



Application for a Planning Permit

Section 1: LAND DETAILS

Unit Number:	Street Number: 275	Street Name: North Yannathan
Town: Modella	Postcode: 3816	

FORMAL LAND DESCRIPTION (Please complete either A or B – this information can be found on the Certificate of Title)

Option A:

Lot No:	1
Type of Plan: Please tick ✓	Lodge Plan <input type="checkbox"/> Title Plan <input checked="" type="checkbox"/> Plan of Subdivision <input type="checkbox"/>
Plan Number:	TP539846W

Option B:

Crown Allotment Number:	
Section Number:	
Parish/Township Name:	

Section 2: PERMIT APPLICANT

Name:	
Business:	
Postal Address:	
Telephone No. (H)	
Email Address:	

Section 3: OWNER DETAILS (If different to the Applicant)

Name(s):	
Postal Address:	
Telephone No. (H)	
Email Address:	

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Section 4: DEVELOPMENT COST - Estimated Cost of development for which the permit is required

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Section 5: PROPOSAL You must give full details of the proposal being applied for. Insufficient or unclear information will delay your application..

Advertised

For what use, development or other matter do you require a permit?

Development:

<input type="checkbox"/> Advertising Signage	<input type="checkbox"/> Development of 2 or more dwellings Qty: <input style="width: 50px;" type="text"/>
<input type="checkbox"/> Agricultural Outbuildings	<input type="checkbox"/> Mixed Use Development and Reduction of Carparking
<input type="checkbox"/> Buildings and Works and Reduction in Carparking	<input type="checkbox"/> Residential Outbuildings
<input type="checkbox"/> Commercial or Industrial Buildings and Works	<input type="checkbox"/> Single Dwelling
<input type="checkbox"/> Extension / Alteration to Dwelling	<input type="checkbox"/> Telecommunications

Use:

<input type="checkbox"/> Buildings and Works and Change of Use	<input type="checkbox"/> Home Based Business
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Sale and Consumption of Liquor
<input type="checkbox"/> Change of Use and Single Dwelling	

Subdivision:

<input type="checkbox"/> Boundary Realignment	<input type="checkbox"/> 3 or more Lot Subdivision Qty: <input style="width: 50px;" type="text"/>
<input type="checkbox"/> Variation/ Removal of Restriction	<input type="checkbox"/> Create an easement
<input type="checkbox"/> 2 Lot Subdivision	<input type="checkbox"/> 100 or more Lot Subdivision Qty: <input style="width: 50px;" type="text"/>

Subdivision / Vegetation Removal:

<input type="checkbox"/> Native Vegetation Removal or Lopping	<input type="checkbox"/> Non Native Vegetation Removal or Lopping (ESO4)
<input type="checkbox"/> Subdivision Qty: <input style="width: 50px;" type="text"/>	<input type="checkbox"/> Alteration of access RDZ1

Other:

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, Section 173 agreement or other obligation such as an easement or building envelope?

Yes No Not Applicable (no such covenant, section 173 agreement or restriction applies)

If yes, you should contact Council for advice as to how to proceed with the application.

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FURTHER DETAILS OF PROPOSAL (optional)

Section 6: EXISTING CONDITIONS Describe how the land is used and developed now.

Advertised

Provide a plan of the existing conditions. Photos are also helpful.

Refer to Drawings attached

Section 7: PRE-APPLICATION MEETING Has there been a Pre-Application meeting with a Council Planning Officer?

No

Yes

If yes, with whom?

Date of this meeting

Section 8: DECLARATION This form must be signed. Complete box A or B

A. I declare that I am the Applicant and owner of this land and that all information given is true and correct.

Owner/ Applicant signature:

Date:

B. I/We the Applicant declare that I/We have notified the owner about this application and that all information given is true and correct.

Applicant Signature:

Date: 23-01-2025

CHECK LIST Please ensure you have included the following items with your application form. *Failure to provide all the information above may result in a delay in the processing of the application.*

A fully completed and signed copy of this form.

Most applications require a fee to be paid. *Please make payment at time of lodgement if submitting at Councils Customer Service Centre or submitting through our on-line portal. If emailing your application, a payment link will be sent to your nominated email once registered on the system.*

Contact Council to determine the appropriate fee.

Full and current copy of title and title plan (no older than 60 days) for each individual parcel of land forming the subject site. The title includes: the covering register search statement, the title plan and the associated title documents (known as instruments).

Provided plans showing the layout and details of the proposal

Provided any information required by the planning scheme, requested by Council

Provided a description of the likely effect of the proposal (if required)

Completed the declaration in Section 8

Provided a contact phone number and e-mail address

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PLEASE FORWARD THIS APPLICATION TO

Advertised

E-mail:	planning@bawbawshire.vic.gov.au	Mail:	Planning Department, Baw Baw Shire Council PO Box 304 Warragul VIC 3820
Phone:	5624 2411		
In Person:	Customer Service Centre: 33 Young Street Drouin		

The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application.

These third parties generally include, but are not limited to:

Transport Infrastructure Agencies such as VicRoads and VLine

Energy/Utilities Providers

Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

All information collected and held by Council is managed in accordance with Councils Privacy Policy which is available on our website. If you choose not to supply the requested information it may impair the ability of Council to consider your application or prevent Council from communicating with you in relation to your application.

If you have any concerns or require access to the information held by Council, please contact us on 5624 2411.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 07230 FOLIO 885

Security no : 124122226422W
Produced 21/02/2025 07:04 AM

LAND DESCRIPTION

Lot 1 on Title Plan 539846W.
PARENT TITLE Volume 02894 Folio 628
Created by instrument 1991037 13/03/1946

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AN319468K 28/11/2016
BENDIGO AND ADELAIDE BANK LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP539846W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 275 NORTH YANNATHAN ROAD MODELIA VIC 3816

ADMINISTRATIVE NOTICES

NIL

eCT Control 03500L BENDIGO AND ADELAIDE BANK LTD - SAFE CUSTODY
Effective from 21/07/2017

DOCUMENT END

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Document Type	Plan
Document Identification	TP539846W
Number of Pages (excluding this cover sheet)	1
Document Assembled	21/02/2025 07:04

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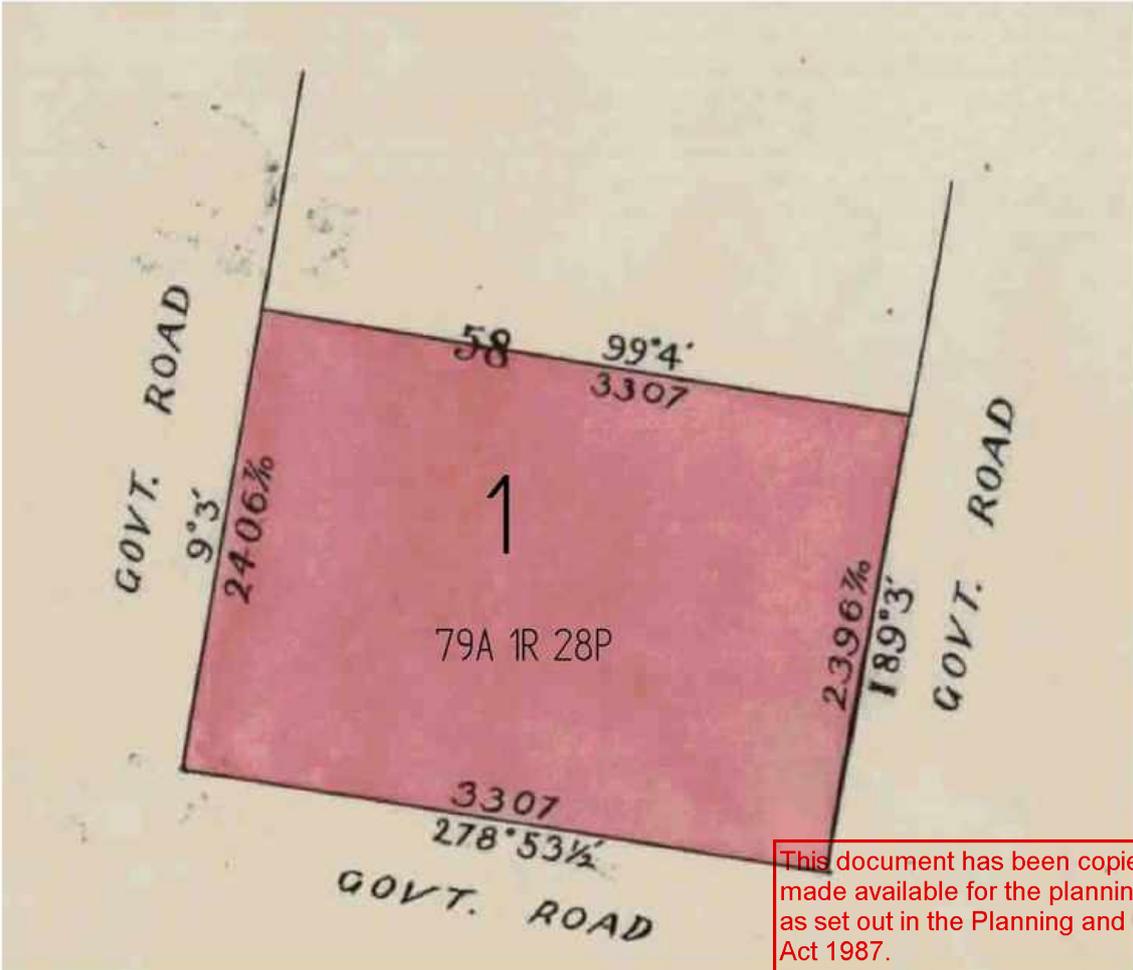
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Advertised

TITLE PLAN	EDITION 1	TP 539846W
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Location of Land Parish: YANNATHAN Township: Section: Crown Allotment: 58(PT) Crown Portion: Last Plan Reference: Derived From: VOL 7230 FOL 885 Depth Limitation: NIL	Notations ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN
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Description of Land / Easement Information	THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED: 20/06/2000 VERIFIED: GB
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TABLE OF PARCEL IDENTIFIERS	
WARNING: Where multiple parcels are referred to or shown on this Title Plan, this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962	
PARCEL 1 = CA 58 (PT)	

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REGULARISATION OF DECK AND VERANDAH 275 YANNTHAN NORTH, MODELLA VIC 3816



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PRINT DATE & TIME: 10/11/2025 4:08:06 PM C:\Users\USER\Desktop\00 ID PROJECTS 2025\24111=2025-10-22 YANNTHAN ARCH CAD\24111-YANNTHAN_ACH07.rte

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REGULARISATION

Status

REV	DATE	DESCRIPTION	DRAWN	DESIGN
P1	07/11/2025	REGULARISATION ISSUE	MD	STN
P1	22/10/2025	REGULARISATION ISSUE	MD	STN
P1	21/05/202	REGULARISATION ISSUE	MD	STN

REV	DATE	DESCRIPTION	DRAWN	DESIGN

INFRADISEIGN
STRUCTURAL, CIVIL & HYDRAULIC ENGINEERS

LEVEL 19, REGUS COMO, 644 CHAPEL ST, SOUTH YARRA VIC3141
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CLIENT	DEVELOPER	DESIGNED	MD	CHECKED	STN
PROJECT	24111-275 YANNTHAN NORTH, MODELLA VIC 3816	DRAWN	MD	SHEET	1:2
DRAWING TITLE	COVER SHEET	DATE	SEPT 2024	REVISION	
		DRAWING NUMBER	A100		

GENERAL NOTES

GENERAL NOTES

THESE DRAWINGS ARE PROTECTED BY COPYRIGHT AND ANY BREACH OR INFRINGEMENT OF COPYRIGHT WILL RESULT IN COURT PROCEEDINGS.

THESE DRAWINGS SHALL NOT BE SCALED. EXISTING DIMENSIONS TAKE PRECEDENCE OVER FIGURED DIMENSIONS. FIGURED DIMENSIONS ARE APPROXIMATE ONLY. DIMENSIONS SHOULD BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK.

SHOULD ANY DISCREPANCIES BETWEEN STRUCTURAL AND ARCHITECTURAL DRAWINGS BE NOTED WITH REGARDS TO LOCATIONS AND DIMENSIONS, THE BUILDER IS TO NOTIFY ULTIMATE DESIGN AND DRAFTING TO SEEK CLARIFICATION.

THE OWNER/BUILDING SHALL ENSURE THAT ALL WORKS AND MATERIALS USED SHALL BE TO THE APPROVAL OF THE RELEVANT STATUTORY AUTHORITIES AND CONFORM TO THE BUILDING CODE OF AUSTRALIA'S A.S. CODES (CURRENT EDITIONS), BUILDING REGULATIONS, LOCAL BY-LAWS AND TOWN PLANNING REQUIREMENTS.

LOCAL AUTHORITY : MITCHELL SHIRE COUNCIL CITY COUNCIL COUNCIL PROPERTY INFORMATION SHOULD BE READ AND UNDERSTOOD PRIOR TO CONSTRUCTION

THE BUILDER IS TO VERIFY ALL LEVELS AND DIMENSION ON SITE PRIOR TO CONSTRUCTION.

THE BUILDER SHALL SET OUT IN ACCORDANCE WITH THE SITE PLAN. THE BUILDER SHALL ENSURE THAT NO PART OF THE FENCE OR BUILDING ENCROACHES OVER ANY TITLE BOUNDARIES AND ANY DRAINAGE OR SEWERAGE EASEMENT, WITHOUT THE PRIOR CONSENT OF THE LOCAL COUNCIL AND MELBOURNE WATER. PRIOR TO COMMENCING WORK ENGAGE LAND SURVEYOR TO SET OUT CORNERS OF PROPERTY

THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE RELEVANT SOIL REPORT, UNLESS OTHERWISE NOTED.

THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS.

REFER TO STRUCTURAL ENGINEERS DETAILS AND DOCUMENTATION FOR FOOTING LAYOUT, SIZE AND FOUNDING DEPTHS.

STRUCTURAL ASPECTS OF ENGINEER'S DRAWINGS TAKE PRECEDENCE OVER DOCUMENTS.

THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE RELEVANT ENERGY RATING REPORT, UNLESS OTHERWISE NOTED. ENERGY RATER NAME : NA ENERGY REF : NA

ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:

- A.S. 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
- A.S. 2047 EXTERNAL GLAZING
- A.S. 1562 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
- A.S. 1684 NATIONAL TIMBER FRAMING CODE
- A.S. 1860 INSTALLATION OF PARTICLEBOARD FLOORING
- A.S. 2047 WINDOWS IN BUILDINGS - SELECTION & INSTALLATION
- A.S. 2049 ROOF TILES
- A.S. 2050 FIXING OF ROOF TILES
- A.S. 2870 (PT 1) RESIDENTIAL SLAB & FOOTINGS
- A.S. 2904 DAMP - PROOF COURSES & FLASHINGS
- A.S. 3600 CONCRETE STRUCTURE
- A.S. 3660.1 CODE OF PRACTICE FOR PHYSICAL BARRIERS USED IN PROTECTION OF BUILDING AGAINST SUBTERRANEAN TERMITES
- A.S. 3700 MASONRY IN BUILDINGS
- A.S. 3740 WATERPROOFING OF WET AREA IN RESIDENTIAL BUILDINGS
- A.S. 3786 SMOKE ALARM
- A.S. 4055 WIND LOAD FOR HOUSING
- A.S. 4100 STEEL STRUCTURES

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW AND EXISTING WORKS.

BUILDING AND SITE TO BE LEFT CLEAN AND READY FOR OCCUPATION UPON COMPLETION OF ALL SITE WORKS.

BUILDER TO RECTIFY ANY DAMAGE DURING CONSTRUCTION TO FOOTPATH, KERBS OR ROADS ETC TO THE APPROVAL OF LOCAL AUTHORITIES. REDUNDANT CROSSOVERS TO BE REMOVED AND MATCHING KERBS AND CHANNEL, NATURE STRIP ETC.. TO BE REINSTATED TO COUNCIL APPROVAL.

THESE NOTES ARE NEITHER EXHAUSTIVE OR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS, UNLESS EXPRESSLY STATED OTHERWISE, AND ARE PROVIDED ONLY AS GUIDELINES. NO RESPONSIBILITY IS ACCEPTED FOR THEIR USE.

THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CUSTOMER AND FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE AUTHOR. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS, WITHOUT THE AUTHOR'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK. NO RESPONSIBILITY IS ACCEPTED BY THE AUTHOR FOR SUCH USE AND/OR RELIANCE.

CONSTRUCTION

PRECEDENCE STRUCTURAL ASPECTS OF ENGINEER'S DRAWINGS TAKE PRECEDENCE OVER DOCUMENTS.

SITE CLASSIFICATION

THE BUILDER MUST CHECK AND CONFIRM THIS CLASSIFICATION ON SITE AT THE TIME OF EXCAVATION, TO ENSURE THE SITE DOSE NOT CONTAIN SOFT ALLUVIAL OR FILL.

SITE CLASSIFICATION AS CLASS: NA REFER TO SOIL REPORT NO : NA BY : NA

SETTING OUT

THE BUILDER SHALL SET OUT IN ACCORDANCE WITH THE SITE PLAN AND ENSURE THAT NO PART OF A FENCE GREATER THAN 2000MM IN HEIGHT IS WITHIN 2.4M OF AN ADJOINING HABITABLE ROOM WINDOWS. THE BUILDER SHALL ENSURE THAT NO PART OF THE FENCE OR BUILDING ENCROACHES OVER ANY TITLE BOUNDARIES AND ANY DRAINAGE OR SEWERAGE EASEMENT WITHOUT THE PRIOR CONSENT OF THE LOCAL COUNCIL AND MELBOURNE WATER.

DEMOLITION

WHEN APPLICABLE, PROTECT THE PROPERTY WHICH IS TO REMAIN ON OR ADJACENT TO THE SITE FROM DAMAGE. MAKE GOOD OF ANY DAMAGE TO MATCH EXISTING. IF WALLS OR ROOFS ARE OPENED FOR ALTERATIONS OR ADDITIONS, PROVIDE SECURITY AGAINST UNAUTHORISED ENTRY. DO NOT BURN OR BURY DEMOLISHED MATERIALS ON THE SITE.

EXCAVATIONS

EXCAVATIONS ARE TO BE CLEANED OUT AND WATER TO BE REMOVED PRIOR TO THE POURING OF CONCRETE.

STORMWATER:

DOWNPIPES SHALL BE 100 X 50 X 0.6MM OR 90MM DIAMETER COLORBOND DPS AS SHOWN ON PLAN. PROVIDE RWH AT ALL BOX GUTTERS.

STORM WATER DRAINS TO BE 90MM DIA. HD PVC SET TO FALL 1:100. PROVIDE IOs AT ALL ANGLES AND CHANGE OF DIRECTION.

PROVIDE 100MM DIAMETER HEAVY DUTY UPVC PIPE WHERE STORM WATER RUNS UNDER CONCRETE SLAB. ENSURE THAT WATER IS NOT ALLOWED TO POND ADJACENT TO FOOTINGS AND IS DRAINED TO MEANS OF SURFACE AND/OR AGRICULTURAL DRAINS AND CONNECTED TO STORMWATER.

BUILDER TO ENSURE ALL PLUMBING MATERIALS ARE COMPATIBLE.

CONNECT ALL NEW STORMWATER DRAINAGE SYSTEM INTO COUNCILS LEGAL POINT OF DISCHARGE AS PER THE ENGINEERS CIVIL DOCUMENTS AS APPROVED BY LOCAL AUTHORITIES.

CONNECT 90MM P.V.C AGRICULTURAL DRAIN TO ALL SITE CUT AREA (IF REQUIRED) TO STORM WATER DRAIN VIA 300 X 300 X 300D SILT PIT.

ALL DOWN PIPES AND GUTTERS TO BE CONCEALED WHERE POSSIBLE. ALL NEW DP'S, GUTTERS AND FLASHING TO BE SELECTED COLOURBOND POWDERCOAT FINISH.

REFER TO ENGINEERS CIVIL DESIGN AND SPECIFICATION FOR ALL CIVIL AND DRAINAGE WORKS.

BUILDER AND PLUMBING CONTRACT TO ASSUME FULL RESPONSIBILITY FOR ALL SYSTEMS REQUIRED TO FACILITATE GREY WATER IN THE PROPOSED PROJECT.

PLUMBING CONTRACTOR TO INSTALL SELECTED HOT WATER SYSTEMS TO DWELLING. BUILDER TO NOMINATE LOCATION ONSITE. BUILDER TO RETICULATE TO ALL TAPPING POINTS. HWS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS AND SPECIFICATIONS.

TERMITE- REFER TO COUNCIL PROPERTY INFORMATION WHERE THE BUILDING (OTHER THAN A CLASS 10a) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARD (A.S. 3660).

CONCRETE

CONCRETE FOOTINGS SHOULD ONLY BE POURED UNTIL TRENCHES, FORM WORK AND OTHER EXCAVATIONS ARE COMPLETED, AND WITH THE REINFORCEMENT PLACED IN POSITION, AND HAVE A BUILDING SURVEYOR APPROVE IT, THEN AND ONLY THEN, SHALL THE CONCRETE SLAB OR FOOTING BE POURED.

FOOTINGS TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT. ABH SOIL TESTING AND SURVEYING RECOMMENDS THAT FOOTINGS/SLABS & DRAINAGE TO BE DESIGNED & INSPECTED BY AN ENGINEER TO SATISFY THEIR REQUIREMENTS.

SUB - FLOOR VENTS

SUB - FLOOR VENTS TO PROVIDE A RATE OF 7500mm SQ CLEAR VENTILATION PER 1000mm RUN OF EXTERNAL MASONRY WALL & 22000mm SQ CLEAR VENTILATION PER 1000mm RUN OF INTERNAL DWARF WALLS.

CARPENTRY AND JOINERY

ALL STRUCTURAL TIMBER SIZES, GRADES AND ALLOWABLE SPANS SHOULD ALL BE REFERED TO ENGINEER DRAWINGS (IF PROVIDED). THESE SIZES, GRADES AND ALLOWABLE SPANS CAN BE DETERMINED THROUGH AS 1684 & 1720

ALL TIMBER SPECIFIED ON THE DRAWINGS IS TO HAVE THE FOLLOWING MINIMUM STRESS GRADE UNLESS OTHERWISE NOTED:	
UNSEASONED HARDWOOD	F8
SEASONED OR KILN DRIED HARDWOOD	F17
LAMINATED PINE	F8
RADIATA PINE	F5
OREGON	F7

GALVANISED STEEL

ALL STRUCTURAL BEAMS, GRADES AND ALLOWABLE SPANS SHOULD ALL BE REFERED TO ENGINEERING DRAWINGS (IF PROVIDED). OR THESE SIZES, THICKNESSES AND ALLOWABLE SPANS CAN BE DETERMINED THROUGH AN AUTHORISED PERSON

BRICKLAYER

BRICK WORK SHALL BE LAID, STRAIGHT AND IN STRETCHER BOND METHOD UNLESS STATED OTHERWISE. CONSTRUCTION JOINTS ARE TO BE PROVIDED AT EVERY 6m INTERVALS AND TO BE FIRE-RATED IN ACCORDANCE TO AS 3700-2001. WEEP HOLES SHOULD BE PROVIDED AT 1m CENTRES WHERE CONCRETE SLAB REBATES IS FLASHED AND DRAINED. BRICK WORK SHALL NOT BE COMMENCED UNTIL TWO CLEAR DAYS AFTER PLACEMENT OF CONCRETE FOOTINGS.

ROOFING

GENERALLY ROOF COVERING SHALL BE MANUFACTURED AND FIXED IN ACCORDANCE WITH STANDARD PRACTICE AND MANUFACTURER'S RECOMMENDATIONS.

SAFETY GLAZING & GLAZING

- ALL GLAZING AS PER AS 1288 AND ALL RELEVANT CODES
- SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES.
 - ALL ROOMS-WITHIN 500MM VERTICAL FROM THE FLOOR.
 - BATHROOMS-WITHIN 2000MM VERTICAL FROM THE BATH BASE.
 - LAUNDRY-WITHIN 1200MM VERTICAL FROM FLOOR AND /OR WITHIN 300MM HORIZONTAL FROM DOORS.
 - SHOWER SCREENS SHALL BE GRADE A SAFETY GLASS

OBSCURE GLASS IS TO BE USED FOR ALL BATHROOMS UNLESS OTHERWISE NOTED AND TO ALL OTHER AREAS WHERE OBSCURE GLAZING IS SHOWN ON DRAWINGS. CHECK ALL NUMBERING AND QUANTITIES AGAINST PLANS AND ELEVATIONS AND NOTIFY THE ARCHITECT SHOULD ANY DISCREPANCIES OCCUR. CHECK ALL SILL LEVELS AGAINST FLOOR LEVELS. DO NOT SCALE OFF DRAWINGS FOR WINDOW DIMENSIONS. GLASS SIZES ARE SUGGESTED THICKNESS ONLY. MANUFACTURER TO CONFIRM SIZES ARE IN ACCORDANCE WITH CODE REQUIREMENTS AND AS 1288 PRIOR TO FABRICATION.

WINDOWS AND DOORS

WINDOWS DIMENSIONS ARE APPROXIMATE ONLY AND ARE SHOWN DEPTH X WIDTH. ANY DIMENSIONS RELATING TO WINDOW AND DOOR OPENINGS SHOULD BE CONFIRMED WITH MANUFACTURER PRIOR TO COMMENCING ANY WORK. ALL WINDOWS TO BE CONFIRMED BETWEEN BUILDER OR CLIENT WITH WINDOW MANUFACTURER BEFORE ORDERING DUE TO DIFFERENT STYLES OF WINDOWS AND WINDOW SIZES. DOORS TO A FULLY ENCLOSED SANITARY COMPARTMENT MUST OPEN OUTWARDS OR SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE SANITARY COMPARTMENT, UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1.2M BETWEEN THE CLOSET PAN WITHIN THE SANITARY COMPARTMENT AND NEAREST PART OF THE DOORWAY. WINDOWS TO HABITABLE ROOMS SHALL FACE A LIGHT COURT (3 X 1M MIN) OR OTHER OPEN SPACE OPEN TO THE SKY WITH A 1M CLEAR DISTANCE BETWEEN EDGE OF GUTTER AND BOUNDARY.

PLUMBING

LICENSED PLUMBER SHOULD BE AUTHORIZED TO COMPLETE THE JOB, THE WHOLE OF THE WATER SUPPLY, GENERAL AND SANITARY.

ELECTRICAL

AN AUTHORISED ELECTRICAL CONTRACTOR SHOULD BE APPOINTED TO CARRY OUT THE ELECTRICAL INSTALLATION.

PLASTERING

PLASTER SHEET SHALL BE SUPPORTED BY 450MM CENTRES, WITH FLUSH JOINTED THROUGHOUT, THIS REFERS TO 10MM PLASTER BOARDS. PLASTER SHEET SHALL BE SUPPORTED BY 600MM CENTERS, THIS REFERS TO 13MM PLASTER BOARD.

WET AREAS

ALL WET AREAS TO COMPLY WITH B.C.A. F.1.7 AND AS 3740. ALL FLOORS OF BATHROOMS, WC'S AND LAUNDRIES TO BE WATERPROOFED IN ACCORDANCE WITH AS 3740. WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT 1800mm ABOVE THE FLOOR LEVEL TO SHOWER ENCLOSURES, AND 150mm ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75mm OF THE WALL.

WATERPROOFING

WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

INSULATIONS

PROVIDE INSULATION AS PER MANUFACTURES SPECIFICATIONS IN CEILING AND WALLS AS PER ENERGY RATING. REFER TO ENERGY RATING FOR WALL AND CEILING INSULATIONS.

MECHANICAL VENTILATION

ALL MECHANICAL VENTILATION TO BE 200MM - FAN AND TO EXTRACT 25 LT./SEC.MIN DUCTED TO EXTERNAL AIR.

SMOKE ALARMS

- SMOKE ALARMS TO BE PROVIDED & INSTALLED IN ACCORDANCE WITH A.S. 3786. UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1,2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING, IN WHICH THE SMOKE ALARM SHALL BE HARD WIRED WITH A BATTERY BACK - UP
- STAIRS CONSTRUCTION: STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:
 - RISERS 190mm MAXIMUM AND 115mm MINIMUM
 - TREADS 355mm MAXIMUM AND 240mm MINIMUM (PRIVATE STAIRS & 250mm PUBLIC STAIRS)
 - 2R + 1G = 700mm MAXIMUM AND 550mm MINIMUM
 - 125mm MAXIMUM GAP TO OPEN TREADS
 - HEAD HEIGHT ABOVE NOSING OF TREAD MIN. 2000MM

RISERS & TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT.

PROVIDE NON - SLIP FINISH OR SUITABLE NON - SKID STRIP NEAR EDGE OF NOSING

PROVIDE BALUSTRADES WHERE CHANGE IN LEVEL EXCEEDS 1000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS, AND/OR TREADS. BALUSTRADES (OTHER THAN TENSIONED WIRE BALUSTRADES) TO BE:

- PROVIDE CONTINUOUS HANDRAIL 1000mm MIN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS AND THE LIKE, AND
- 865mm MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND
- VERTICAL WITH A 125mm MAXIMUM GAP BETWEEN, AND
- ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE BETWEEN 150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEED 4000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.
- A SINGLE FLIGHT OF STAIRS SHALL NOT HAVE MORE THAN 18, OR LESS THAN 2 RISERS

WIRE BALUSTRADE CONSTRUCTION TO COMPLY WITH BCA2008 VOLUME 2 PART 3.9.2.3 FOR CLASS 1 & 10 BUILDINGS & BCA 2008 VOLUME 1 PART D2.16 FOR OTHER CLASSES OF BUILDINGS.

HAND RAILS TO BE 865mm MINIMUM ABOVE STAIR NOSING & LANDING.

WHERE HEIGHT AT DOORWAY EXCEEDS 570mm ABOVE GROUND LEVEL, PROVIDE A MIN. 900 X 900 CONC. LANDING & STEPS TO SUIT

LANDING STEPS AND BALUSTRADES

LANDING SHOULD BE 800mm X 800mm MINIMUM. BALUSTRADE SHOULD BE A MINIMUM 1000mm AT LANDINGS OR 865mm ABOVE NOSING. BALUSTRADE OPENINGS SHALL NOT PERMIT A 125mm SPHERE TO PASS THROUGH THEM.

CONCRETE SLABS AND DRIVEWAY

THE TOP OF SLAB SHALL BE 230mm MIN ABOVE FINISH GROUND LEVEL. NEAR ADJOINING LOCALLY TO 90mm. CONCRETE DRIVEWAYS SHALL BE 100mm THICK REINFORCED WITH F62 MESH WITH MINIMUM OF 30mm TOP COVER.

LANDSCAPE

ANY LANDSCAPE TO BE AS PER TOWN PLANNING PERMIT OR WILL BE SELECTED BY OWNER AND BUILDER. ANY EXISTING LANDSCAPE WHICH IS REMOVED TO COMPLETE WORK MUST BE PUT BACK AFTER COMPLETION AND MAKE GOOD.

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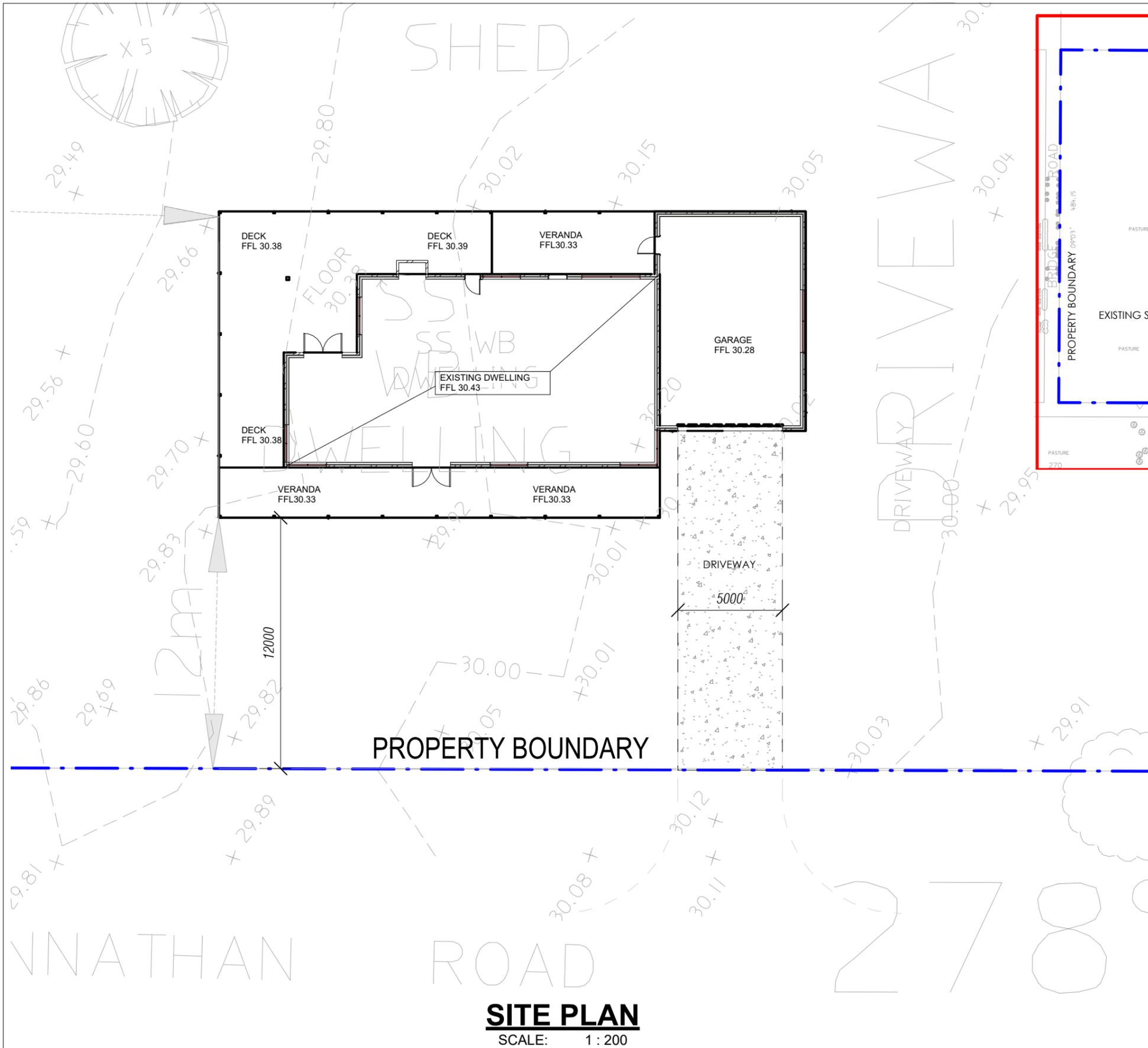
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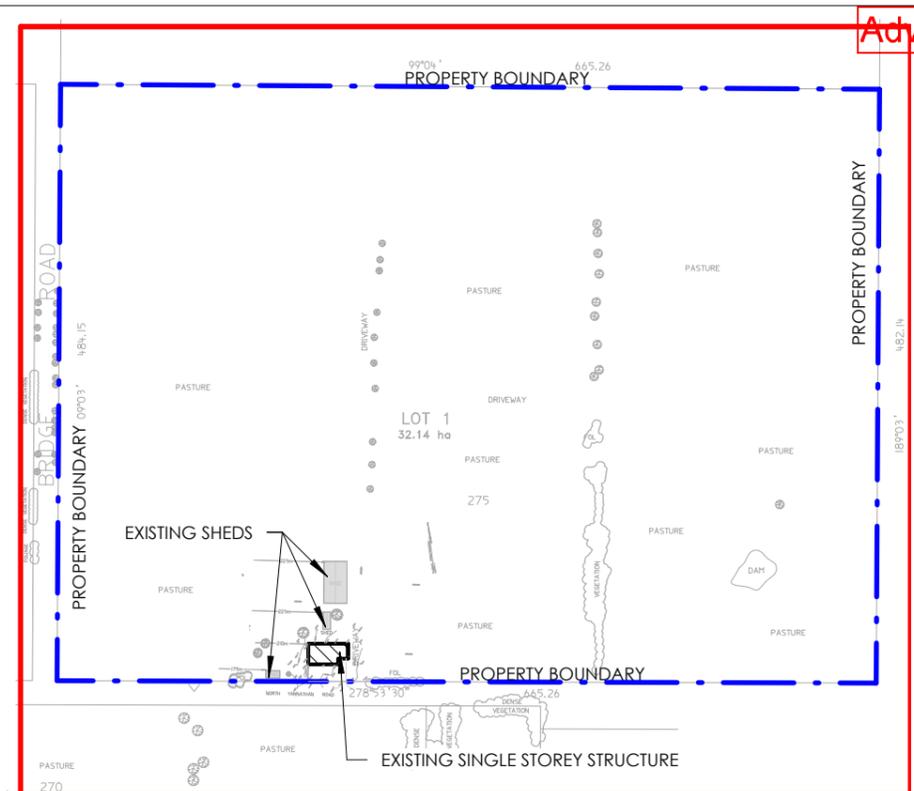
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DRAWING TITLE	GENERAL NOTES	DRAWN MD	SCALE 1:50
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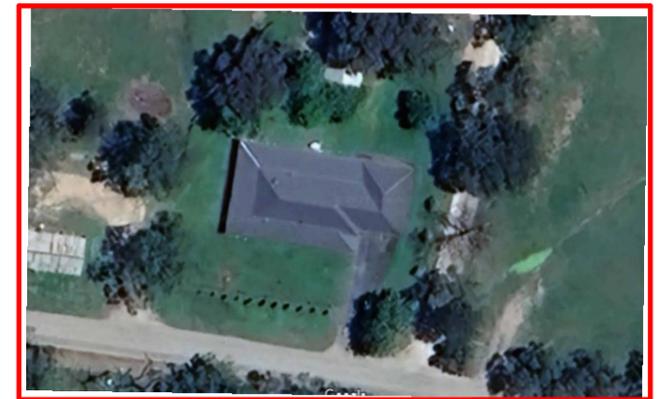
PROPERTY BOUNDARY

SITE PLAN
SCALE: 1 : 200

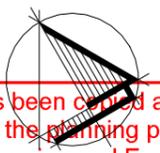


SITE PLAN 2

SCALE: 1 : 5000



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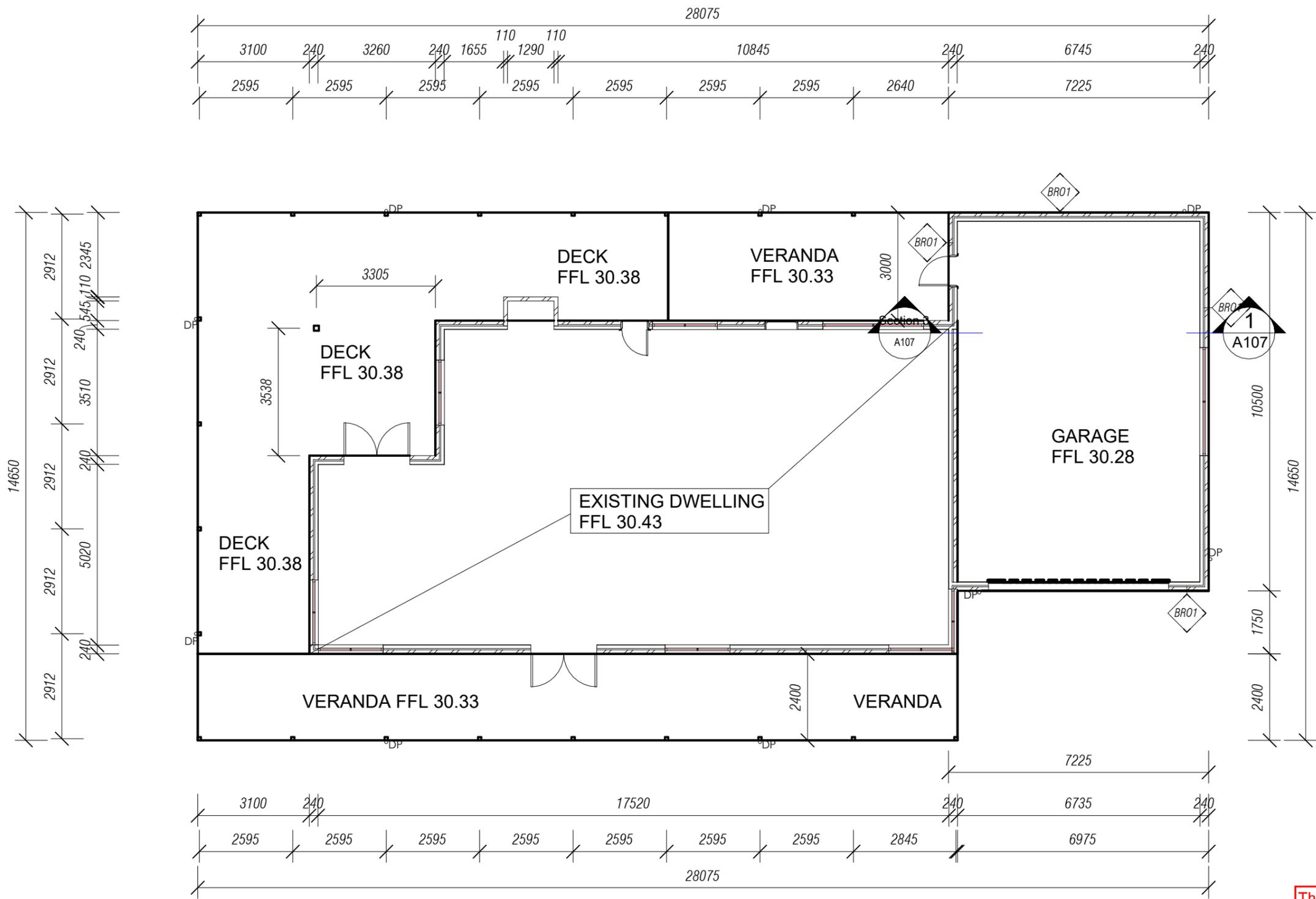
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GROUND FLOOR
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SELECTED COLORBOND GUTTER TO FALL 1IN 500 MM FIXED TO A COLORBOND FACIA(TYP) WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW FROM FLOWING BACK INOT THE ROOF OR BUILDING STRUCTURE BY INSTALLING SLOTTED GUTTERS OR THRE LIKE(TYP.)

GARAGE ROOF. FALL TO MATCH EXISTING

EXISTING TILED ROOF 22° FALL

VERANDAH ROOF 2° FALL

LEVEL 2 SFL 4850

CEILING SFL 2250

GROUND FLOOR SFL 0

SELECTED FACE BRICK WORK TO ALL EXTERNAL WALL TO COMPLY WITH A.S 3700-2001. VERTICAL ARTICULAION JOINTS VOLUME TWO. PROVIDE WALL TILES TO BRICKWORK AT MAXIMUM 300 MM OF ARTICULATION JOINTS. (TYP.)

CONCRETA SLAB ON GROUND

ALUMINUM AWNING WINDOWS

DECK

DECK

NORTH ELEVATION

SCALE: 1 : 100

SELECTED FACE BRICK WORK TO ALL EXTERNAL WALL TO COMPLY WITH A.S 3700-2001. VERTICAL ARTICULAION JOINTS VOLUME TWO. PROVIDE WALL TILES TO BRICKWORK AT MAXIMUM 300 MM OF ARTICULATION JOINTS. (TYP.)

VERANDAH ROOF 2° FALL

EXISTING TILED ROOF 22° FALL

LEVEL 2 SFL 4850

CEILING SFL 2250

GROUND FLOOR SFL 0

GARAGE ROOF. FALL TO MATCH EXISTING

CONCRETA SLAB ON GROUND

ALUMINUM AWNING WINDOWS

DECK

SELCTED COLORBOND GUTTER TO FALL 1IN 500 MM FIXED TO A COLORBOND FACIA(TYP) WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW FROM FLOWING BACK INOT THE ROOF OR BUILDING STRUCTURE BY INSTALLING SLOTTED GUTTERS OR THRE LIKE(TYP.)

SOUTH ELEVATION

SCALE: 1 : 100

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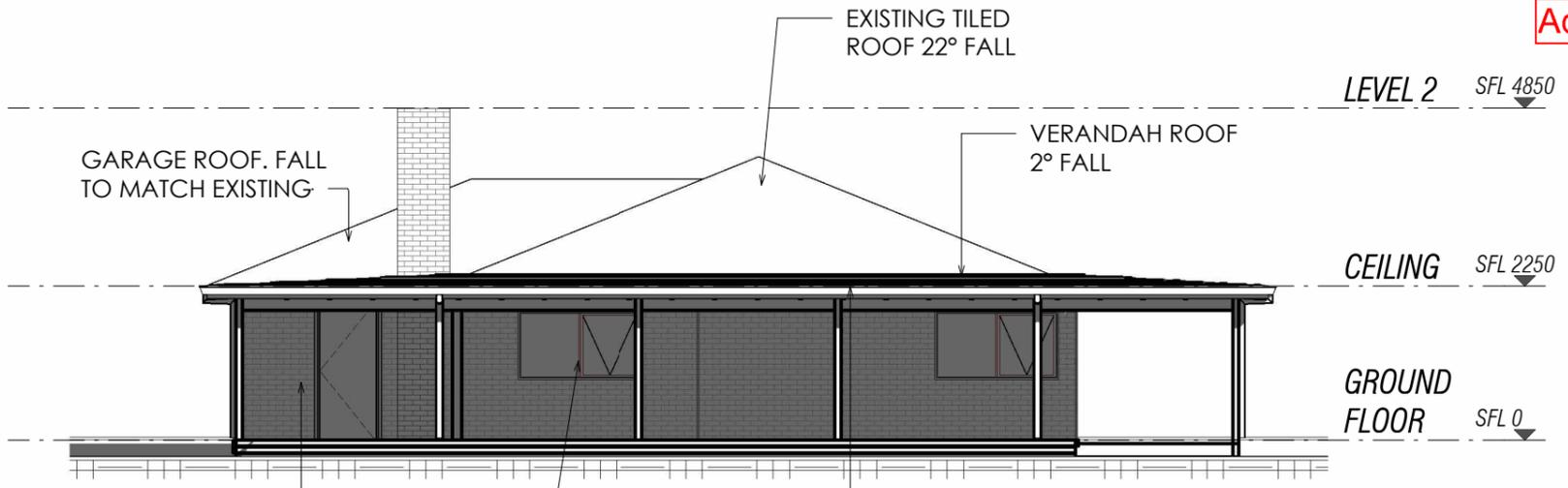
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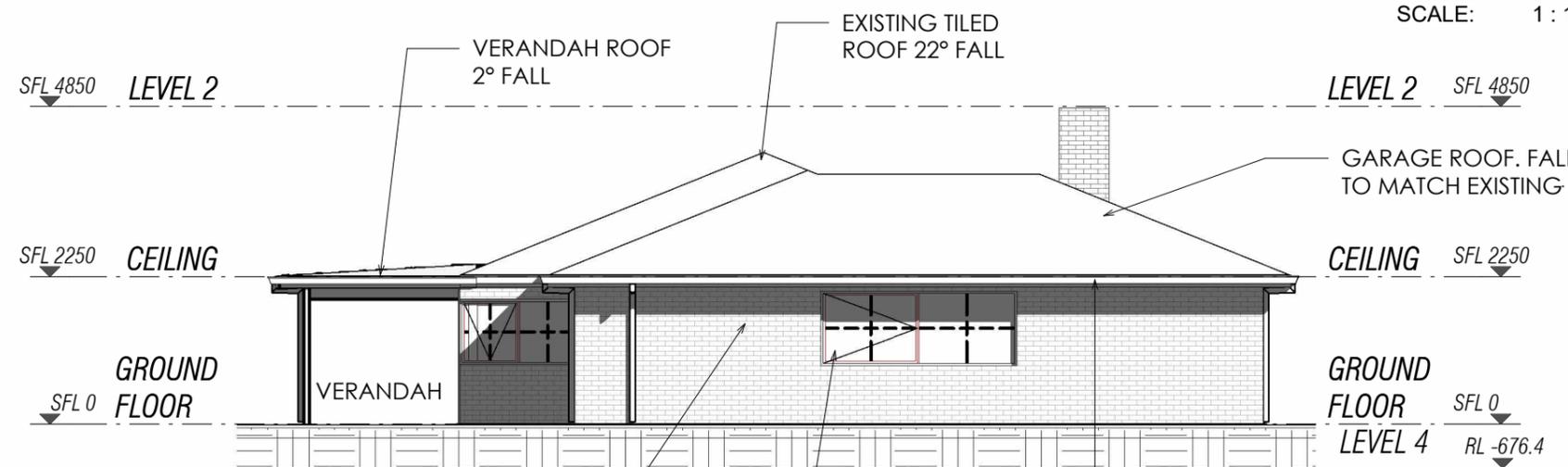
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ALUMINUM AWNING WINDOWS

SELCTED COLORBOND GUTTER TO FALL 1IN 500 MM FIXED TO A COLORBOND FACIA(TYP) WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW FROM FLOWING BACK INOT THE ROOF OR BUILDING STRUCTURE BY INSTALLING SLOTTED GUTTERS OR THRE LIKE(TYP.)

WEST ELEVATION

SCALE: 1 : 100



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ALUMINUM AWNING WINDOWS

SELCTED COLORBOND GUTTER TO FALL 1IN 500 MM FIXED TO A COLORBOND FACIA(TYP) WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW FROM FLOWING BACK INOT THE ROOF OR BUILDING STRUCTURE BY INSTALLING SLOTTED GUTTERS OR THRE LIKE(TYP.)

EAST ELEVATION

SCALE: 1 : 100

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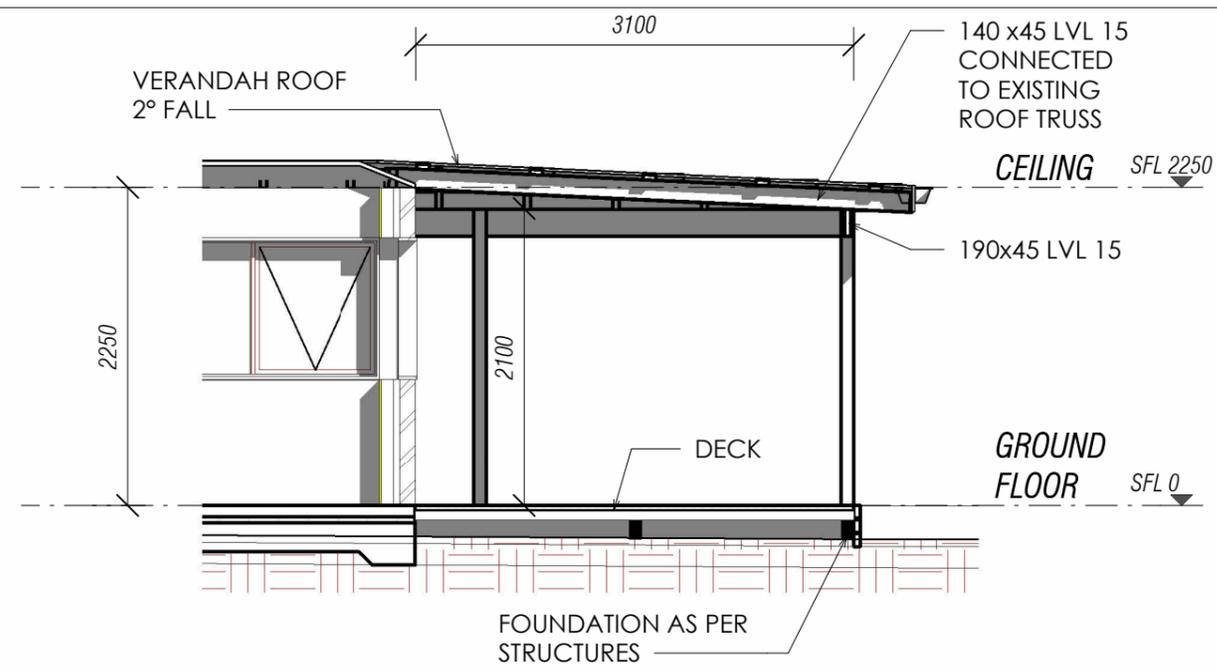
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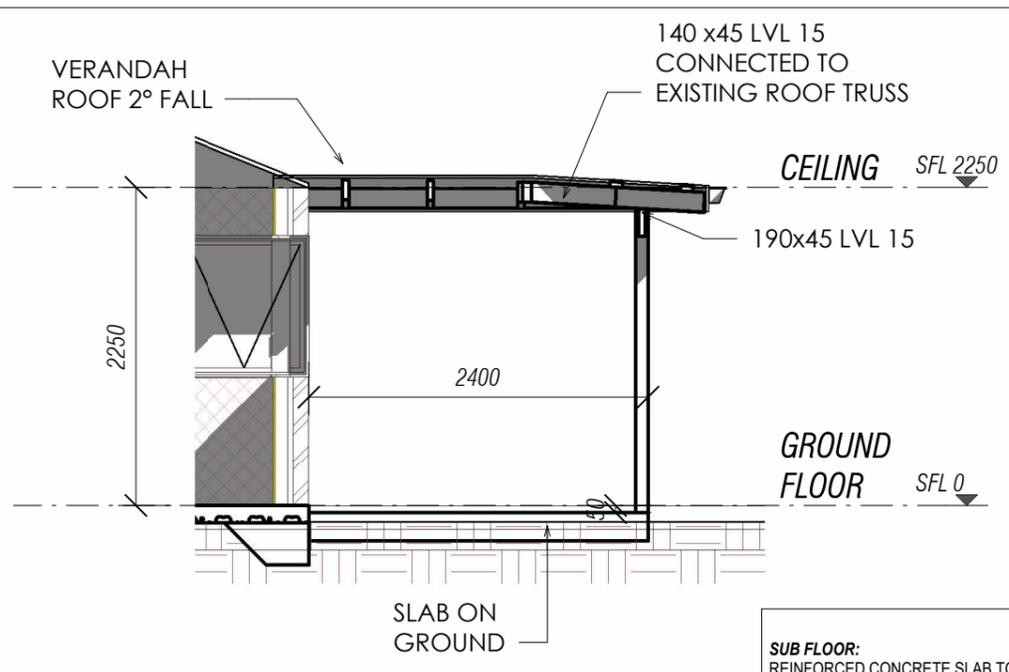
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SECTION 1
SCALE: 1 : 50



SECTION 2
SCALE: 1 : 50

SUB FLOOR:
REINFORCED CONCRETE SLAB TO ALL GROUND FLOORS. REFER TO ENGINEERS DRAWINGS FOR SIZES AND DETAILS

FLOORING:
FLOOR FINISHES AS SELECTED BY CLIENT.

WALL FRAMING:
FRAMING MUST BE IN ACCORDANCE WITH AS.1684.

BOTTOM PLATE- 90x45 MGP10
STUDS- 90x45 MGP10 AT 450 CTRS
JAMB STUDS- 2 / 90x45 MGP10
NOGGINS- 70x35 MERCH AT 1350 CTRS MAX
TOP PLATE- 2 / 90x45 MGP10
LINTELS TO ENGINEERS DESIGN AND SPECIFICATION.

ROOF FRAMING:
ROOF TRUSSES AS PER MANUFACTURERS DESIGN AND SPECIFICATIONS. MANUFACTURERS COMPUTATIONS ARE TO BE PROVIDED PRIOR TO FRAME INSPECTION. BUILDING TO CONFIRM EAVES DO NOT CLASH WITH WINDOWS OR MOLDS PRIOR TO ORDERING TRUSSES. ROOF BATTENS: 38x75 F8 HW AT 330 CTRS (TILE) 38x75 F8 HW AT 900 CTRS

(COLORBOND)
38x75 F8 HW AT 900 CTRS (KLIP-LOK)

ROOFING TYPE: -
SELECTED CORRUGATED ROOF SHEETS

EXTERNAL FINISHES:
ALL MATERIALS AND FINISHES TO CLIENTS SPECIFICATION.
- SELECTED FACE BRICKWORK TO CLIENTS SPECIFICATION WHERE INDICATED.
- SELECTED SMOOTH RENDER FINISH TO CLIENTS SPECIFICATION WHERE INDICATED.

GENERAL NOTES

1. COMPLETE RECTIFICATION WORKS TO THE VERANDAH, DECK AND GARAGE CONSTRUCTED WITHOUT A BUILDING PERMIT TO ENSURE THAT THE STRUCTURES GENERALLY ACHIEVE COMPLIANCE WITH PART 5 OF AS3959 FOR A BUSHFIRE ATTACH LEVEL OF 12.5 (A COPY OF THE REQUIREMENTS WERE PROVIDED TO YOU ONSITE):
 - 1.1. SUB-FLOOR SPACE MUST COMPLY WITH PART 5.3.2.1 OR PART 5.3.2.1 OF AS3959.
 - 1.2. DOORS LOCATED WITHIN 400MM OF THE NEW DECK MUST COMPLY WITH PART 5.5.4 OF AS3959.
 - 1.3. GARAGE DOOR MUST COMPLY WITH PART 5.5.6(B) OF AS3959. I.E. PROTECTED WITH A SUITABLE WEATHER STRIP
 - 1.4. GARAGE DOOR MUST COMPLY WITH PART 5.5.6(B) OF AS3959. I.E. PROTECTION WITH A SUITABLEWEATHER STRIP SEAL.
 - 1.5. NEW SHEET ROOF MUST COMPLY WITH PART 5.6.3 OF AS3959.
 - 1.6. ROOF PENETRATIONS MUST COMPLY WITH PART 5.6.5 OF AS3959.
 - 1.7. EAVES AND FASCIAS MUST COMPLY WITH PART 5.6.6 OF AS3959.
 - 1.8. GUTTERING AND DOWNPIPES MUST COMPLY WITH PART 5.6.7 OF AS3959.

NOTE: BUILDING SURVEYOR WILL CHECK COMPLIANCE DURING AN INSPECTION WHEN WORKS ARE COMPLETED.
2. TERMITE PROTECTION AND CERTIFICATION FROM A LICENSES PEST CONTROLLER TO CONFIRM THAT TERMITE PROTECTION IN ACCORDANCE WITH AS3660 HAS BEEN COMPLETED.
3. PLUMBING CERTIFICATES FOR ALL PLUMBING WORKS (ROOF PLUMBING, DOWNPIPES, ETC) TO BE PROVIDED.
4. ELECTRICAL CERTIFICATES FOR ALL ELECTRICAL WORKS COMPLETED IS TO BE PROVIDED.
5. DRAINAGE TO CONNECTED TO THE EXISTING STORM WATER DRAINAGE SYSTEM. IT IS MY UNDERSTANDING THAT YOU HAVE CONNECTED THE THE DRAINAGE SYSTEM TO RAINWATER TANKS TO THE REAR OF THE PROPERTY. IT IS EXPECTED THE THE OVERFLOW FROM THE RAIN WATER TANKS BE DRAINED AWAY FROM ANY EXISTING BUILDINGS. THIS CAN BE CHECKED ONSITE BY MYSELF AND DURING AN ADDITIONAL INSPECTION.

INTERNAL WALL FINISHES:

10mm PLASTERBOARD TO BE PAINTED (ALL INTERNAL WALLS)
10mm PLASTERBOARD TO BE PAINTED (ALL INTERNAL CEILINGS)
CLIENT TO SELECT SQUARE FINISH OR CORNICE FOR EACH ROOM.

WET AREAS:

ALL WET AREAS TO HAVE IMPERVIOUS FINISH TO FLOOR AND WALLS (TILES) IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND AS.3740.2004.
SHOWERS TO 2100a.f1 MIN SINKS, TROUGHS AND HAND BASINS - 300mm MIN

WINDOWS:

ALL WINDOW SIZES, TYPES AND COLORS MUST BE IN ACCORDANCE WITH ENDORSED TOWN PLANNING DOCUMENTS. WINDOW MEASUREMENTS INDICATED MAY VARY FROM THE WINDOW MANUFACTURERS SIZES. BUILDER TO PLACE ORDER WITH WINDOW MANUFACTURER WITH STANDARD SIZES THAT MATCH THE NOMINATED MEASUREMENTS WITH CLOSE PROXIMITY. WINDOW SIZES TO BE VERIFIED ON SITE BEFORE PLACING ORDER WITH MANUFACTURER. IF ANY DISCREPANCIES ARE FOUND, PLEASE CONTACT THIS OFFICE IMMEDIATELY. BUILDER TO CONFIRM WINDOW HEAD HEIGHTS DO NOT CLASH WITH ANY MOLDS OR EAVES PRIOR TO PLACING ORDER WITH MANUFACTURER.

GLAZING:

ALL GLAZING SHALL COMPLY WITH THE AUSTRALIAN BUILDING CODE. FOR CLASS 1&10 BUILDINGS WITH A DESIGN WIND SPEED OF NOT MORE THEN N3. FOR CLASS 2 TO 9 BUILDINGS, REFER TO THE BUILDING CODE OF AUSTRALIA PART B1.4 AND AS.1288 & AS.2047. ALL GLAZING SPECIFICATIONS TO BE IN ACCORDANCE WITH THE APPROVED THERMAL ASSESSMENT. BUILDER TO CONFIRM WINDOW SPECIFICATION PRIOR TO PLACING ORDER WITH MANUFACTURER.

INSULATION:

PROVIDE INSULATION IN ACCORDANCE WITH THE THERMAL ASSESSMENT PROVIDED BY AN ACCREDITED ASSESSOR.

STRUCTUAL TIMBERWORK ALL STRUCTUAL TIMBERWORK AND ASSOCIATED CONNECTIONS SHALL COMPLY WITH A.S. 1720 TIMBER STRUCTURES CODE. ALL TIMBER MEMBERS SHALL BE STRESS GRADED AND MARKED IN ACCORDANCE WITH A.S. 2858, A.S. 1748, A.S. 1749 AND B.C.A. ALL TIMBER FRAMING INCLUDING FLOORS, WALLS AND ROOF, SHALL COMPLY WITH AS 1684 TIMBER FRAMING CODE. ALL WALL BRACING SHALL BE IN ACCORDANCE WITH A.S. 1684.

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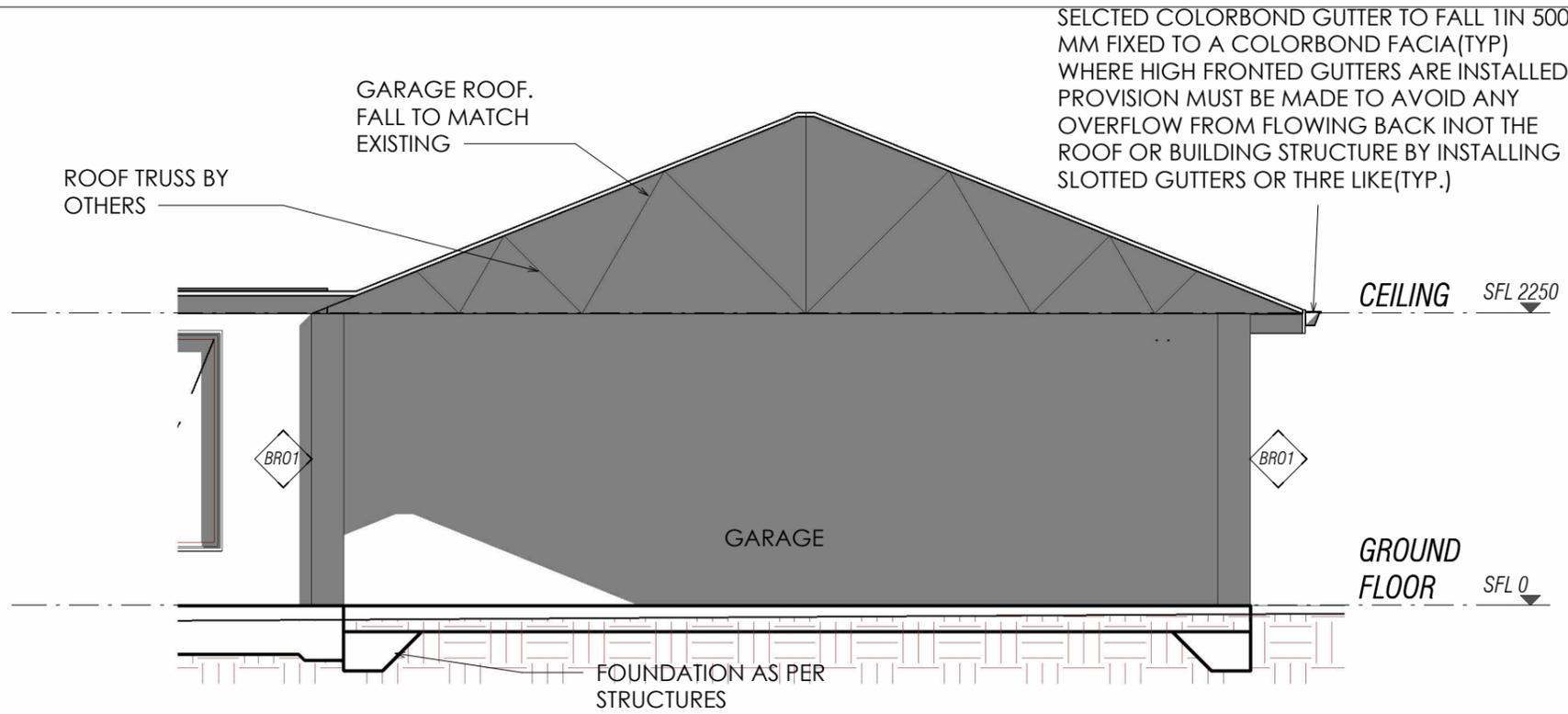
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CLIENT	DEVELOPER	DESIGNED	MD	CHECKED	STN
PROJECT	24111-275 YANNINTHAN NORTH MODELLA VIC 3818	DRAWN	MD	SHEET	indicated
DRAWING TITLE	SECTIONS 1	DATE	SEPT 2024	NUMBER	A106
					Revision.

PRINT DATE & TIME: 10/11/2025 4:08:14 PM C:\Users\USER\Desktop\00 ID PROJECTS 2025\24111=2025-10-22 YANNINTHAN ARCH CAD\24111-YANNINTHAN_ARCH07.rte

Advertised



Section 3

SCALE: 1 : 50

GENERAL NOTES

1. COMPLETE RECTIFICATION WORKS TO THE VERANDAH, DECK AND GARAGE CONSTRUCTED WITHOUT A BUILDING PERMIT TO ENSURE THAT THE STRUCTURES GENERALLY ACHIEVE COMPLIANCE WITH PART 5 OF AS3959 FOR A BUSHFIRE ATTACH LEVEL OF 12.5 (A COPY OF THE REQUIREMENTS WERE PROVIDED TO YOU ONSITE);
 - 1.1. SUB-FLOOR SPACE MUST COMPLY WITH PART 5.3.2.1 OR PART 5.3.2.1 OF AS3959.
 - 1.2. DOORS LOCATED WITHIN 400MM OF THE NEW DECK MUST COMPLY WITH PART 5.5.4 OF AS3959.
 - 1.3. GARAGE DOOR MUST COMPLY WITH PART 5.5.6(B) OF AS3959. I.E. PROTECTED WITH A SUITABLE WEATHER STRIP
 - 1.4. GARAGE DOOR MUST COMPLY WITH PART 5.5.6(B) OF AS3959. I.E. PROTECTION WITH A SUITABLEWEATHER STRIP SEAL.
 - 1.5. NEW SHEET ROOF MUST COMPLY WITH PART 5.6.3 OF AS3959.
 - 1.6. ROOF PENETRATIONS MUST COMPLY WITH PART 5.6.5 OF AS3959.
 - 1.7. EAVES AND FASCIAS MUST COMPLY WITH PART 5.6.6 OF AS3959.
 - 1.8. GUTTERING AND DOWNPIPES MUST COMPLY WITH PART 5.6.7 OF AS3959.

NOTE: BUILDING SURVEYOR WILL CHECK COMPLIANCE DURING AN INSPECTION WHEN WORKS ARE COMPLETED.
2. TERMITE PROTECTION AND CERTIFICATION FROM A LICENSES PEST CONTROLLER TO CONFIRM THAT TERMITE PROTECTION IN ACCORDANCE WITH AS3660 HAS BEEN COMPLETED.
3. PLUMBING CERTIFICATES FOR ALL PLUMBING WORKS (ROOF PLUMBING, DOWNPIPES, ETC) TO BE PROVIDED.
4. ELECTRICAL CERTIFICATES FOR ALL ELECTRICAL WORKS COMPLETED IS TO BE PROVIDED.
5. DRAINAGE TO CONNECTED TO THE EXISTING STORM WATER DRAINAGE SYSTEM. IT IS MY UNDERSTANDING THAT YOU HAVE CONNECTED THE THE DRAINAGE SYSTEM TO RAINWATER TANKS TO THE REAR OF THE PROPERTY. IT IS EXPECTED THE THE OVERFLOW FROM THE RAIN WATER TANKS BE DRAINED AWAY FROM ANY EXISTING BUILDINGS. THIS CAN BE CHECKED ONSITE BY MYSELF AND DURING AN ADDITIONAL INSPECTION.

INTERNAL WALL FINISHES:

10mm PLASTERBOARD TO BE PAINTED (ALL INTERNAL WALLS)
 10mm PLASTERBOARD TO BE PAINTED (ALL INTERNAL CEILINGS)
 CLIENT TO SELECT SQUARE FINISH OR CORNICE FOR EACH ROOM.

WET AREAS:

ALL WET AREAS TO HAVE IMPERVIOUS FINISH TO FLOOR AND WALLS (TILES) IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND AS.3740.2004.
 SHOWERS TO 2100a.f1 MIN SINKS, TROUGHS AND HAND BASINS - 300mm MIN

WINDOWS:

ALL WINDOW SIZES, TYPES AND COLORS MUST BE IN ACCORDANCE WITH ENDORSED TOWN PLANNING DOCUMENTS. WINDOW MEASUREMENTS INDICATED MAY VARY FROM THE WINDOW MANUFACTURERS SIZES. BUILDER TO PLACE ORDER WITH WINDOW MANUFACTURER WITH STANDARD SIZES THAT MATCH THE NOMINATED MEASUREMENTS WITH CLOSE PROXIMITY. WINDOW SIZES TO BE VERIFIED ON SITE BEFORE PLACING ORDER WITH MANUFACTURER. IF ANY DISCREPANCIES ARE FOUND, PLEASE CONTACT THIS OFFICE IMMEDIATELY. BUILDER TO CONFIRM WINDOW HEAD HEIGHTS DO NOT CLASH WITH ANY MOLDS OR EAVES PRIOR TO PLACING ORDER WITH MANUFACTURER.

GLAZING:

ALL GLAZING SHALL COMPLY WITH THE AUSTRALIAN BUILDING CODE. FOR CLASS 1&10 BUILDINGS WITH A DESIGN WIND SPEED OF NOT MORE THEN N3. FOR CLASS 2 TO 9 BUILDINGS, REFER TO THE BUILDING CODE OF AUSTRALIA PART B1.4 AND AS.1288 & AS.2047. ALL GLAZING SPECIFICATIONS TO BE IN ACCORDANCE WITH THE APPROVED THERMAL ASSESSMENT. BUILDER TO CONFIRM WINDOW SPECIFICATION PRIOR TO PLACING ORDER WITH MANUFACTURER.

INSULATION:

PROVIDE INSULATION IN ACCORDANCE WITH THE THERMAL ASSESSMENT PROVIDED BY AN ACCREDITED ASSESSOR.

STRUCTUAL TIMBERWORK ALL STRUCTUAL TIMBERWORK AND ASSOCIATED CONNECTIONS SHALL COMPLY WITH A.S. 1720 TIMBER STRUCTURES CODE. ALL TIMBER MEMBERS SHALL BE STRESS GRADED AND MARKED IN ACCORDANCE WITH A.S. 2858, A.S. 1748, A.S. 1749 AND B.C.A. ALL TIMBER FRAMING INCLUDING FLOORS, WALLS AND ROOF, SHALL COMPLY WITH AS 1684 TIMBER FRAMING CODE. ALL WALL BRACING SHALL BE IN ACCORDANCE WITH A.S. 1684.

SUB FLOOR:
 REINFORCED CONCRETE SLAB TO ALL GROUND FLOORS. REFER TO ENGINEERS DRAWINGS FOR SIZES AND DETAILS

FLOORING:
 FLOOR FINISHES AS SELECTED BY CLIENT.

WALL FRAMING:
 FRAMING MUST BE IN ACCORDANCE WITH AS.1684.

BOTTOM PLATE- 90x45 MGP10
 STUDS- 90x45 MGP10 AT 450 CTRS
 JAMB STUDS- 2 / 90x45 MGP10
 NOGGINS- 70x35 MERCH AT 1350 CTRS MAX
 TOP PLATE- 2 / 90x45 MGP10
 LINTELS TO ENGINEERS DESIGN AND SPECIFICATION.

ROOF FRAMING:
 ROOF TRUSSES AS PER MANUFACTURERS DESIGN AND SPECIFICATIONS. MANUFACTURERS COMPUTATIONS ARE TO BE PROVIDED PRIOR TO FRAME INSPECTION. BUILDING TO CONFIRM EAVES DO NOT CLASH WITH WINDOWS OR MOLDS PRIOR TO ORDERING TRUSSES. ROOF BATTENS: 38x75 F8 HW AT 330 CTRS (TILE) 38x75 F8 HW AT 900 CTRS

(COLORBOND)
 38x75 F8 HW AT 900 CTRS (KLIP-LOK)

ROOFING TYPE:-
 SELECTED CORRUGATED ROOF SHEETS

EXTERNAL FINISHES:
 ALL MATERIALS AND FINISHES TO CLIENTS SPECIFICATION.
 - SELECTED FACE BRICKWORK TO CLIENTS SPECIFICATION WHERE INDICATED.
 - SELECTED SMOOTH RENDER FINISH TO CLIENTS SPECIFICATION WHERE INDICATED.

North Point



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P1	22/10/2025	REGULARISATION ISSUE	MD	STN
P1	21/05/202	REGULARISATION ISSUE	M	STN

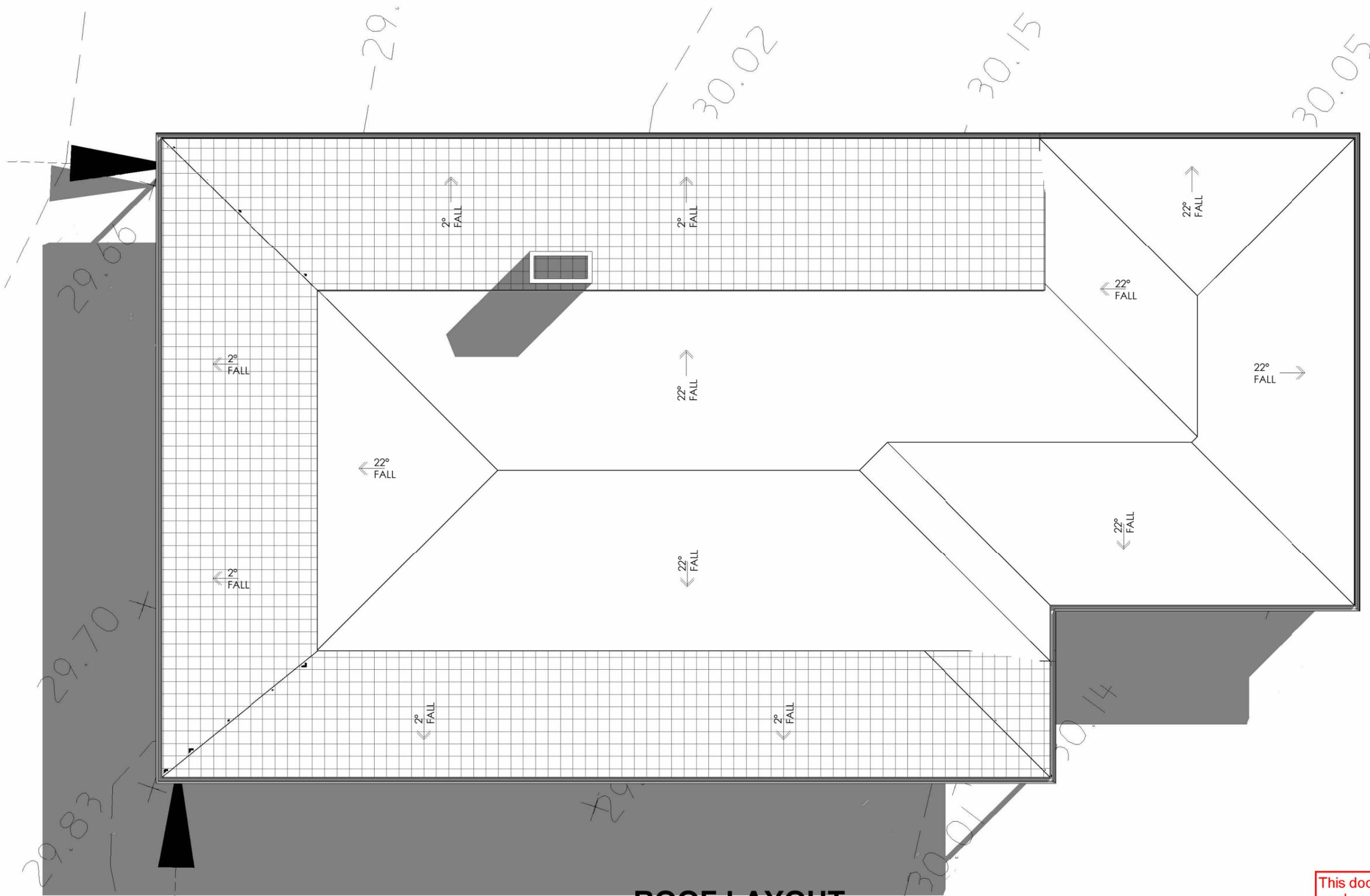
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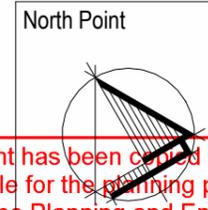
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PROJECT	24111-275 YANNINTHAN NORTH MODELLA VIC 3818	DRAWN	MD	SHEET	indicated
DRAWING TITLE	SECTIONS 2	DATE	21/05/2024	DATE	
		DRAWING NUMBER	A107		Revision.



ROOF LAYOUT
SCALE: 1 : 100



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P1	21/05/202	REGULARISATION ISSUE	MD	STN

REV	DATE	DESCRIPTION	DRAWN	DESIGN

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PROJECT	24111-275 YANNINTHAN NORTH MODELLA VIC 3818	DRAWN	MD	SHEET	1 : 100
DRAWING TITLE	ROOF LAYOUT	DATE	SEPT 2024	REVISION	
		DRAWING NUMBER	A108		

BR01
 TYPICAL BRICK VENEER WALL - EXTERNAL
 MINIMUM PERFORMANCE REQUIREMENT
 ACOUSTIC RATING: $R_w/R_w + C_{tr} : 60/52$ OR $R_w/R_w + C_{tr} : 61/53$

FIRE RESISTANCE LEVEL (FRL): 90/90/90
 WALL COMPONENTS
 - 10MM GYPROCK SUPERCHEK P/BOARD (DRY AREA) OR AQUACHEK
 P/BOARD OVER HEATING, MOISTURE BARRIER & VENTED AIRSPACE
 - 92MM TIMBER STUDS AT 600 CRS MAX. WITH CAVITY INSULATION AS PER ESD SPECS
 100MM BRICK VENEER

BR02
 RENDERED WHITE BRICK VENEER WALL - EXTERNAL
 SYSTEM NO : CSR 5405 OR CSR 5407
 MINIMUM PERFORMANCE REQUIREMENT
 ACOUSTIC RATING: $R_w/R_w + C_{tr} : 60/52$ OR $R_w/R_w + C_{tr} : 61/53$

FIRE RESISTANCE LEVEL (FRL): 90/90/90
 WALL COMPONENTS
 - 10MM GYPROCK SUPERCHEK P/BOARD (DRY AREA) OR AQUACHEK
 P/BOARD OVER HEATING, MOISTURE BARRIER & VENTED AIRSPACE
 - 92 TIMBER STUDS AT 600 CRS MAX. WITH CAVITY INSULATION AS PER ESD SPECS
 100MM BRICK VENEER WITH WHITE RENDER

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P1	22/10/2025	REGULARISATION ISSUE	MD	STN
P1	21/05/202	REGULARISATION ISSUE	MD	STN

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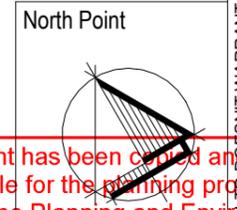
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DRAWING TITLE	DETAILS

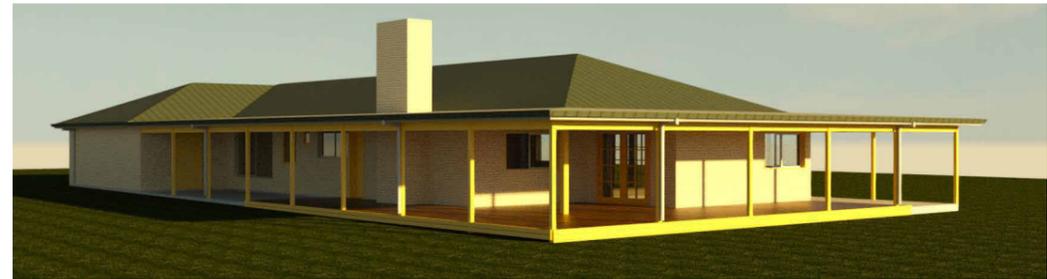
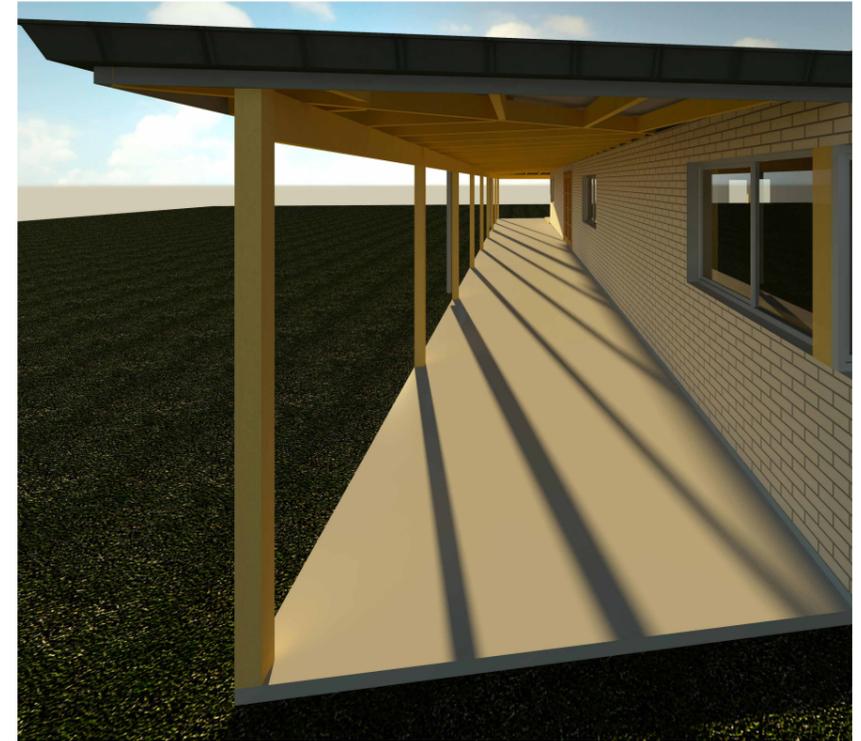


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DATE	SEPT 2024	SHEET	
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CLIENT	DEVELOPER	DESIGNED	MD	CHECKED	STN
PROJECT	24111-275 YANNANTHAN NORTH MODELLA VIC 3818	DRAWN	MD	SHEET	indicated
DRAWING TITLE	IMAGES	DATE	SEPT 2024	REVISION	
		DRAWING NUMBER	A110		Revision.

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REV	DATE	DESCRIPTION	DRAWN	DESIGN



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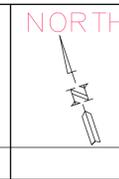
Issue	Date	Description	By	App'd
P2	25-09-24	PRELIMINARY ISSUE	M.D	S.T.N.
P1	09-09-24	PRELIMINARY ISSUE	M.D	S.T.N.

Issue	Date	Description	By	App'd


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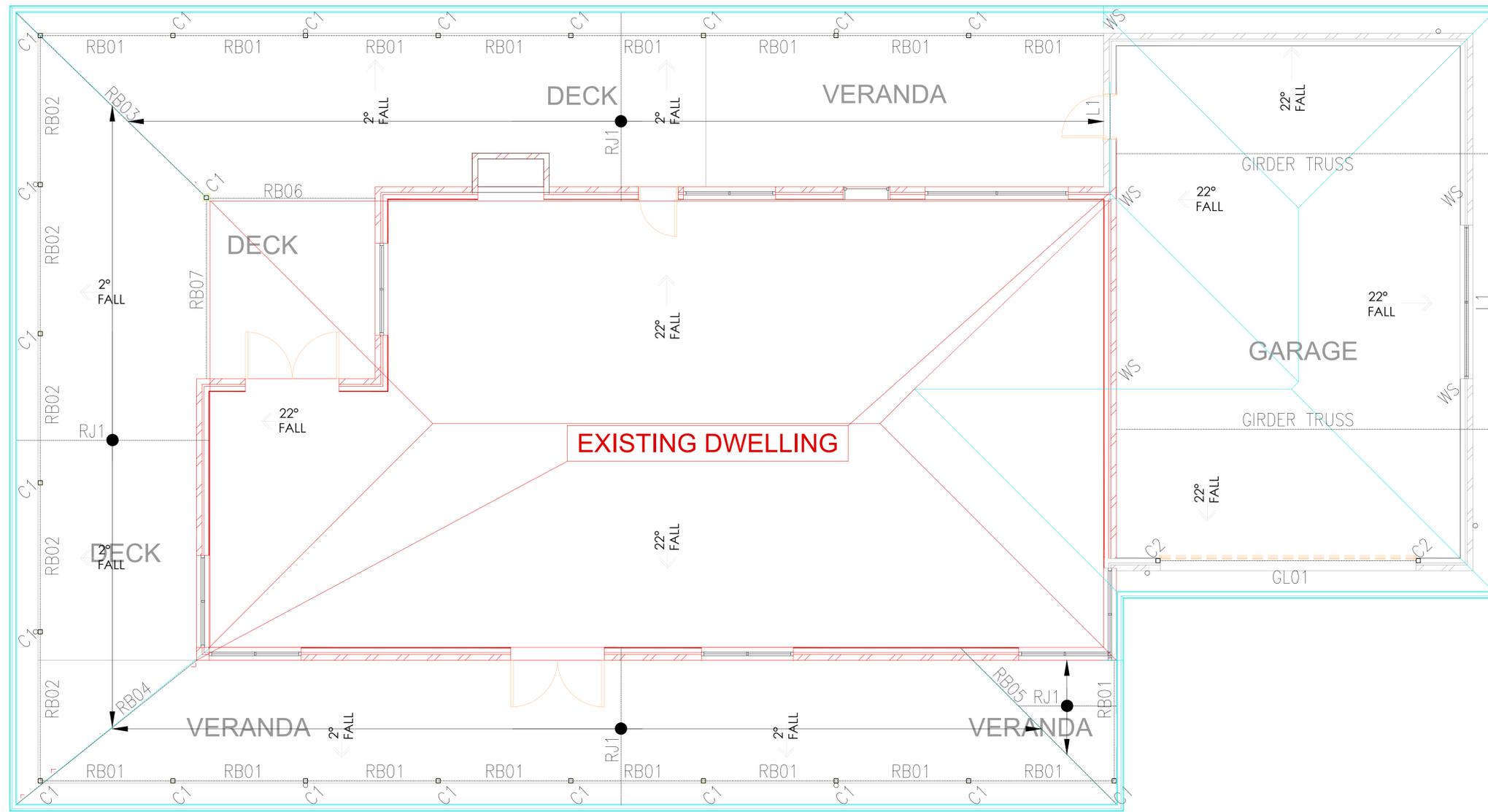


CLIENT:	DEVELOPER
PROJECT NAME:	REGULARISATION OF GARAGE, VERANDA AND DECK
LOCATION:	275 YANNATHAN NORTH, MODELLA VIC 3816
TITLE:	BOUNDARY CONDITIONS

DESIGNED:	M.D	CHECKED:	S.T.N
DRAWN:	M.D	DATE:	25/09/2024
DRAWING NUMBER:	VN24191820		

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ROOF FRAMING SHOWING ROOF TRUSSES

TAB 9 - TYPICAL COLUMN SCHEDULE

CO	COLUMN FROM ABOVE	SATISFACTORY
C1	100x100 F7 OREGON	SATISFACTORY

MEMBER SCHEDULE

MEMBER	SIZE	LEVEL	SATISFACTORY	NOTES
RB01	190x42	LVL 15	SATISFACTORY	
RB02	190x42	LVL 15	SATISFACTORY	
RB03	240x42	LVL 15	SATISFACTORY	
RB04	240x42	LVL 15	SATISFACTORY	
RB05	240x42	LVL 15	SATISFACTORY	
RB06	2/300x42	LVL 15	SATISFACTORY	
RB07	2/300x42	LVL 15	SATISFACTORY	
RJ1	140x42	LVL 15	SATISFACTORY	CONNECTED TO EXISTING ROOF CEILING JOIST
GL01	200x10 PLATE. VER + 250x16 PLATE. HOR		SATISFACTORY	

SINGLE LEVEL LINTELS - NO ADDITIONAL LEVEL ABOVE

SPAN	ROOF TRUSS	END BEARING
0-1200	Span 120X45 F17 KDHW + 100x75x6 UA	100mm
1200-1600	Span 190X45 F17 KDHW + 100x100x6 UA	150mm
1600-2200	Span 2/190X45 F17 KDHW + 100x100x6 UA	150mm
2200-2900	Span 2/240X45 F17 KDHW + 100x100x8 EA	150mm
2900-3500	Span 290X45 F17 KDHW + 150x100x10 EA	150mm
UPTO 3800	Span 2/300X42 LVL15 + 150x100x10 EA	150mm

NOTE: FOR CLAD FRAME (LIGHT WEIGHT WALLS WITHOUT BRICK VENEER) THE ANGLE IRON IS NOT REQUIRED.

ROOF TRUSSES IN ACCORDANCE WITH TRUSS MANUFACTURER'S SPECIFICATIONS

GIRDER TRUSS (GT) NOTE:
 CONTRACTOR TO FORM TRUSS TO MANUFACTURER'S DRAWING INCLUDING GIRDER TRUSSES. TRUSS LAYOUTS TO BE PROVIDED TO THIS OFFICE FOR CONFORMATION. LOCATION OF GIRDER TRUSSES AND STATIONS IS INDICATIVE ONLY, FOR THE ESTIMATION OF POINT LOADS ON LINTELS. IT IS SUBJECT TO CHANGE PENDING TRUSS MANUFACTURER'S DESIGN.

ROOF TRUSSES:
 ROOF TRUSSES TO MANUFACTURERS DESIGN AND SPECIFICATIONS. ROOF TRUSSES LAYOUTS TO BE PROVIDED FOR VERIFICATION OF DESIGN ASSUMPTIONS

- FRAMING COLUMN SUPPORT NOTES:**
- PROVIDE 2/90x45 MGP10 NAIL LAMINATED STUD SUPPORTS TO EACH END OF ALL TIMBER BEAMS, LINTELS & GIRDER TRUSSES U.N.O.
 - WHERE BOTH TIMBER AND STEEL OPTIONS ARE PROVIDED AND THE STEEL OPTION IS SELECTED STEEL COLUMN SUPPORTS ARE TO BE PROVIDED BOTH ENDS OF THE STEEL MEMBER SELECTED.
 - REFER TO ARCHITECTURAL DRAWINGS & AS 1684 RESIDENTIAL TIMBER FRAMED CONSTRUCTION FOR SIZES OF COMMON FRAMING MEMBERS NOT SPECIFIED IN THESE DRAWINGS.
 - TIMBER MEMBERS PARALLEL TO MASONRY WALLS SHALL BE SEPARATED FROM MASONRY WITH A GAP OR WATERPROOF MEMBRANE
 - ALL TIE DOWN OF ROOF MEMBERS (INCLUDING LINTELS) TO BE IN ACCORDANCE WITH AS-1684 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION. BUILDER TO PROVIDE ROOF BRACING IN ACCORDANCE WITH AS.4440

Issue	Date	Description	By	App'd	Issue	Date	Description	By	App'd
P2	25-09-24	PRELIMINARY ISSUE	M.D	S.T.N.					
P1	09-09-24	PRELIMINARY ISSUE	M.D	S.T.N.					

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NORTH

CLIENT:	DEVELOPER	DESIGNED:	M.D
PROJECT NAME:	REGULARISATION OF GARAGE, VERANDA AND DECK	CHECKED:	S.T.N
LOCATION:	275 YANNATHAN NORTH, MODELLA VIC 3816	DRAWN:	M.D
TITLE:	FRAMING LAYOUT	DATE:	25-09-24
		DRAWING NUMBER:	VN2411-13301

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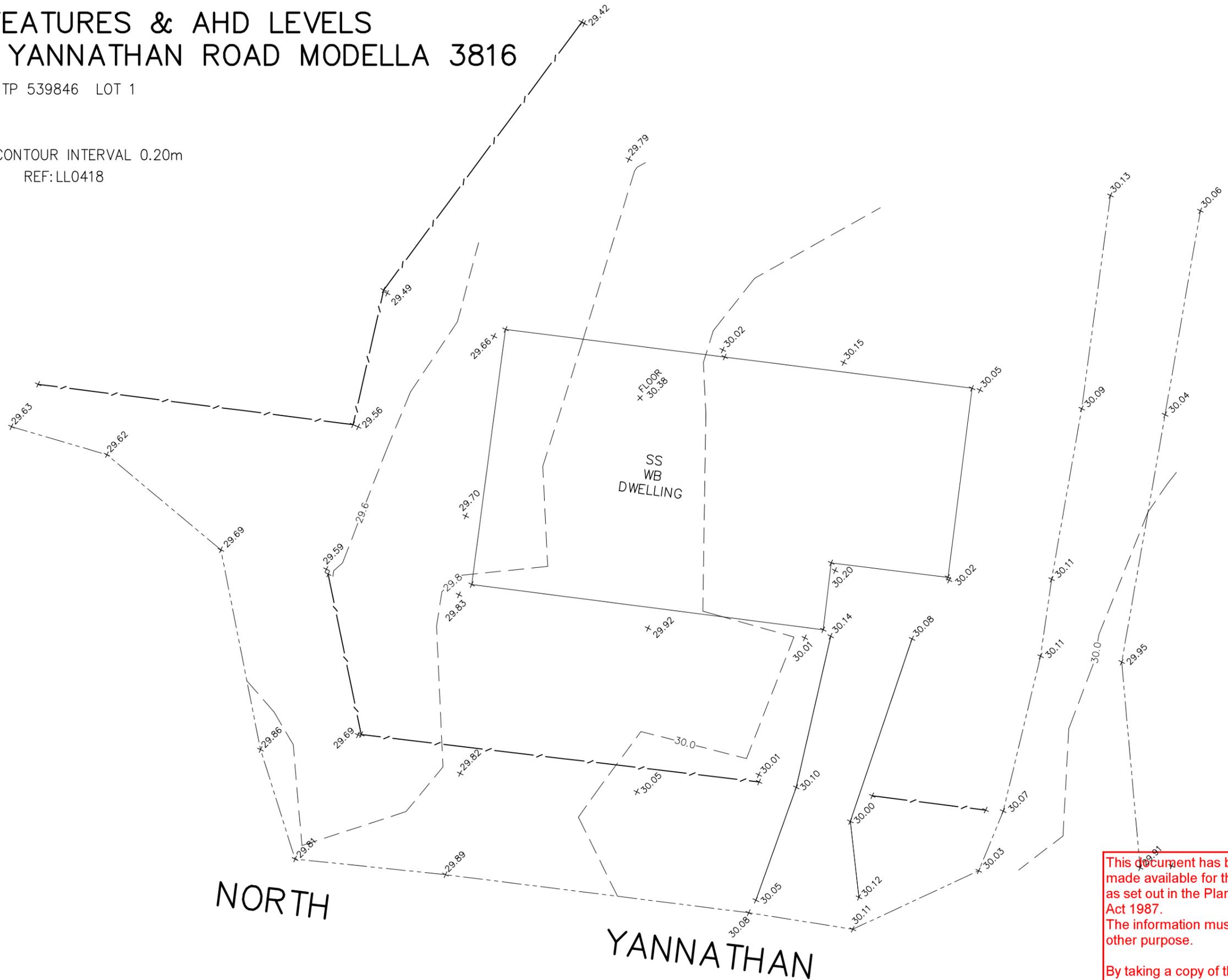
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PLAN OF FEATURES & AHD LEVELS 275 NORTH YANNATHAN ROAD MODELLA 3816

LAST PLAN REFERENCE: TP 539846 LOT 1

LEVEL DATUM AHD CONTOUR INTERVAL 0.20m
13/05/2025 VERSION 2 REF:LL0418
DRAWN BY: EM

ORIGINAL SHEET SIZE A3
SCALE 1:250



Advertised

GDA2020 ZONE 55

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ACN 005 365 560
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