



# Application to Amend a Planning Permit S72

Advertised

This form is only for an application under Section 72 of the Planning and Environment Act 1987

## Section 1: PERMIT DETAILS

Planning Application No:	PLA0046/24
Address:	94 Murray Road MODELLA

## Section 2: PERMIT APPLICANT

Name:	
Business:	Eastcad Design
Postal Address:	
Telephone No. (H)	
Email Address:	

## Section 3: OWNER DETAILS (if different to the Applicant)

Name(s):	
Postal Address:	
Telephone No. (H)	
Email Address:	

## Section 4: LAND DETAILS (Please complete either A or B – this information can be found on the Certificate of Title)

### Option A:

Lot No:	4
Type of Plan: Please tick √	Lodge Plan <input type="checkbox"/> Title Plan <input type="checkbox"/> Plan of Subdivision <input checked="" type="checkbox"/>
Plan Number:	210693J.

### Option B:

Crown Allotment Number:	<p>This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987</p>
Section Number:	<p>The information must not be used for any other purpose.</p>
Parish/Township Name:	

**Section 5: AMENDMENT DETAILS** You must give full details of the amendment being applied for. In sufficient detail, information will delay your application. Please indicate the type of changes proposed to the permit and list the details of the proposed changes.

This application seeks to amend:

What the permit allows <input type="checkbox"/>	Plans endorsed under the permit <input checked="" type="checkbox"/>
---	---

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being applied for. In sufficient detail,  
only use the document for the purpose  
specified above and that any  
dissemination, distribution or copying of  
this document is strictly prohibited.**

Current conditions of the permit

Other documents endorsed under the permit

**Advertised**

Does the amendment proposal breach, in anyway, a registered covenant, Section 173 agreement or ~~restriction on Title?~~

Yes  No  Not Applicable (no such covenant, section 173 agreement or restriction applies)

If yes, you should contact Council for advice as to how to proceed with the application.

Please provide details of the amendment: Provide plans clearly identifying all proposed changes to the endorsed plans, together with; any information required by the planning scheme, requested by Council or outlined in a Council checklist; and if required, include a description of the likely effect of the proposal.

**Skillion roof instead of gable. New front setback**

**Section 6: DEVELOPMENT COST**

State the estimated total cost of the proposed development, including amendment.

Unchanged from initial application

Or

Additional costs proposed through this amendment \$

Does the amendment proposal introduce any additional Permit Triggers? (eg: creation of easement, parking reduction)

If yes, an additional application fee may be required.

Yes  No

**Section 7: EXISTING CONDITIONS** Provide a plan of the existing conditions if the conditions have changed since the time of the original permit application. Photos are also helpful.

Have the conditions of the land changed since the time of the original permit application?

Yes  No

If yes, please provide details of the existing conditions:

**Section 8: DECLARATION** This form must be signed. \*\*PLEASE COMPLETE EITHER box A or B

A. I declare that I am the Applicant and Owner of this land and that all information given is true and correct.	Owner/ Applicant signature:	Date:
B. I/We the Applicant declare that I/We have notified the owner about this application and that all information given is true and correct.	Applicant Signature:	<p>This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information <b>must not</b> be used for any other purpose.</p> <p><b>30/10/25</b></p>

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- A fully completed and **signed** copy of this form.
- Most applications require a fee to be paid. *Please make payment at time of lodgement if submitting at Councils Customer Service Centre or submitting through our on-line portal. If emailing your application, a payment link will be sent to your nominated email once registered on the system.*  
Contact Council to determine the appropriate fee.
- All necessary supporting information and documents – Including Endorsed Plans if applicable
- Full and current copy of title (no older than 60 days) for each individual parcel of land forming the subject site.

**PLEASE FORWARD THIS APPLICATION TO**

<b>E-mail:</b>	<a href="mailto:planning@bawbawshire.vic.gov.au">planning@bawbawshire.vic.gov.au</a>	<b>Mail:</b>	Planning Department, Baw Baw Shire Council PO Box 304 Warragul VIC 3820
<b>Phone:</b>	5624 2411		

The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application.

These third parties generally include, but are not limited to:

- Transport Infrastructure Agencies such as VicRoads and VLine
- Energy/Utilities Providers
- Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

All information collected and held by Council is managed in accordance with Council's Privacy Policy which is available on our website. If you choose not to supply the requested information it may impair the ability of Council to consider your application or prevent Council from communicating with you in relation to your application.

If you have any concerns or require access to the information held by Council, please contact us on 5624 2411.

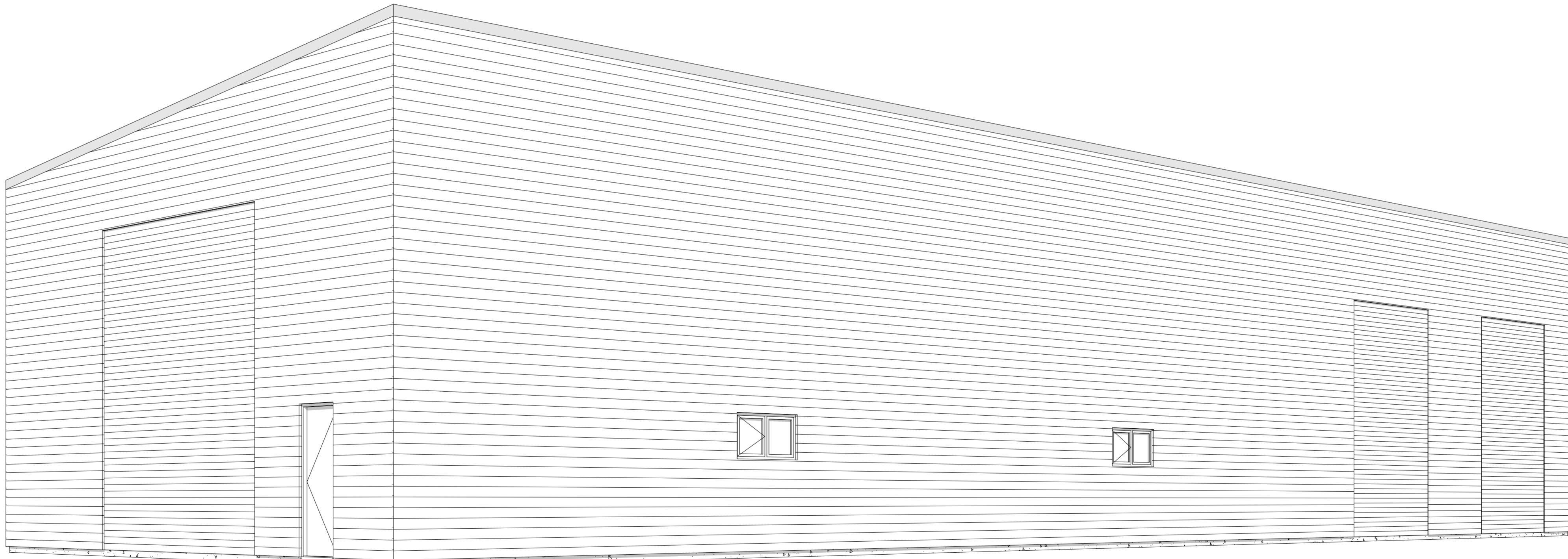
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Proposed Shed  
**Hao Shen**  
94 Murray Road, Modella, VIC, 3816

## DOCUMENTATION INDEX

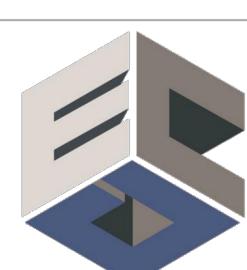
<u>Sheet</u>	<u>Contents</u>
WD1	Cover Sheet
WD2	Existing Site Plan
WD3	Proposed Site Plan
WD4	Floor Plan
WD5	Elevations
WD6	Door & Window Schedule
WD7	General Notes
WD8	Specifications



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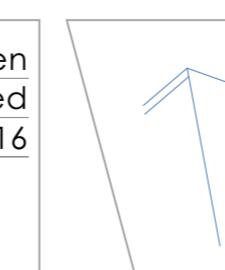
DATE  
22/01/24  
17/05/24  
08/07/24  
11/08/24  
23/10/25



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TELEPHONE 03 8822 0835  
EMAIL info@eastcad.com.au  
WEBSITE www.eastcad.com.au  
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CLIENT Hao Shen  
PROPOSED WORKS Proposed Shed  
PROJECT ADDRESS 94 Murray Road, Modella, 3816

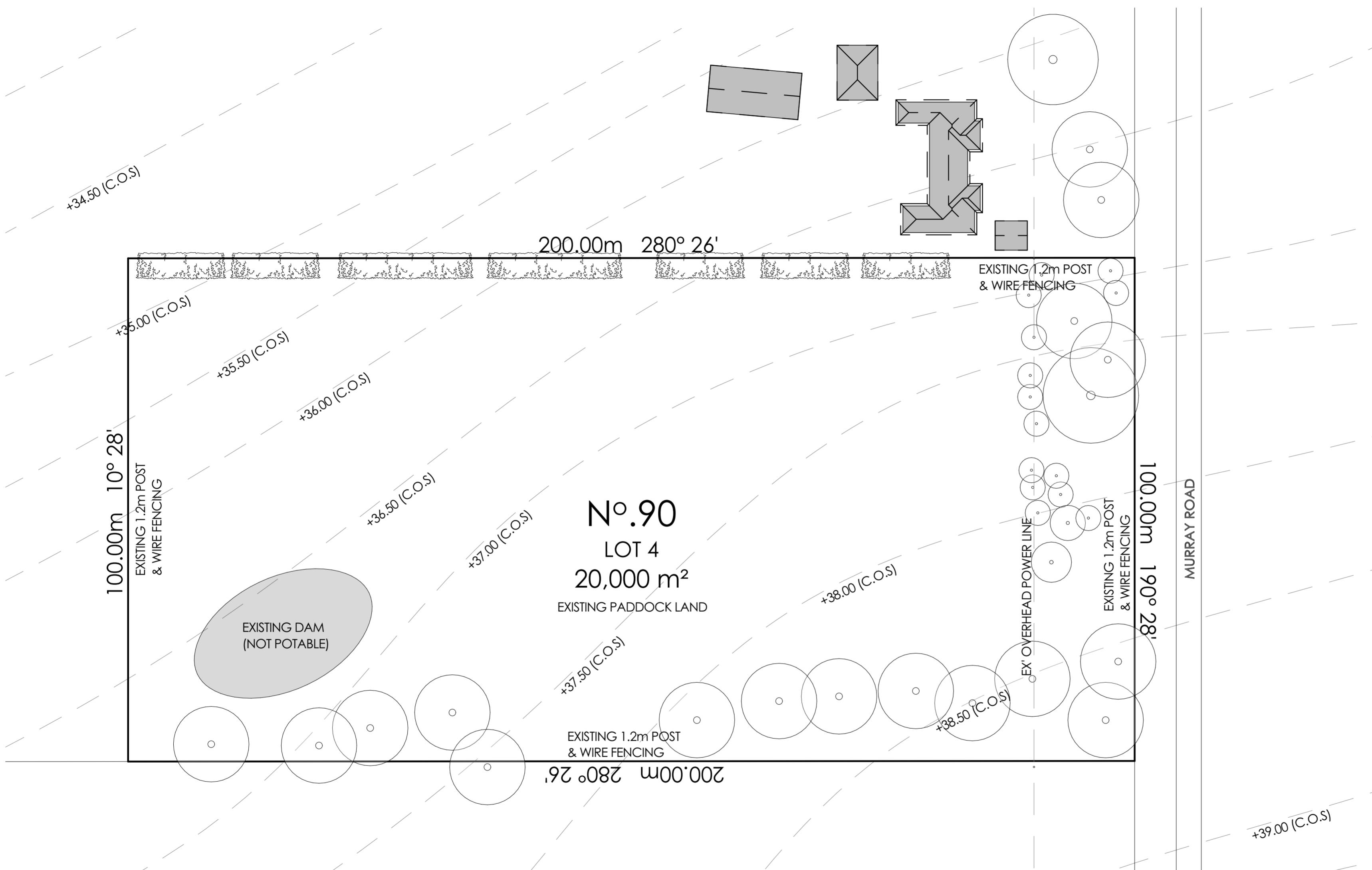
Town Planning Amendment -23 Oct 2025



Cover Sheet  
PAGE REF WD1 SET REF - JB00588  
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REV DESCRIPTION  
A TOWN PLANNING - FOR PRE 22/01/24  
B TOWN PLANNING - RFI 17/05/24  
C TOWN PLANNING - SHED ONLY 08/07/24  
D WORKING DRAWINGS - SHED ONLY 11/08/24  
E TOWN PLANNING - AMENDMENT 23/10/25

Page 4 of 12

**DEMOLITION NOTES:****GENERAL:**

- ALL DEMOLITION WORK SHALL BE CARRIED OUT IN A CAREFUL AND SYSTEMATIC MANNER. PRECAUTIONS MUST BE TAKEN BEFORE AND DURING DEMOLITION IN ACCORDANCE WITH AS-2601-2011.
- ALL DEMOLITION WORKS AND WASTE REMOVAL SHALL BE UNDERTAKEN BY A LICENSED CONTRACTOR TO ENSURE THE SAFETY OF ALL PERSONS. ALL NECESSARY MEASURES ARE TO BE TAKEN TO AVOID DAMAGE, INTERFERENCE AND PROTECTION OF ADJACENT PUBLIC OR PRIVATE LAND, PROPERTY AND SERVICES.
- PROTECTIVE OUTRIGGERS, FENCES, AWNINGS, HOARDING, BARRICADES AND THE LIKE MUST BE INSTALLED WHERE NECESSARY TO GUARD AGAINST DANGER TO LIFE OR PROPERTY, OR AS REQUIRED BY THE RELEVANT BUILDING SURVEYOR.
- ALL PRACTICABLE PRECAUTIONS SHALL BE TAKEN TO AVOID DANGER FROM COLLAPSE OF A BUILDING WHEN ANY PART OF THE STRUCTURE IS REMOVED.
- ALL DEMOLISHED STRUCTURES ABOVE AND BELOW GROUND LEVEL INCLUDING ANY FOOTINGS ARE TO BE REMOVED FROM SITE.
- ALL DEMOLISHED MATERIAL AND SEDIMENT MUST BE CONTROLLED WITH POLLUTION CONTROL METHODS TO THE SATISFACTION OF THE E.P.A

**EXISTING METERS:**

- LOCATE THE POSITION OF ALL METERS. WHERE A METER IS TO BE RELOCATED OR REPLACED, IT SHALL BE DONE SO UNDER THE DIRECTION OF THE RELEVANT AUTHORITY. APPROVE NEW LOCATION WITH OWNER.
- ALL EXISTING ELECTRICAL OUTPUTS, CABLES OR APPARATUS SHALL BE DISCONNECTED BEFORE DEMOLITION COMMENCES.

**EXISTING UNDERGROUND SERVICES:**

- THE BUILDER IS TO THOROUGHLY INVESTIGATE AND LOCATE ANY AND ALL UNDERGROUND SEWER AND STORM WATER PIPES, WATER SERVICES, GAS SERVICES, DRAINS OR ELECTRICAL SERVICES BEFORE COMMENCING ANY SITE WORKS. SUCH ITEMS ARE TO BE IDENTIFIED, CUT AND SEALED THEN REMOVED OR RELOCATED WHERE APPROPRIATE. (DIAL BEFORE YOU DIG - Ph: 1100)

**EXISTING UNDERGROUND TANKS:**

- ANY SEPTIC TANK, STORAGE TANK, SOAK WELL, LEACH DRAIN, OR SIMILAR APPARATUS WITHIN THE SITE SHALL BE EMPTIED AND FILLED WITH CLEAN SAND, OR REMOVED ENTIRELY. ANY HAZARDOUS CONTAMINATION MUST BE CONTROLLED WITH POLLUTION CONTROL METHODS TO THE SATISFACTION OF THE E.P.A

**WALL REMOVAL:**

- ANY WALLS TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED COMPLETELY UNLESS OTHERWISE NOTED. ALL PREVIOUS WALL TO FLOOR, WALL TO CEILING OR WALL TO WALL JUNCTIONS SHALL BE MADE GOOD WITH FINISHES TO MATCH EXISTING. BUILDER SHALL MAKE HIMSELF AWARE OF ALL STRUCTURAL CONSEQUENCES PRIOR REMOVAL AND ALLOW FOR REMOVAL WORKS WHERE REQUIRED.

**INTERFACES:**

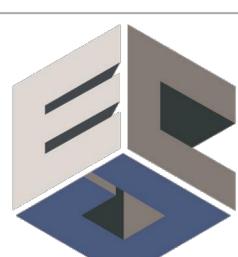
- ALL INTERFACES BETWEEN NEW AND EXISTING WORKS SHALL BE MADE GOOD TO THE SATISFACTION OF THE OWNER.

**SAFETY PROVISIONS:**

- IT IS THE BUILDER'S RESPONSIBILITY TO CARRY OUT AN AUDIT PRIOR TO ANY WORKS TO DETERMINE IF ASBESTOS AND/OR OTHER HAZARDOUS MATERIAL ARE PRESENT IN THE EXISTING BUILDING.
- ANY SWIMMING POOLS, PONDS OR THE LIKE EITHER ON THE DEMOLITION SITE OR NEIGHBOURING ALLOTMENTS MUST BE ADEQUATELY FENCED AND MADE SAFE PRIOR TO ANY DEMOLITION WORKS.

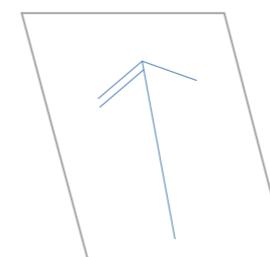
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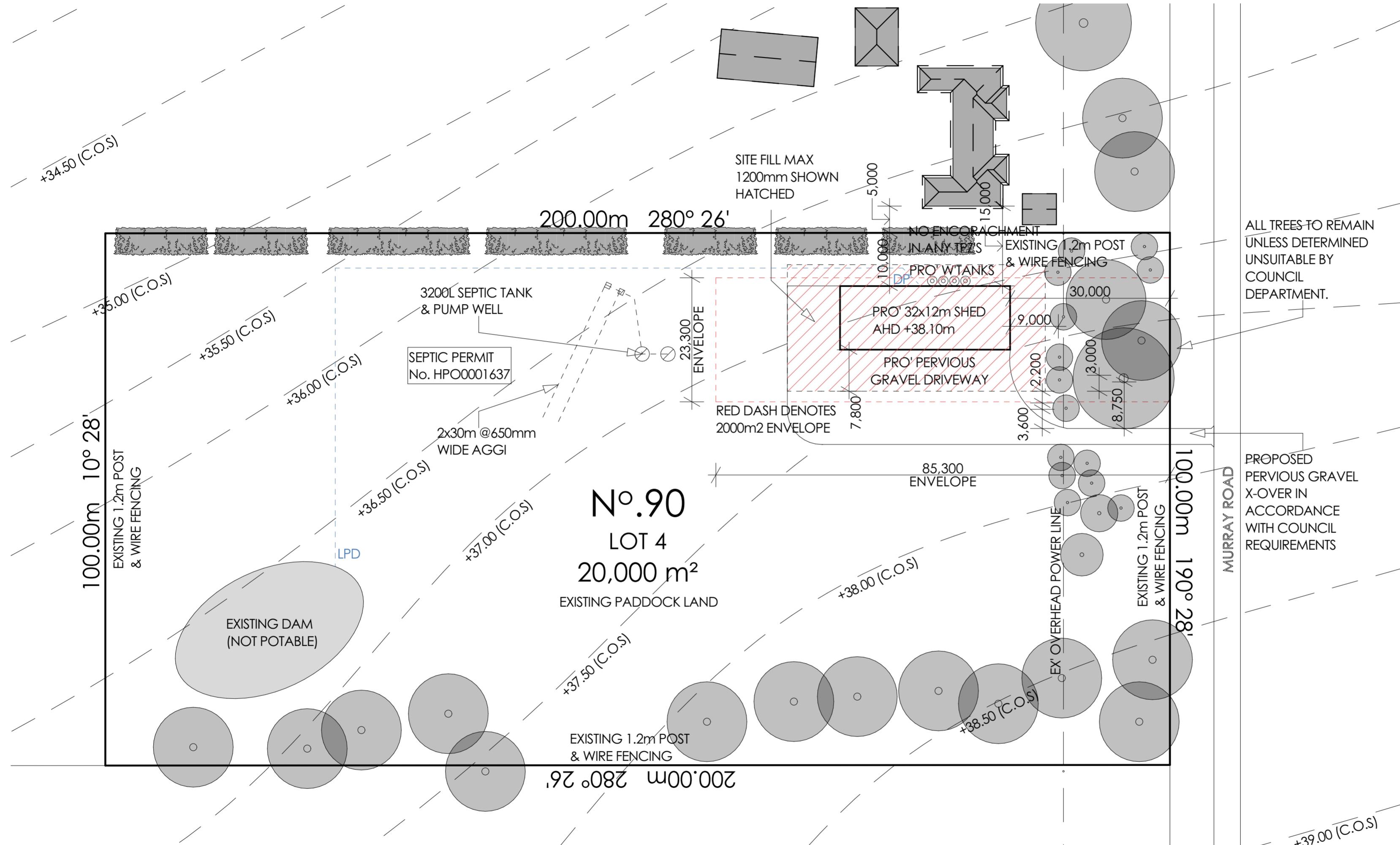
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CLIENT Hao Shen  
PROPOSED WORKS Proposed Shed  
PROJECT ADDRESS 94 Murray Road, Modella, 3816  
Town Planning Amendment -23 Oct 2025



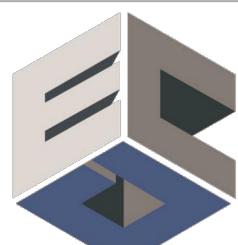
Existing Site Plan  
PAGE REF WD2 SET REF - JB00588  
DRAWN BT CHECKED AH  
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REV	DESCRIPTION	DATE
A	TOWN PLANNING - FOR PRESENTATION	22/01/24
B	TOWN PLANNING - RFI	17/05/24
C	TOWN PLANNING - SHED ONLY	08/07/24
D	WORKING DRAWINGS - SHED ONLY	11/08/24
E	TOWN PLANNING - AMENDMENT	23/10/25



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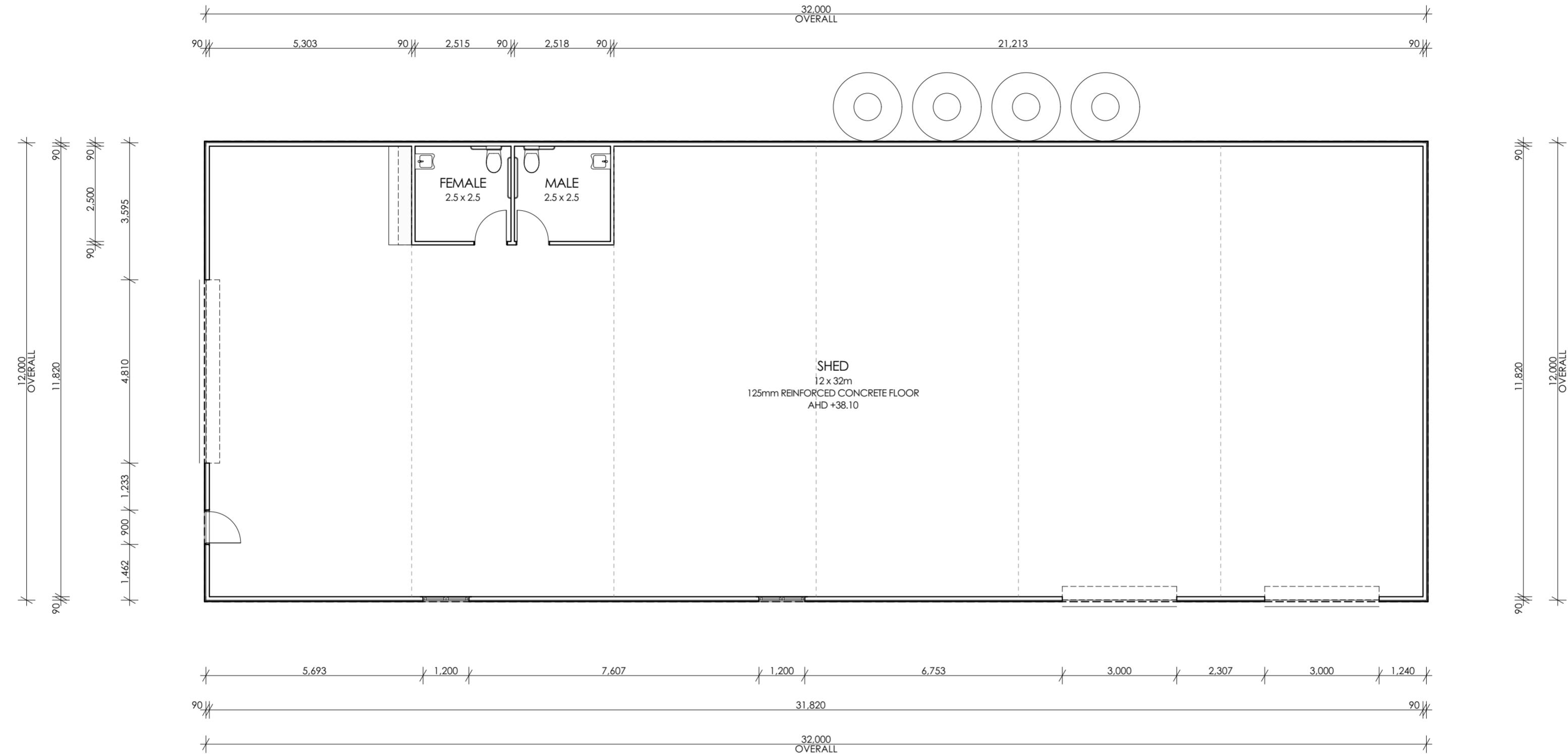
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Proposed Site Plan  
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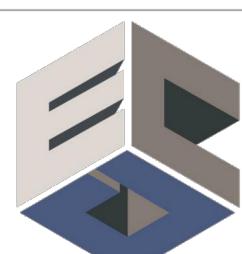


## Floor Plan

Scale: 1:10

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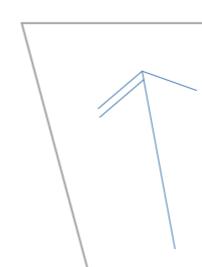
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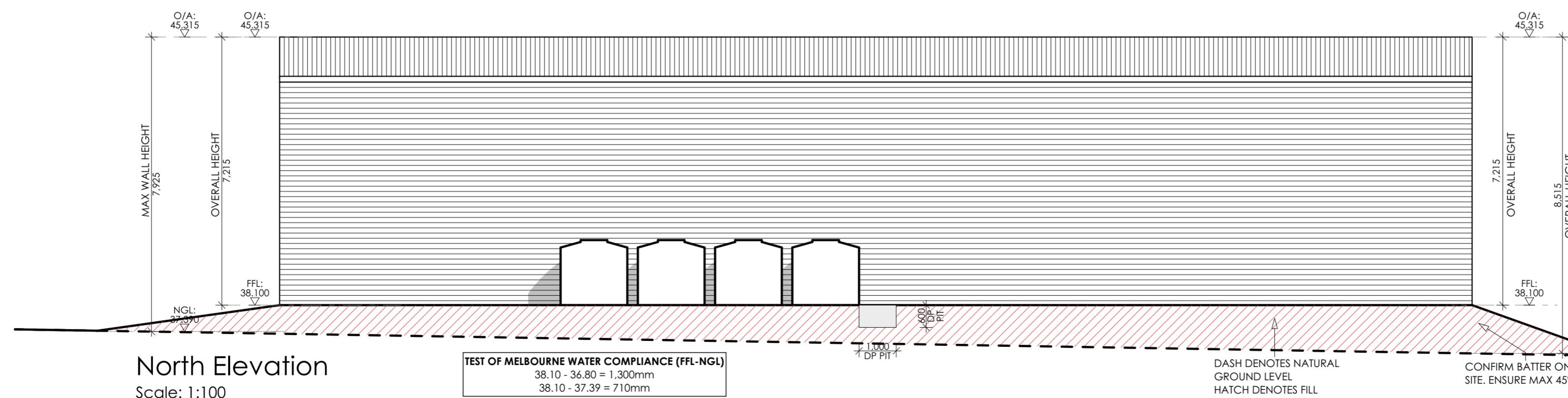
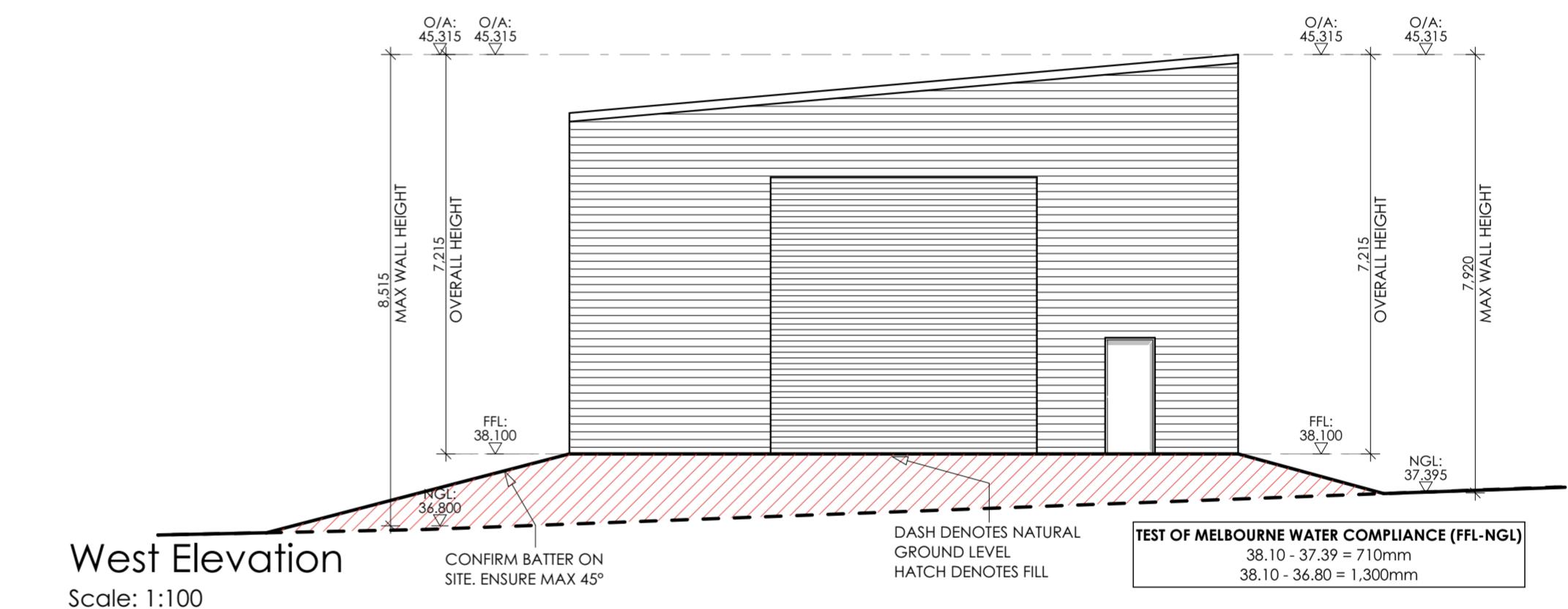
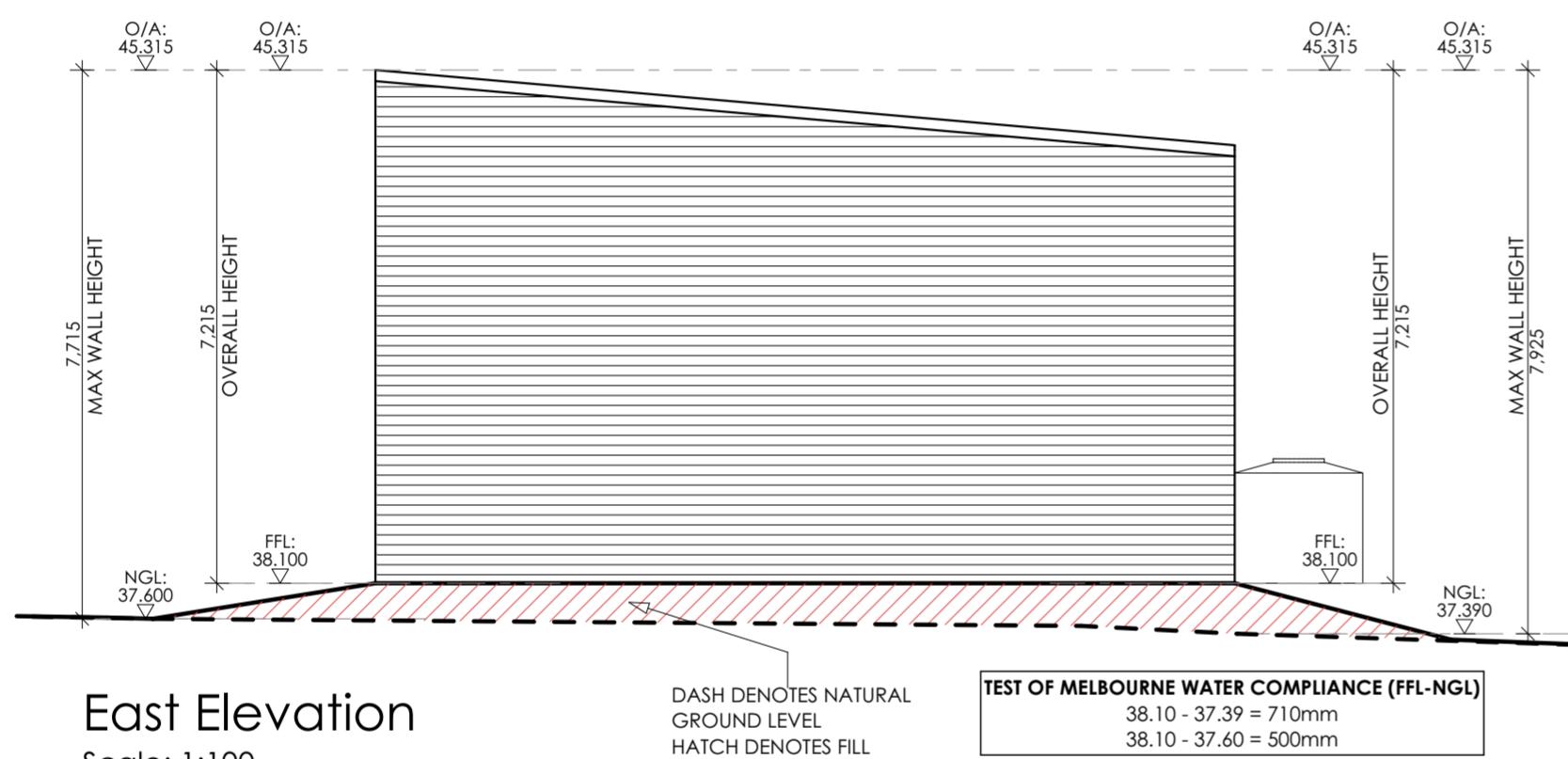
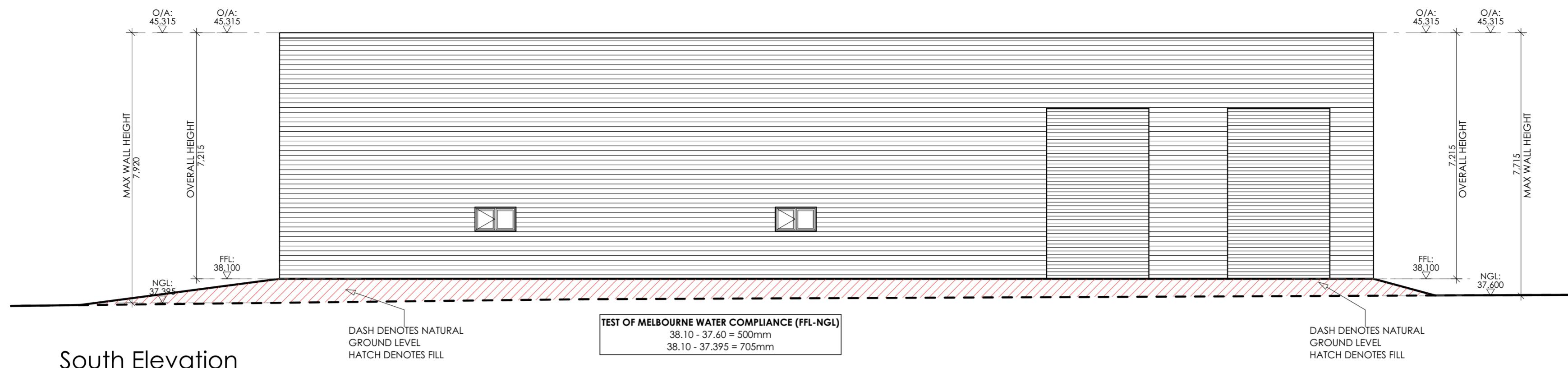


Floor Plan  
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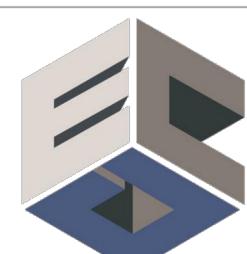
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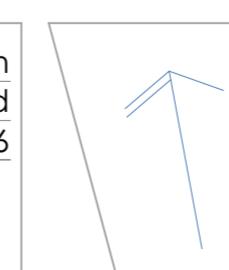
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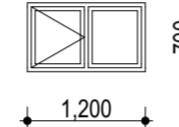
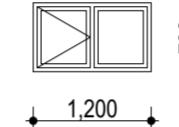
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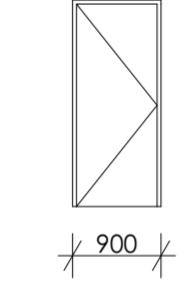
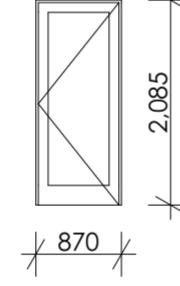
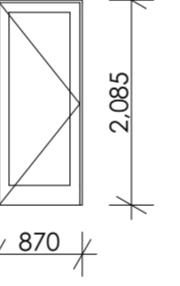
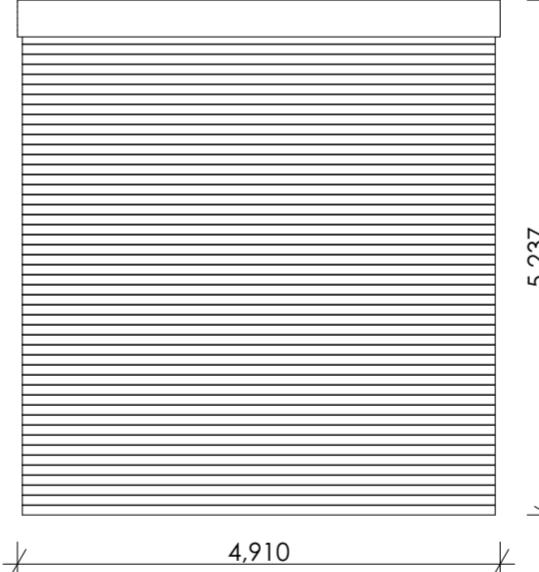
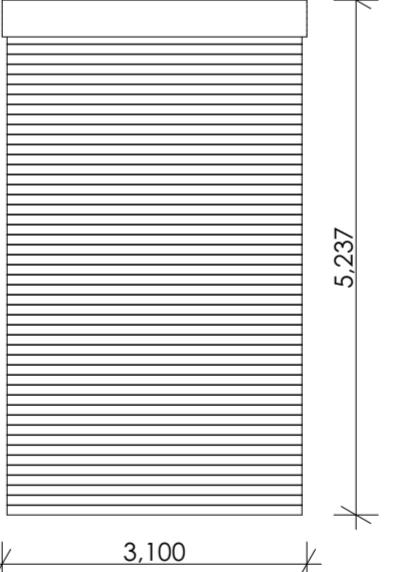
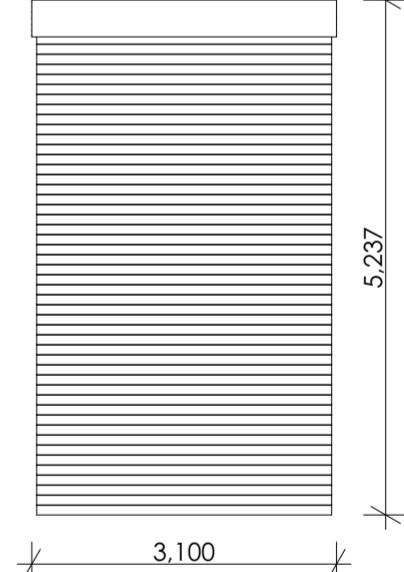
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Location	Ground Floor Plan	
Quantity	1	1
Width	1,200	1,200
Height	700	700
Head Height	2,100	2,100
Sill Height	1,400	1,400
Elevation View		
Window I.D.	00	00

Location	Ground Floor Plan , 1			*Intermediate , 1		
Leaf Dimensions	820x2,060	820x2,060	820x2,060	---	---	---
Elevation View						
Door I.D.	00	00	01	00	00	00

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DATE 22/01/24

BY 17/05/24

REV 08/07/24

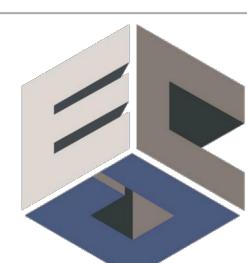
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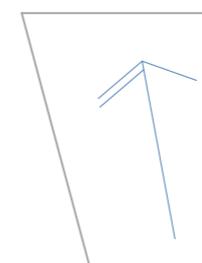
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Door & Window Schedule  
PAGE REF WD6 SET REF - JB00588  
DRAWN BT CHECKED AH  
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DESIGN

# GENERAL NOTES:

-DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY.

ALL MEASUREMENTS ARE IN MILLIMETRES.

-THE OWNER / BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, A.S. CODES, BUILDING REGULATIONS, LOCAL BY-LAWS AND TOWN PLANNING REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

-WHERE AUSTRALIAN STANDARDS ARE REFERENCED, COMPLY WITH THE RELEVANT PROVISIONS OF THE APPLICABLE CURRENT EDITION AS PRESCRIBED IN THE BUILDING CODE OF AUSTRALIA.

-THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS.

-10mm PLASTERBOARD TO CEILINGS & WALLS,

UNLESS INDICATED OTHERWISE.

-ALL BUILDING STRUCTURES INCLUDING FOOTINGS ARE NOT TO ENCROACH TITLE BOUNDARIES OR EASEMENTS.

-SLABS AND FOOTINGS TO BE CONSTRUCTED IN ACCORDANCE WITH AS-2870-2011.

-CONCRETE STRUCTURES TO BE IN ACCORDANCE WITH AS-3600-2009 AND ALL FORM WORK TO COMPLY WITH AS-3610.

-ALL TIMBER CONSTRUCTION IS TO BE IN

ACCORDANCE WITH AS-1684-2021.

-ALL WALL AND ROOF BRACING (INCLUDING ROOF TIE DOWN REQUIREMENTS) TO

COMPLY WITH AS-1684-2021.

## SOIL CLASSIFICATION:

ASSUME CLASS M

THIS CLASSIFICATION IS TO BE CONFIRMED ON SITE BEFORE COMMENCING ANY WORKS AND IS TO BE TO THE SATISFACTION OF THE RELEVANT BUILDING SURVEYOR.

## TERMITE TREATMENT:

- WHERE A BUILDING (OTHER THAN A CLASS 10a) IS LOCATED IN A DESIGNATED TERMITE INFESTED AREA THE SITE IS TO BE TREATED AND PROTECTED AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH AS-3660.1-2014.

## SMOKE ALARMS:

 SA - PROVIDE SMOKE ALARMS WHERE LOCATED ON FLOOR PLAN AND CONNECT TO MAIN POWER SOURCE WITH BATTERY BACK-UP IN ACCORDANCE WITH AS-3786-2023 & B.C.A. **NOTE:** WHERE MORE THAN ONE ALARM IS REQUIRED OR INSTALLED THOSE ALARMS MUST BE INTERCONNECTED.

## EXHAUST FANS:

 - PROVIDE SELECTED EXHAUST CEILING FANS AND INSTALL TO MANUFACTURERS DETAILS. DUCT DIRECTLY TO OUTSIDE FOR METAL ROOFS.  
(ROOMS NOT CONTAINING WINDOW MUST BE VENTED EXTERNALLY)

## SKYLIGHT DIFFUSERS:

 SKYLIGHT - NOMINAL 600x600 CEILING DIFFUSERS IN A FLUSH METAL POWDERCOATE FRAME WITH SELECTED OPAQUE ACRYLIC PANEL.

## EMERGENCY LIGHTING:

 EM - EMERGENCY LIGHTING TO BE PROVIDED WHERE SHOWN CEILING MOUNTED WITH BATTERY TO SUIT (AS SELECTED).

## INSULATION:

- PROVIDE INSULATION TO WALLS, FLOORS AND CEILINGS AS PER THE REQUIREMENTS OF THE THERMAL PERFORMANCE REPORT AND MUST COMPLY WITH AS-3742. PROVIDE SOUND-DAMPENING AND SARKING TO METAL ROOFS.

## SUB-FLOOR ACCESS:

- PROVIDE SUBFLOOR ACCESS DOOR WHERE MOST APPROPRIATE. CONFIRM POSITION AND TYPE WITH OWNER.

## MAN HOLES:

- PROVIDE MAN HOLE IN CEILING TO GAIN ACCESS TO ALL AREAS WITHIN THE ROOF SPACE. PROVIDE LIGHT SWITCH ADJACENT TO OPENING. CONFIRM FINAL POSITION AND DETAILS WITH OWNER.

## LIFT OFF HINGES:

- PROVIDE LIFT-OFF HINGES TO A SANITARY COMPARTMENT WHEN A TOILET PAN IS WITHIN 1200mm RADIUS OF THE DOOR'S HINGE. CONFIRM ON SITE TO BE IN ACCORDANCE WITH 10.4.2 OF THE ABCB HOUSING PROVISIONS.

## INFERRED WORKS:

- ANY WORKS NOT SPECIFICALLY CALLED FOR BY THE CONTRACT DOCUMENTS AND DRAWINGS, BUT REASONABLY OR OBVIOUSLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORKS SHALL BE DONE AT NO EXTRA COST TO THE OWNER. BUILDER SHALL SATISFY HIMSELF.

## SECURITY:

- BUILDER IS TO MAKE SITE SECURE AND SAFE ON ALL BOUNDARIES.

## WINDOWS / DOORS & GLAZING:

- **ALUMINIUM IMPROVED** WINDOW FRAMES AS SELECTED WITH POWDER COAT FINISH  
TIMBER WINDOW FRAMES AS SELECTED WITH EITHER PAINT OR STAINED FINISH.  
PVC WINDOW FRAMES AS SELECTED WITH PAINT FINISH.  
STEEL WINDOW FRAMES AS SELECTED.  
(REFER TO THE THERMAL PERFORMANCE REPORT FOR MINIMUM THERMAL VALUES).  
- WINDOW DIMENSIONS GIVEN ARE NOMINAL SIZES ONLY, ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. CONFIRM ON SITE BEFORE COMMENCING ANY WORKS. WINDOWS MUST BE FLASHED ALL AROUND.  
- WINDOW DIMENSIONS SHOWN ARE ACTUAL DIMENSIONS TO OUTSIDE OF WINDOW FRAME.  
- DOOR DIMENSIONS SHOWN ARE OVERALL LEAF DIMENSIONS.  
- REFER TO FLOOR PLANS FOR ALL WINDOW & DOOR LOCATIONS.  
- ALL WINDOWS NOTED WITH OBSCURE GLASS MUST BE INSTALLED WITH RESTRICTED VIEWING TO A MINIMUM OF 1700mm ABOVE FLOOR LEVEL (WHERE APPLICABLE).  
- OBSCURE GLAZING IS TO BE WHITE SEMI TRANSPARENT FILM INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. APPLY WHITE TRANSLUCENT FILM TO INSIDE FACE OF GLASS IN ACCORDANCE WITH MANUFACTURERS DETAILS. (CONFIRM WITH ANY PLANNING REQUIREMENTS).  
- ANY DOORS OR SIDE LIGHTS THAT CAN BE MISTAKEN FOR OPENINGS ARE REQUIRED TO BE PROVIDED WITH SIGHT MOTIFS IN ACCORDANCE WITH AS-1288-2021.  
- ALL WINDOWS TO BE IN ACCORDANCE WITH AS-2047-2014.  
- ALL GLAZING IS TO BE IN ACCORDANCE WITH AS-1288-2021.  
- GLAZING WITHIN 2000mm ABOVE FLOOR LEVEL IN BATHROOMS AND LAUNDRIES SHALL BE GRADE (A) SAFETY GLASS.  
- GLAZED PANELS WITHIN 500mm ABOVE THE FINISHED FLOOR LEVEL ARE TO BE GRADE (A) SAFETY GLASS.  
- GLAZED PANELS IN DOORS AND SIDE LIGHTS WITHIN 1200mm ABOVE FINISHED FLOOR LEVEL ARE TO BE GRADE (A) SAFETY GLASS.  
- ANY GRILLS OR VENTS POSITIONED WITHIN DOORS ARE TO BE POWDERCOATED ALUMINUM VENTILATION GRILLES.  
- ALL GRILLS AND VENTS ARE TO BE COMPLIANT WITH RELEVANT STANDARDS AND ARE TO BE ASSESSED BY, AND TO READ IN CONJUNCTION WITH, MECHANICAL ENGINEERS DRAWINGS.  
- ALL EXTERNAL DOORS ARE TO BE WATER RESISTANT AND WEATHER PROOFED APPROPRIATELY.

## WINDOW POSITIONING:

- ALL WINDOW OPENINGS ARE TO BE CONSTRUCTED TO BE EITHER:  
A) ALWAYS LOCATED TO BE CENTRE WITHIN LENGTH OF WALLS OR,  
B) AS DIMENSIONED.  
C) WINDOW HEADS AT NOMINAL 2400mm (UNLESS NOTED OTHERWISE).  
C) WINDOW HEAD HEIGHT VARIES (REFER TO ELEVATION).

## OPENABLE WINDOW PROTECTION:

- IF THE SURFACE BELOW AN OPENABLE WINDOW IS 4.0m OR GREATER FROM FLOOR LEVEL THEN A RESTRICTED OPENING DEVICE MUST BE PROVIDED TO NOT PERMIT A 125mm SPHERE TO PASS THROUGH.  
- IF THE SURFACE BELOW AN OPENABLE BEDROOM WINDOW IS 2.0m OR GREATER FROM FLOOR LEVEL AND ANY PORTION OF THE OPENABLE SASH IS BELOW 1.7m ABOVE FLOOR LEVEL, THEN A RESTRICTED OPENING DEVICE MUST BE PROVIDED TO NOT PERMIT A 125mm SPHERE TO PASS THROUGH.

## INTERNAL DOOR POSITIONING:

- ALL DOOR OPENINGS ARE TO BE CONSTRUCTED TO BE EITHER:  
A) ALWAYS LOCATED TO BE CENTRE WITHIN LENGTH OF WALLS OR,  
B) ALWAYS TO BE AT AN OFFSET OF 100mm FROM ADJOINING WALL OR,  
C) AS DIMENSIONED.  
D) DOOR HEADS AT NOMINAL 2100mm (UNLESS NOTED OTHERWISE).  
D) DOOR HEAD HEIGHT VARIES (REFER TO ELEVATION).

## ARTIFICIAL LIGHTING:

- THE LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF ARTIFICIAL LIGHTING, MUST NOT EXCEED:  
A) IN A CLASS 1 BUILDING - MAXIMUM 5<sup>WATTS</sup>/m<sup>2</sup>  
B) ON A VERANDAH OR BALCONY ATTACHED TO A CLASS 1 BUILDING - MAXIMUM 4<sup>WATTS</sup>/m<sup>2</sup>  
C) IN A CLASS 10A BUILDING - MAXIMUM 3<sup>WATTS</sup>/m<sup>2</sup>  
- WHERE ILLUMINATION POWER DENSITY IS USED, THE <sup>WATTS</sup>/m<sup>2</sup> MAY BE INCREASED WHERE A CONTROL DEVICE IS USED (E.G. DIMMER OR TIMER). REFER TO BCA TABLE 3.12.5.3. FOR THE ADJUSTMENT FACTOR.  
- LIGHTING AROUND THE PERIMETER OF A BUILDING MUST BE CONTROLLED BY A DAYLIGHT SENSOR OR HAVE AN AVERAGE LIGHT SOURCE EFFICACY OF MINIMUM 40LUMENS/W.

## ELECTRICAL SERVICES:

- COMPLY WITH THE REQUIREMENTS AND REGULATIONS ADMINISTERED BY THE LOCAL SUPPLY COMPANY.

## PLUMBING SERVICES:

- ALL PLUMBING, DRAINAGE AND SERVICES MUST COMPLY WITH AS/NZS 3500-2018 & THE B.C.A CONDUCT ALL NEGOTIATIONS, OBTAIN ALL APPROVALS AND PAY ALL FEES AND CHARGES DUE TO CONTROLLING AUTHORITIES.

## HEATING AND COOLING:

- BUILDER TO CONFIRM WITH OWNER ALL REQUIREMENTS FOR HEATING AND COOLING INCLUDING TYPE, INSTALLATION DETAILS, MANUFACTURERS REQUIREMENTS, ELECTRICAL AND PLUMBING REQUIREMENTS, DUCTWORK AND CONTROLLERS BEFORE COMMENCING ANY WORKS.

## WATER PROOFING:

- THE BUILDER SHALL ENSURE THE GENERAL WATER TIGHTNESS OF ALL EXTERNAL JUNCTIONS AND SEAL ALL PENETRATIONS.  
- WATERPROOFING OF WET AREAS BEING BATHROOMS, SHOWERS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS-3740-2021.  
- PROVIDE WATER RESISTANT FLOOR & WALL COVERINGS TO ALL WET AREAS.  
- THE WALL SURFACES OF A SHOWER AREA SHALL BE WATER RESISTANT TO A MINIMUM HEIGHT OF 1800mm ABOVE FINISHED FLOOR LEVEL.  
- WATERPROOFING IS REQUIRED TO THE ENTIRE FLOOR AREA OF ALL ENCLOSED AND UNENCLOSED SHOWERS. WATERPROOFING OF WALLS SHALL NOT BE LESS THAN 150mm ABOVE THE COMPRESSED FIBRE-CEMENT SHEET FLOOR SUBSTRATE. ALL PENETRATIONS, WALL JUNCTIONS AND JOINTS SHALL HAVE WATERPROOFING IN ACCORDANCE WITH AS-3740-2021.  
- WHERE A SHOWER IS UNENCLOSED OR NOT PROVIDED WITH A SCREEN, THE ENTIRE BATHROOM FLOOR AREA REQUIRES WATERPROOFING, AND IN ADDITION SHALL HAVE A SECOND FLOOR WASTE DRAIN INDEPENDENT OF THE SHOWER.  
- WHERE A SHOWER IS PROVIDED ABOVE THE BATH, THE FLOOR AREA WITHIN A RADIUS OF 1500mm FROM THE SHOWER OUTLET REQUIRES WATERPROOFING, IN ADDITION PROVISION OF A FLOOR WASTE DRAIN INDEPENDENT OF THE BATH IS REQUIRED.  
- ALL WET AREAS MUST BE CONSTRUCTED WITH FALL SO THAT WATER FLOWS TO WASTE POINTS WITHOUT PONDING IN ACCORDANCE WITH AS-3740-2021.  
- WATERPROOF MEMBRANES INSTALLED IN ACCORDANCE WITH AS-3740-2021.  
- ENSURE ALL EXTERNAL TIMBERS ARE IN ACCORDANCE WITH AS-1684.2 - APPENDIX C - DURABILITY. IF EXPOSED TO THE WEATHER, DURABLE TIMBERS ARE TO BE CLASSIFIED AS H3. IF IN CONTACT WITH THE GROUND, USE H5 AND SEAL APPROPRIATELY.

## CORROSION PROTECTION:

- PROVIDE CORROSION PROTECTION OF BUILT-IN STRUCTURAL STEEL MEMBERS INCLUDING BUT NOT LIMITED TO, STEEL LINTELS, SHELF ANGLES, CONNECTORS AND ACCESSORIES INCLUDING WALL TIES IN ACCORDANCE WITH TABLE 4.1 OF AS-4773.1-2010. (CONFIRM ENVIRONMENT CLASSIFICATION).  
- PROVIDE CORROSION PROTECTION FOR SHEET ROOFING IN ACCORDANCE WITH B.C.A TABLE 3.5.1.1.A.

## DOMESTIC WATER TANKS:

- SELECTED 2,000l fire (MINIMUM) RAINWATER TANK TO COLLECT NOT LESS THAN 50m<sup>2</sup> OF ROOF AREA AND BE INSTALLED TO MANUFACTURERS DETAILS. CONNECT TO TOILETS FLUSHING SYSTEM.

## DRAINAGE NOTES:

- STORMWATER AND SULLAGE SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF LOCAL AUTHORITIES.  
- DP COLORBOND DOWNPipe  
- DPS COLORBOND DOWNPipe WITH SPREADER  
- DPR COLORBOND DOWNPipe WITH RAINWATER HEAD  
- DOWNPipes SHALL BE MINIMUM 90mm Ø or 100x50mm.  
- ALL EXTERNAL GUTTERS TO BE A SLOTTED TYPE TO PROVIDE OVERFLOW EXTERNALLY.  
- DOWNPipes TO BE LOCATED WITHIN 1200mm OF A VALLEY GUTTER WHERE PRACTICAL. WHERE DOWNPipes ARE LOCATED MORE THAN 1200mm FROM A VALLEY GUTTER, PROVISION FOR AN OVERFLOW MUST BE MADE (SLOTTED GUTTER OR SIMILAR APPROVED).  
- DOWNPipe LOCATIONS SHOWN ON PLANS ARE SUGGESTIONS ONLY AND MAY VARY FOR PRACTICAL CONSTRUCTION REASONS. HOWEVER, A MAXIMUM OF 12m OF GUTTER LENGTH TO BE SERVED BY EACH DOWNPipe.  
- PROVIDE 90Ø AGI DRAINS AT BASE OF ALL CUTS, RETAINING WALLS AND TO HIGH SIDE OF BUILDING AND DISCHARGE INTO SWD VIA SILT PITS.  
- ALL CUTS TO HAVE A MINIMUM OF 45° BATTER AND BE A MINIMUM OF 900mm FROM FACE OF BUILDING AND 300mm FROM ANY BOUNDARY. CONFIRM ON SITE.  
- **IMPORTANT NOTE:** WHERE THERE IS NO LEGAL POINT OF DISCHARGE ALL STORM WATER MUST BE MAINTAINED ON SITE AND DIRECTED INTO AN EXISTING DAM.

## SEPTIC NOTES:

- THE ENVIRONMENT PROTECTION ACT REQUIRES THAT A PERMIT MUST BE ISSUED BY COUNCIL FOR ANY NEW SEPTIC TANK SYSTEM OR ANY ALTERATION TO AN EXISTING SYSTEM. ALL WASTEWATER HAS TO BE TREATED AND CONTAINED ON THE SITE IN ACCORDANCE WITH COUNCIL'S PUBLIC HEALTH SERVICES.

## LETTERBOXES:

- INSTALL FITTINGS FOR LETTER AND PAPER RECEPTEACLE INTO TIMBER OR MASONRY ENCLOSURE WHERE SHOWN ON PLANS. - CONFIRM WITH OWNER.

## PLANNING PERMIT CONDITIONS:

- THIS SET OF PLANS (WD1 - WD03) ARE TO BE READ IN CONJUNCTION WITH ENDORSED PLANNING DRAWINGS AND PLANNING PERMIT CONDITIONS.  
- BUILDER SHALL MAKE HIMSELF AWARE OF ALL PLANNING REQUIREMENTS, PLANNING CONDITIONS AND ASSOCIATED PLANS SHALL TAKE PREDENCE OVER ANY OTHER DRAWINGS AND DOCUMENTS UNLESS OTHERWISE APPROVED.

## EXCAVATION AT BOUNDARIES:

**CUT:** - BUILDER IS TO ENSURE THAT ANY EXCAVATIONS AT BOUNDARIES DO NOT UNDERRUN EXISTING COMMON OR ADJOINING STRUCTURES AND THOSE NEW CONDITIONS PROVIDE SAFE PASSAGE AT EITHER SIDE. ALL EXCAVATIONS ARE TO BE PROTECTED AGAINST COLLAPSE.  
**FILL:** - ANY AREA DENOTED AS FILLED ON ANY OTHER DRAWINGS SHALL BE FILLED WITH EXCAVATED OR IMPORTED EARTH. BUILDER IS TO ENSURE THAT ALL FILL IS CLEAN AND FREE OF ANY DEBRIS. REFER TO ENGINEERS PLANS FOR SPECIAL DETAILS.

## FIRE PLACE INSERTS & HEATING APPLIANCES:

- SELECTED FIRE PLACE INSERTS, SOLID FUEL HEATERS OR FREE STANDING APPLIANCES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS AND COMPLY WITH AS/NZS-2918 AND 9.3 OF THE ABCB HOUSING PROVISIONS.

## CHIMNEY OR FLUE CONSTRUCTION:

- THE CONSTRUCTION OF A CHIMNEY MUST BE IN ACCORDANCE WITH PART 5.2 AND 9.3 OF THE ABCB HOUSING PROVISIONS  
- THE WALLS OF THE CHIMNEY 300mm ABOVE THE FIREPLACE OPENING MUST BE LINED INTERNALLY TO A THICKNESS OF NOT LESS THAN 10mm WITH COMPOSITION MORTAR PARGING.  
- THE CHIMNEY OR FLUE MUST TERMINATE NOT LESS THAN 300mm ABOVE THE HIGHEST PART OF THE BUILDING WITHIN ANY HORIZONTAL DISTANCE OF 3.6m.  
- A CHIMNEY OR FLUE OF AN OPEN SOLID-FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

## OPEN FIREPLACES:

- AN OPEN FIREPLACE MUST BE CONSTRUCTED IN ACCORDANCE WITH PART 5.2 AND 9.3 OF THE ABCB HOUSING PROVISIONS

- THE HEARTH MUST BE CONSTRUCTED OF STONE, CONCRETE, MASONRY OR SIMILAR MATERIAL SO THAT IT EXTENDS HORIZONTALLY NOT LESS THAN 300mm BEYOND THE FRONT OF FIREPLACE OPENING & NO LESS THAN 150mm BEYOND EACH SIDE OF THE OPENING.  
- THE HEARths UPPER SURFACE IS TO BE LEVEL AND MUST NOT SLOPE AWAY FROM THE BACK OF THE HEARTH TO THE FRONT.  
- THE HEARths UPPER SURFACE MUST BE SITUATED NOT LESS THAN 150mm ABOVE ANY COMBUSTIBLE FRAMING MEMBERS OR FLOORING MATERIAL.  
- THE FIREPLACE REAR AND SIDE WALLS UP TO A HEIGHT OF 300mm ABOVE THE UNDERSIDE OF THE LINTEL:

A) MUST BE CONSTRUCTED IN 2 SEPARATE LEAVES OF SOLID MASONRY WITH AN OVERALL THICKNESS NOT LESS THAN 180mm THICK, EXCLUDING ANY CAVITY.  
B) MUST NOT CONSIST OF CONCRETE BLOCK MASONRY IN THE CONSTRUCTION OF THE INNER LEAF.

C) MUST BE CONSTRUCTED OF MASONRY UNITS WITH A NET VOLUME, EXCLUDING CORED AND SIMILAR HOLES, NOT LESS THAN 75% OF THEIR GROSS VOLUME, MEASURED ON THE OVERALL RECTANGULAR SHAPE OF THE UNITS, AND WITH AN ACTUAL THICKNESS OF NOT LESS THAN 100mm.

- THE FIREPLACE MUST BE CONSTRUCTED ON FOOTINGS COMPLYING WITH 4.2. OF THE ABCB HOUSING PROVISIONS

## WATER TANKS

SELECTED ABOVE-GROUND RAIN WATER TANK TO MANUFACTURERS SPECIFICATIONS AND DETAILS TO BE A MINIMUM CAPACITY OF 2000 LITRES AND BE INSTALLED IN SUCH A WAY THAT IT RECEIVES THE RAINFALL FROM A MINIMUM CATCHMENT AREA OF 50 SQUARE METRES. THE TANK IS TO BE CONNECTED TO ALL SANITARY FLUSHING SYSTEMS.

## SERVICE PIPES:

ALL SERVICE PIPES, (EXCLUDING DOWNPipes) FIXTURES AND FITTINGS MUST BE CONCEALED ON EXPOSED ELEVATIONS TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

# FRAMING SCHEDULE:

DOUBLE STOREY - SHEET ROOF  
FLOOR TYPE: SLAB - ENG. DESIGN  
TRUSS/RAFTER SPAN - 900mm  
MAXIMUM WALL HEIGHT - 2700mm

ARCHITECTURAL PLANS MUST BE READ IN CONJUNCTION WITH ENGINEERING DOCUMENTATION. ENGINEERED MEMBERS ARE TO SUPERSEDE MEMBERS NOMINATED BELOW. DISCREPANCIES SHALL BE REFERRED TO RELEVANT AUTHORITY FOR INTERPRETATION PRIOR TO INSTALLATION

DECKING SUBFLOOR & PERGOLA / VERANDAH:  
(exposed members to be H3 treated)

BEARERS: 2/140x45mm DTP F7 @ 1800cts MAXIMUM CONT. SPAN 1600mm  
EDGE BEAMS: 240x45mm DTP F7 @ 1800cts MAXIMUM CONT. SPAN 1600mm

JOISTS: 90x45mm DTP F7 @ 450cts MAXIMUM CONT. SPAN 1600mm

POSTS: 100x100 F5 CYPRESS

RAFTERS: 90x45 DTP MGP 10 @ 900 CTS.

BATTENS: 90x35 MGP 12 @ 900 CTS. MAX

RIDGE BEAM: 240x45 DTP MGP 10,

COLLAR TIES: 90x45 DTP (COLLAR TIES TO BE BOLTED WITH M10 GAL. COACH BOLTS - 2 BOLTS MIN PER CONNECTION)

SINGLE STOREY/UPPER STOREY LB WALLS:

COMMON STUD: 90x35mm MGP10 @ 450cts MAXIMUM HEIGHT 2700mm

JAMB STUDS: 2/90x45mm MGP 10 MAXIMUM OPENING 2400mm

BOTTOM PLATE: 90x45mm MGP 10

TOP PLATE: 2/90x45mm MGP 10

POINT LOADS LINTELS - TO ENGINEERS DESIGN

POINT LOADS STUDS - TO ENGINEERS DESIGN

BRACING: BRACING MUST BE PROVIDED IN ACCORDANCE WITH AS1684 & ENGINEERS DOCUMENTATION

LINTELS (TRUSSES/RAFTER SPAN 12000mm):

900mm: 90x45mm F17

1200mm: 90x45mm F17

1500mm: 140x45mm F17

1800mm: 190x45mm F17

2100mm: 190x45mm F17

2400mm: 240x45mm F17

3000mm: TO ENGINEERS DESIGN

3600mm: TO ENGINEERS DESIGN

POINT LOADS LINTELS - TO ENGINEERS DESIGN

TIMBER POSTS:

POSTS: 100x100mm F5 CYPRESS OR SIMILAR MAXIMUM SPACING 2700mm

ROOF STRUCTURE:

STRUCTURE: PREFABRICATED ROOF TRUSSES @ 900 CTS.

BATTENS: OB OR TOP HAT @ 900 CTS.

BRACING: ROOF TIE-DOWN & BRACING TO AS1684

SPECIAL: REFER TO ENGINEERING PLANS FOR SPECIAL ROOFING REQUIREMENTS

## STEEL LINTEL SCHEDULE:

SPAN	MIN END BEARING	4 COURSES	FULL WALL OR GABLE
0 TO 900	115	90x90x6 UA	100x6 L
900 - 1800	130	100x100x8 EA	150x90x8 UA
1800 - 3000	200	150x100x10 UA	150x100x10 UA

### LINTELS:

BUILDER IS TO NOTE THAT LINTELS SELECTED BY THE ENGINEER ARE DESIGNED TO CARRY ONLY STANDARD TILED ROOFING AND TRUSS LOADS WHERE TRUSSES ARE AT 600mm MAXIMUM CTS. IF ANY GIRDER TRUSSES ARE LOCATED DIRECTLY ON ANY LINTELS THE TRUSS MANUFACTURER AND / OR BUILDER IS TO REFER TO THE ENGINEER TO CONFIRM IF LINTEL AND SUPPORTING STUDS ARE ADEQUATE.

### TERMITE TREATMENT:

THIS SITE MUST BE TREATED AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH AS. 3660.1 AND TO LOCAL AUTHORITIES SATISFACTION. THROUGH INSTALLATION OF EITHER A PHYSICAL BARRIER OR CHEMICAL TREATMENT

### SMOKE DETECTORS:

ALL BEDROOMS TO BE PROTECTED BY SMOKE DETECTORS AND ON EVERY LEVEL IN ACCORDANCE WITH AS 3786-2023. AND TO BE INSTALLED IN ACCORDANCE WITH PART 9.2 OF THE ABCB HOUSING PROVISIONS. NEW SMOKE ALARMS MUST BE CONNECTED DIRECTLY TO CONSUMER MAINS POWER WHERE CONSUMER MAINS POWER IS SUPPLIED TO THE BUILDING.

### SUBFLOOR CLEARANCE

MIN CLEARANCE UNDER BEARER TO BE 200mm FOR THE FIRST 2000mm ON A SLOPING SITE REMAINDER TO BE 400mm IN ACCORDANCE WITH A.S. 3660.1

### BRACING AND TIE DOWN:

ALL ROOF AND WALL BRACING TO AS 1684.2-2021. REFER TO ENGINEERING DOCUMENTATION FOR TOE-DOWN REQUIREMENTS

### WEEP HOLES & FLASHINGS:

- PROVIDE WEEP HOLES AT MAX. 1200mm CTRs TO ALL EXTERNAL MASONRY WALLS IN ACCORDANCE WITH PART 5.2 AND 9.3 OF THE ABCB HOUSING PROVISIONS  
- PROVIDE WEEP HOLES OVER OPENINGS IN EXTERNAL MASONRY WALLS AS REQUIRED AT MAX. 1200mm CTRs. EXCEPT WHERE OPENINGS ARE PROTECTED BY EAVES THREE TIMES THE HEIGHT BETWEEN THE WINDOW HEAD AND LOWEST POINT OF EAVE.  
- THE INSTALLATION OF HEAD AND SILL FLASHINGS OVER AND BELOW OPENINGS IN MASONRY WALLS TO BE IN ACCORDANCE WITH PART 5.7 OF THE ABCB HOUSING PROVISIONS  
- FLASHINGS TO ALL NON MASONRY WALL OPENINGS MUST BE PROVIDED IN ACCORDANCE WITH AS/NZS-2904 AND COMPLY WITH PART 7.2 OF THE ABCB HOUSING PROVISIONS

### CONTROL JOINTS:

- PROVIDE CONTROL JOINTS IN MASONRY WALLS SPACED IN ACCORDANCE WITH AS-3700-2018  
- ALL CONTROL JOINTS MUST COMPLY WITH THE SOIL REPORT AND/OR AS INDICATED BY THE STRUCTURAL ENGINEERS COMPUTATIONS AND DRAWINGS.

### SUBFLOOR, DECK, FRAMING AND FOOTING LAYOUT

JOISTS- F7 KDTP 90x45 CCA TREATED RADIANA PINE @450 MM CRS (1400MM MAX SPAN) FOR DECK, OR F17 90x45 KDHW OR LVL @450 MM CRS (1600MM MAX SPAN) FOR SUBFLOOR ;  
BEARERS- F7 KDTP 2190x45 CCA TREATED RADIANA PINE (1400MM MAX SPAN) FOR DECK, OR  
F17 90x45 KDHW OR LVL @450 MM CRS (1600MM MAX SPAN) FOR SUBFLOOR;  
N20 CONCRETE PADS 350MM DIAM 200MM MIN. THK, FOUNDED 650MM MIN BELOW GROUND LEVEL AND 100MM MIN. INTO APPROVED UNDISTURBED NATURAL SOIL MATERIAL, BACKFILLED WITH N20 CONCRETE.  
ALSO REFER TO PFI DETAILING.

\*NOTES: CONVENTIONAL FLOOR LOADING APPLIES ONLY. NO CONCENTRATED ACTION ALLOWED .  
PROVIDE 1200MM MAX BEARER'S SPAN FOR TILED FLOORS. SPECIFICATIONS ABOVE ARE APPLIED UNLESS NOTED OTHERWISE ON THE DRAWINGS.

### TREE PROTECTION:

ALL EXISTING VEGETATION SHOWN ON THE ENDORSED PLANS WHICH ARE TO REMAIN MUST BE CLEARLY MARKED BEFORE ANY DEVELOPMENT STARTS ON THE SITE. ALSO VEGETATION MUST NOT BE REMOVED, DESTROYED OR LOPPED WITHOUT WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY.

### REINFORCED MASONRY:

REINFORCED MASONRY EXTERNAL WALLS MUST CONSIST OF MASONRY UNITS COMPLYING WITH AS 3700 & CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:

1. THE EXTERNAL WALL THICKNESS MUST NOT BE LESS THAN 140MM

2. TIE DOWN RODS MUST BE PROVIDED AND MUST BE:

- NOT LESS THAN 112mm STEEL REINFORCING BAR 9OR EQUIVALENT
- SPACED AT NOT MORE THAN 1.8M CENTRES BETWEEN OPENINGS
- FULLY GROUTED INTO THE BLOCKWORK WITH A GROUT HAVING A CHARACTERISTIC COMPRESSIVE STRENGTH OF 20 MPa
- LAPPED WITH COGGED STEEL STARTED BARS OF A SIZE NOT LESS THAN THE TIE DOWN RODS, SET 250mm INTO THE CONCRETE EDGE BEAM OR FOOTING IN ACCORDANCE WITH PART 5.2 OF THE ABCB HOUSING PROVISIONS

### ARTICULATION JOINTS:

- PROVIDE FULL HEIGHT ARTICULATION JOINTS IN MASONRY WALLS SPACED IN ACCORDANCE WITH THE SOIL REPORT AND THE CEMENT AND CONCRETE ASSOCIATION OF AUSTRALIA TECHNICAL NOTE 61.
- THEY ARE REQUIRED TO BE 10mm WIDE WITH A POLYTHENE FOAM BACKING ROD AND FILLED WITH AN APPROVED FLEXIBLE SEALANT TO MANUFACTURERS DETAILS. FINISHED WITH COLOUR TO SUIT.
- ARTICULATION JOINTS ARE TO BE PROVIDED:  
**AND**
- MUST COMPLY WITH AS-3700-2011, THE B.C.A AND/OR AS INDICATED BY STRUCTURAL ENGINEERS COMPUTATIONS AND DRAWINGS.

### SUBFLOOR VENTILATION:

THE SUB FLOOR SPACE BETWEEN THE SUSPENDED FLOOR OF A BUILDING & THE GROUND MUST BE IN ACCORDANCE WITH THE FOLLOWING:

1. THE SUB FLOOR SPACE MUST BE: CLEARED OF ALL BUILDING DEBRIS AND VEGETATION, BE CROSS VENTILATED BY MEANS OF OPENINGS, CONTAIN NO DEAD AIR SPACES, BE GRADED IN ACCORDANCE WITH PART 3.2 OF THE ABCB HOUSING PROVISIONS. HAVE EVENLY SPACED VENTILATION IN OPENINGS IN ACCORDANCE WITH THE BELOW DIAGRAM
2. IN DOUBLE LEAF MASONRY WALLS, THE CROSS FLOW VENTILATION OPENINGS MUST BE PROVIDED IN BOTH LEAVES OF MASONRY WITH BOTH LEAVES ALIGNED TO ALLOW UNOBSTRUCTED AIR FLOW.
3. INTERNAL WALLS CONSTRUCTED IN SUB FLOOR SPACES MUST BE PROVIDED WITH OPENINGS HAVING AN UNOBSTRUCTED AREA EQUIVALENT TO THAT REQUIRED FOR THE ADJACENT EXTERNAL OPENINGS AND BE EVENLY DISTRIBUTED THROUGHOUT SUCH INTERNAL WALLS.
4. THE CLEARANCE BETWEEN THE GROUND SURFACE & THE UNDERSIDE OF THE FLOOR MUST BE IN ACCORDANCE WITH PART 6.2 OF THE ABCB HOUSING PROVISIONS
5. THE SUB FLOOR VENTILATION OPENINGS IN INTERNAL AND EXTERNAL WALLS MUST BE IN ACCORDANCE WITH PART 6.2 OF THE ABCB HOUSING PROVISIONS FOR CLIMATIC ZONES GIVEN
6. WHERE VENTILATION IS OBSTRUCTED BY PATIOS, PAVING OR THE LIKE, ADDITIONAL VENTILATION MUST BE PROVIDED TO ENSURE THE OVERALL LEVEL OF VENTILATION IS MAINTAINED.
7. WHERE THE GROUND OR SUB FLOOR SPACE IS EXCESSIVELY DAMP OR SUBJECT TO FREQUENT FLOODING IN ADDITION TO ABOVE REQUIREMENTS. THE AREA OF VENTILATION REQUIRED IN 5 MUST BE INCREASED BY 50% OR, A SEALED IMPERVIOUS MEMBRANE MUST BE PROVIDED OVER THE GROUND OR, DURABILITY CLASS 1 OR 2 TIMBERS OR H3 PRESERVATIVE TREATED TIMBERS IN ACCORDANCE WITH AS 1684 PARTS 2, 3, OR 4

### TYPICAL LANDING:

IF A STAIRCASE HAS 3 OR MORE RISERS OR IN EXCESS 570MM A MINIMUM LANDING OF 750MM BEFORE THE DOORWAY.

### INTERNAL STAIRS:

**STAIR 1:**  
FLOOR TO FLOOR = ??mm NOMINAL  
TO BE CONFIRMED ON SITE - PROVIDE ?? EQUAL RISERS.

**STAIR 2:**  
FLOOR TO FLOOR = ??mm NOMINAL  
TO BE CONFIRMED ON SITE - PROVIDE ?? EQUAL RISERS.

### TYPICAL NOTES:

- EACH FLIGHT MUST NOT HAVE MORE THAN 18 RISERS.
- MINIMUM HEAD HEIGHT TO STAIRWAY MUST NOT BE LESS THAN 2000mm.
- PROVIDE CONTINUOUS HANDRAIL ALONG AT LEAST ONE SIDE OF STAIR.
- NON SLIP SURFACE TO BE PROVIDED TO STAIRWAYS, RAMPS & LANDINGS.
- RISERS: @ BETWEEN (190mm and 115mm) ALL RISERS TO BE EQUAL.
- TREADS: @ BETWEEN (240mm and 355mm) ALL TREADS TO BE EQUAL.
- OPEN RISERS MUST NOT PERMIT A 125mm SPHERE TO PASS THROUGH AND COMPLY WITH PART 11.2 OF THE ABCB HOUSING PROVISIONS
- RISER / TREAD SLOPE RELATIONSHIP MUST COMPLY WITH (2R+G = >550, <700) AND THE B.C.A
- STAIRS TO BE IN ACCORDANCE WITH AS-1657-1992.

**HANDRAILS:**  
WHERE THE DISTANCE FROM FINISHED FLOOR LEVEL TO GROUND / FLOOR EXCEEDS 1000mm

**PROVIDE:**  
**LANDINGS:**  
- HANDRAILS 1000mm HIGH ABOVE FINISHED FLOOR LEVEL.

**STAIRS:**  
- HANDRAILS 865mm HIGH MEASURED VERTICALLY ABOVE NOSING OF STAIR.  
- BALUSTERS MUST BE SPACED TO COMPLY WITH PART 11.3 OF THE ABCB HOUSING PROVISIONS AND SO THAT IT IS NOT PERMISSABLE FOR A 125mmØ SPHERE TO PASS THROUGH.

WHERE THE DISTANCE FROM FINISHED FLOOR LEVEL TO GROUND / FLOOR EXCEEDS 4000mm NO ELEMENT WITHIN THE BALUSTRADE BETWEEN 150mm AND 760mm ABOVE FLOOR CAN FACILITATE CLIMBING.

### EXTERNAL STAIRS:

- EXTENT, POSITION AND TYPE OF ANY EXTERNAL STEPS ARE TO BE DETERMINED ON SITE TO OWNERS APPROVAL.
- RISERS @ 190mm MAXIMUM AND 115mm MINIMUM / ALL RISERS TO BE EQUAL.
- TREADS @ 240mm MINIMUM AND 355mm MAXIMUM.

### SPIRAL STAIRS:

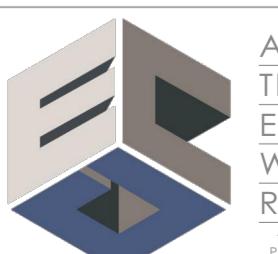
**STAIR 2:**  
FLOOR TO FLOOR = ??mm NOMINAL  
TO BE CONFIRMED ON SITE - PROVIDE ?? EQUAL RISERS.

### TYPICAL NOTES:

- EACH FLIGHT MUST NOT HAVE MORE THAN 18 RISERS.
- MINIMUM HEAD HEIGHT TO STAIRWAY MUST NOT BE LESS THAN 2000mm.
- PROVIDE CONTINUOUS HANDRAIL ALONG AT LEAST ONE SIDE OF STAIR.
- NON SLIP SURFACE TO BE PROVIDED TO STAIRWAYS, RAMPS & LANDINGS.
- RISERS: @ BETWEEN (140mm and 220mm) ALL RISERS TO BE EQUAL.
- TREADS: @ BETWEEN (210mm and 370mm) ALL TREADS TO BE EQUAL.
- TEADS ARE MEASURED 7 TENTHS (70%) OF THE UNOBSTRUCTED WIDTH FROM THE CENTRE HANDRAIL OR CENTRE SUPPORT POST.
- OPEN RISERS MUST NOT PERMIT A 125mm SPHERE TO PASS THROUGH AND COMPLY WITH PART 11.2 OF THE ABCB HOUSING PROVISIONS
- RISER / TREAD SLOPE RELATIONSHIP MUST COMPLY WITH (2R+G = >590, <680) AND THE B.C.A
- STAIRS TO BE IN ACCORDANCE WITH AS-1657-1992.

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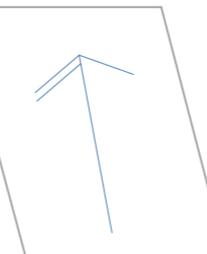
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WEBSITE www.eastcad.com.au  
REGISTERED BUILDING PRACTITIONER DP-AD 74540

PROPOSED WORKS  
PROJECT ADDRESS

Hao Shen  
Proposed Shed  
94 Murray Road, Modella, 3816



Specifications  
PAGE REF WD8 SET REF - JB00588  
DRAWN BT CHECKED AH  
**eastcad**  
DESIGN

Town Planning Amendment -23 Oct 2025

BUILDING SPECIFICATION AND SCHEDULE OF MATERIALS	
NCC BUILDING CLASS	10A - <a href="https://www.abcb.gov.au/sites/default/files/resources/2022/utncc-building-classifications.pdf">HTTPS://WWW.ABCB.GOV.AU/SITES/DEFAULT/FILES/RESOURCES/2022/UTNCC-BUILDING CLASSIFICATIONS.PDF</a>
BUILDING DIMENSIONS	12.000 M (W) X 32.000 M (L) X 6.000 M (H)
MAIN FRAME DETAILS	MAIN = 2C30030, ROOF PURLIN = Z15015, WALL GIRT = Z15015
NUMBER OF SIDEWALL BAYS	6 - 5.333 M
NUMBER OF ENDWALL BAYS	3 - VARIES
MAIN FRAME KNEE BRACE	THE FRAME HAS A KNEE BRACE AT APPROXIMATELY 4.309 M/3.670 M (HIGHSIDE/LOWSIDE) FROM SLAB.
BUILDING FIXED TO	100MM SLAB WITH BORED FOOTINGS
BASE FIXING	CAST IN ANCHOR BRACKETS
APEX HEIGHT	7.050 M
ROOF PITCH	MONOPITCH 5 DEG
WALL CLADDING	MONOCLAD 0.47 TCT COLOUR
ROOF CLADDING	MONOCLAD 0.47 TCT COLOUR
GUTTERS	HI FRONT GUTTER
DOWN PIPES	STORMWATER PVC DOWNPipe 90MM - 6M LENGTH
BASE TRIM	NONE
ROLLER DOORS	2X 5100H X 3650W OPENING TAUREAN SERIES B ROLLER DOOR MONUMENT 1X 5100H X 4250W OPENING TAUREAN SERIES B ROLLER DOOR MONUMENT
ROLLER DOOR INCLUSIONS	2X METAL WRAP PACKAGING 4 METRE 1X METAL WRAP PACKAGING 5 METRE
ACCESS DOORS	1X PA DOOR 2040H X 820W COLOUR MONUMENT
WINDOWS	2X 790H X 1731W XO SLD WDW 4MM CLR FLT S1200 U3000 W300PA MONUMENT
OPENINGS ONLY	NONE
INSULATION	NONE
SKYLIGHTS	2X POLYCARB ROOF SKYLIGHTS IN ROOF - GREY TINT ONLY
MEZZANINE BAYS	N/A
MEZZANINE FLOOR HEIGHT	N/A HEIGHT IS TO THE TOP OF YELLOW TONGUE FLOORING (STEEL WORK ONLY SUPPLIED – FLOORING, STAIRS AND HANDRAILS NOT SUPPLIED BY EASYSHED)
LEAN-TO A SPAN	N/A
LEAN-TO A HEIGHT	N/A
LEAN-TO B SPAN	N/A
LEAN-TO B HEIGHT	N/A
GROUND SNOW LOAD	N/A
ADDITIONAL ROOF LOAD APPLIED	0.15 KPA
EXTRAS INC IN YOUR QUOTE	N/A

COLOUR SELECTION	
WALL COLOUR	MONUMENT
ROOF COLOUR	MONUMENT
TRIM COLOUR	MONUMENT (MON)
END BARGE COLOUR	MONUMENT
RIDGE CAP COLOUR	N/A
CORNER TRIM COLOUR	MONUMENT
OPENING TRIM COLOUR	MONUMENT
GUTTER COLOUR	MONUMENT
DOWN PIPE COLOUR	STORMWATER PVC DOWNPipe 90MM - 6M LENGTH
ROLLER DOOR COLOUR	2X 5100H X 3650W OPENING TAUREAN SERIES B ROLLER DOOR MONUMENT 1X 5100H X 4250W OPENING TAUREAN SERIES B ROLLER DOOR MONUMENT
PERSONAL ACCESS DOOR COLOUR	1X PA DOOR 2040H X 820W COLOUR MONUMENT
WINDOW COLOUR	2X 790H X 1731W XO SLD WDW 4MM CLR FLT S1200 U3000 W300PA MONUMENT



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