALE 1:100



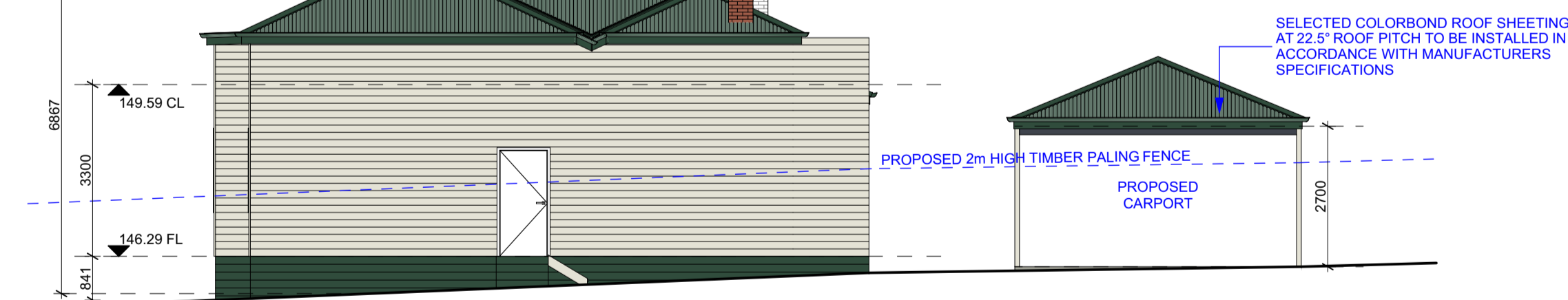
Plate 1: West elevation of 14 Tarago Court, Warragul (Source: Ecology and Heritage Partners Pty Ltd January 2019)



Plate 3: North elevation of 14 Tarago Court, Warragul showing sleepout built into veranda (Source: Ecology and Heritage Partners Pty Ltd January 2019)



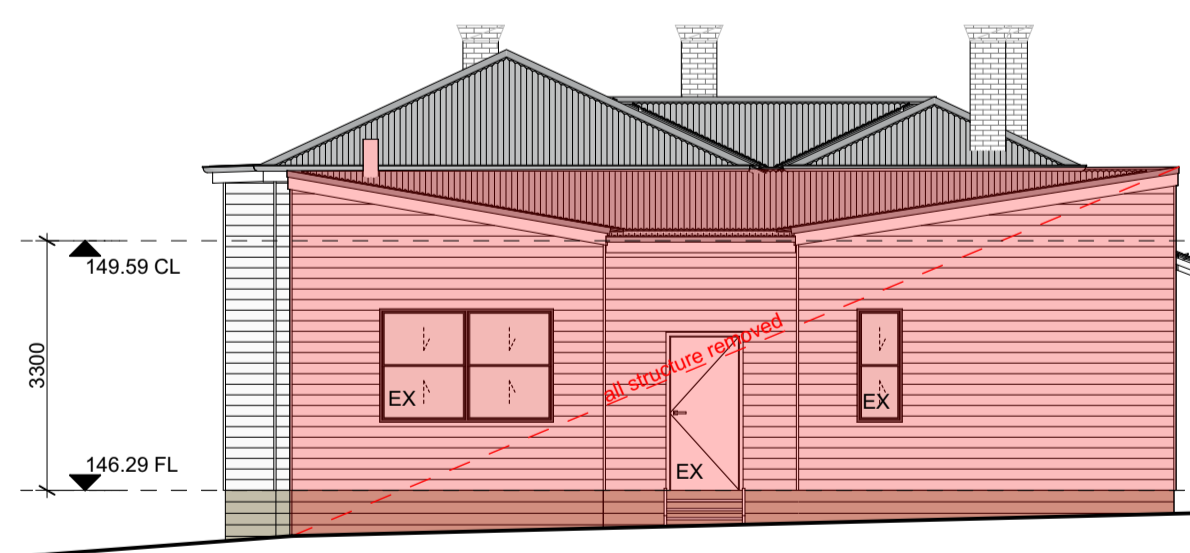
Pre-Works Existing North Elevation  
SCALE 1:100



Proposed East Elevation  
SCALE 1:100

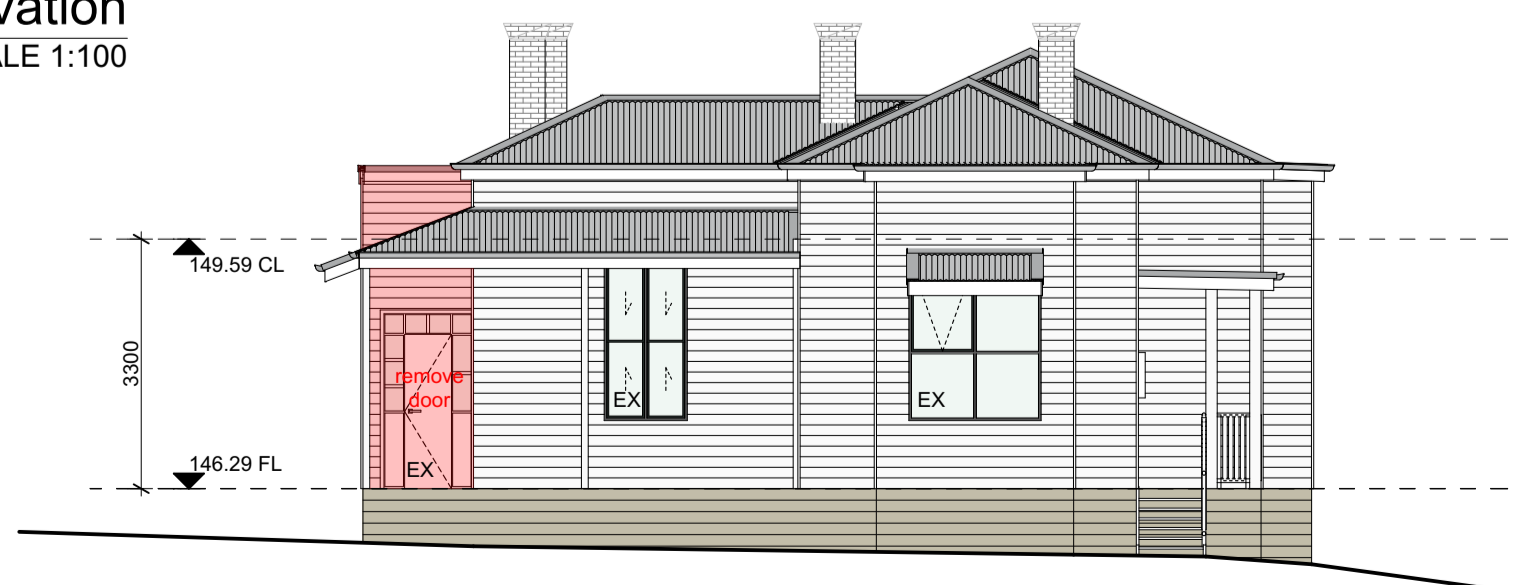


Demolition South Elevation  
SCALE 1:100

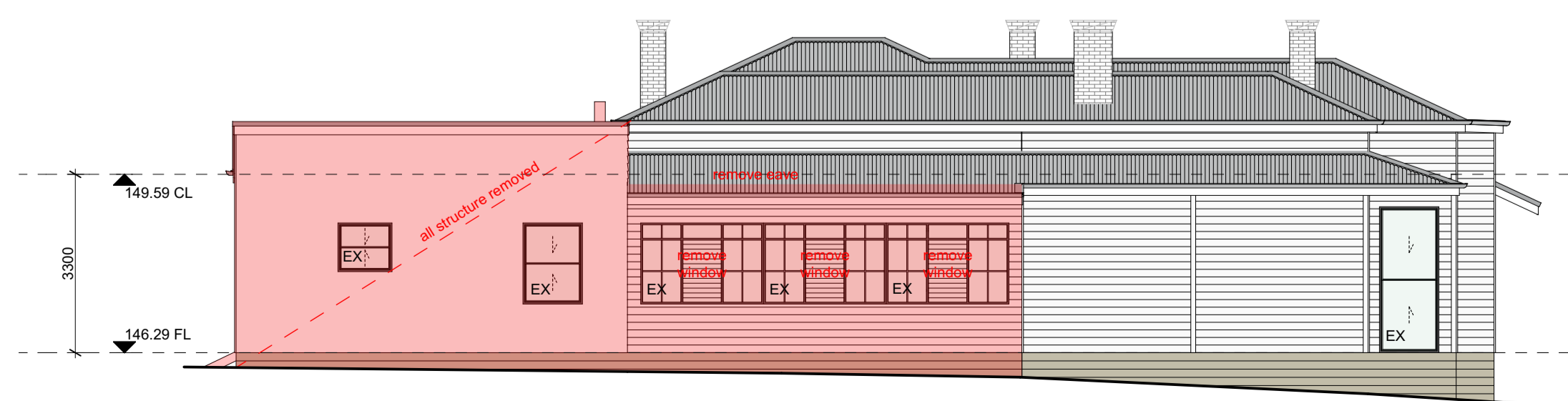


Demolition East Elevation  
SCALE 1:100

■ DENOTES TO BE DEMOLISHED



Demolition West Elevation  
SCALE 1:100



Demolition North Elevation  
SCALE 1:100

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**EXISTING AREA ANALYSIS**

SITE AREA	3,035.37m <sup>2</sup>	100%
EXIST. BUILDING AREA	343.30m <sup>2</sup>	11.31%
-GROUND FLOOR	259.28m <sup>2</sup>	-
-SHED	38.58m <sup>2</sup>	-
-GARAGE	45.44m <sup>2</sup>	-
EXIST. SEALED SURFACES	273.19m <sup>2</sup>	8.85%
EXIST. PERMEABLE SURFACES	2,414.59m <sup>2</sup>	79.84%

**EXIST. UNIT**

EXIST. G.F.	259.28m <sup>2</sup>
PRO. CARPORT	33.00m <sup>2</sup>
<b>TOTAL</b>	<b>292.28m<sup>2</sup> 31.46sq</b>

**UNIT 2**

GROUND FLOOR	95.55m <sup>2</sup>
GARAGE	25.58m <sup>2</sup>
PORCH	1.67m <sup>2</sup>
<b>TOTAL</b>	<b>122.80m<sup>2</sup> 13.22sq</b>

**UNIT 3**

GROUND FLOOR	83.70m <sup>2</sup>
GARAGE	24.27m <sup>2</sup>
PORCH	3.00m <sup>2</sup>
<b>TOTAL</b>	<b>110.97m<sup>2</sup> 11.94sq</b>

**UNIT 5**

GROUND FLOOR	104.95m <sup>2</sup>
GARAGE	28.06m <sup>2</sup>
PORCH	3.00m <sup>2</sup>
<b>TOTAL</b>	<b>136.01m<sup>2</sup> 14.64sq</b>

**EXIST. UNIT**

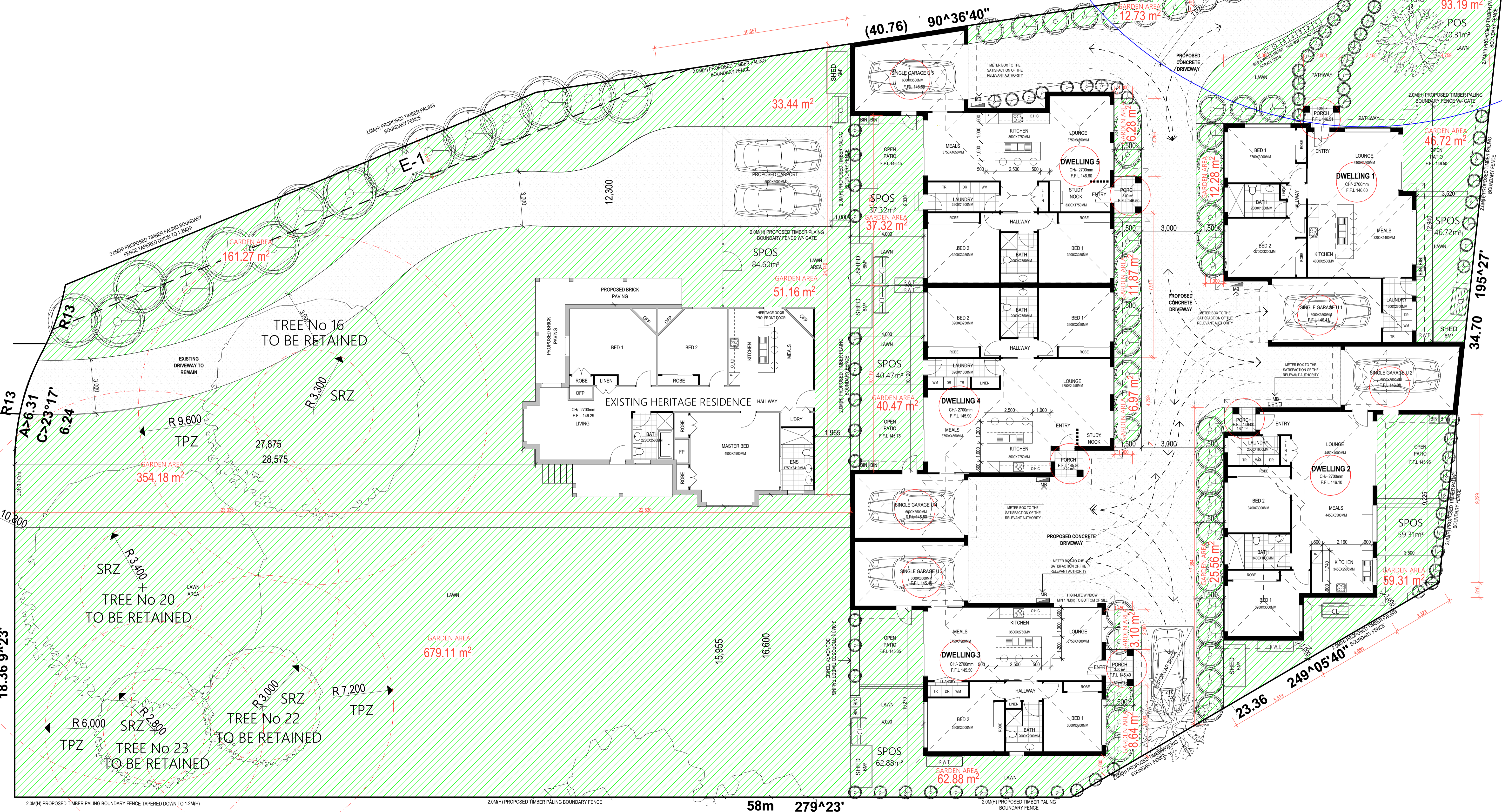
PRO. G.F.	171.92m <sup>2</sup>
PRO. CARPORT	33.00m <sup>2</sup>
<b>TOTAL</b>	<b>292.28m<sup>2</sup> 22.05sq</b>

**UNIT 1**

GROUND FLOOR	93.15m <sup>2</sup>
GARAGE	23.04m <sup>2</sup>
PORCH	2.30m <sup>2</sup>
<b>TOTAL</b>	<b>118.49m<sup>2</sup> 12.75sq</b>

**UNIT 4**

GROUND FLOOR	104.98m <sup>2</sup>
GARAGE	24.27m <sup>2</sup>
PORCH	2.22m <sup>2</sup>
<b>TOTAL</b>	<b>131.47m<sup>2</sup> 14.15sq</b>



**GARDEN AREA PLAN**

SCALE: 1:100

Project	PROPOSED MULTI-UNIT DEVELOPMENT
Property Address	44 TARAGO CRT, WARRAGUL
Client	JOHN BOTFA

**ARCHITECTURAL HOME DESIGN**  
 BUILDING PLANS & DRAFTING SERVICES  
 48 DUNCAN ST, FAIRFIELD, VIC 3049  
 PH: 03 9348 9922 F: 03 9348 9922  
 email: arch@archhomedesign.com.au

NOTES	DATE	05.11.20	
DATE	05.11.20	REVISION DATE	3/1/2024
SCALE	1:100 @ A1	ORIENTATION	Project Status
DRAWN	D.F.A.D.	CHECKED	P.R.
DATE	05.11.20	REVISION DATE	3/1/2024
SCALE	1:100 @ A1	ORIENTATION	Project Status
DRAWN	D.F.A.D.	CHECKED	P.R.