



Application for a Planning Permit

Lodgement Date: **21 September 2021**
 Application Number: **PLA0264/21**
 Lodgement Method: **Online**
 Original Permit Number: **Not Applicable**

- ◆ Original Permit Number only relates to Amendment Applications
- ◆ All information in this form was submitted by the Applicant at the time of Lodgement.

The Land

Property Address* **19 Princes Highway TRAFALGAR VIC 3824**
 Land Legal Description* **V 8817 F 972 Lot 1 TP 674781 Trafalgar Township**
 Other Related Property
 Other Related Land

The Proposal

Category* **Development of 2 or more dwellings**
 Proposal* **2nd Dwelling on on allotment and a two lot subdivision**
 Estimated Cost* **\$425000.00**

Application Information

Pre-Application Meeting* **No**
 Existing Land Use* **Residential / Accommodation**
 Encumbrances on Title* **No**

Applicant and Owner Details

Applicant Details*

Surname/Company: **Latrobe Valley Drafting Pty Ltd**
 First Name:
 Postal Address: **PO Box 585 MOE VIC 3825**
 Mobile Phone: **0448 972 436** Home Phone:

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Work Phone:

0351262431

Email Address:

sue@lvdrafting.com.au

Advertised

Agent/Contact Details

Surname/Company: Latrobe Valley Drafting
Pty Ltd

First Name:

Postal Address: PO Box 585 MOE VIC
3825

Mobile Phone: 0448 972 436

Home Phone:

Work Phone: 0351262431

Email Address:

sue@lvdrafting.com.au

Attachment Details

00544644790012021092110560001 (DOC-21-156055)

00544644790132021092110560001 (DOC-21-156056)

Planning Application Report - 19 Princes Highway Trafalgar (DOC-21-156057)

19 Princes cover 001 (DOC-21-156058)

19 Princes site context 002 (DOC-21-156059)

19 Princes existign site 003 (DOC-21-156060)

19 Princes proposed site 004 (DOC-21-156061)

19 Princes overhsaodwing 005a (DOC-21-156062)

19 Princes overshadowing 005b (DOC-21-156063)

19 Princes overshadowing 005c (DOC-21-156064)

19 Princes subdvSION 006 (DOC-21-156065)

19 Princes site elevations 007 (DOC-21-156066)

19 Princes landscaping plan008 (DOC-21-156067)

19 Princes landscape details 009 (DOC-21-156068)

19 Princes existing dwelling 010 (DOC-21-156069)

19 Princes unit 2 floor plan 011 (DOC-21-156070)

19 Princes unit 2 elevations 012 (DOC-21-156071)

19 Princes crossvoer details 013 (DOC-21-156072)

TELstra pit lid allowance _ 19 Princes Hwy Trafalgar MR361521-1 (DOC-21-156073)

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Applicant Declaration

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I understand and declare that:

- I am the Applicant;
- all information provided within this application is true and correct; and
- the property/land owner (if not myself) has been notified of the application.

*I agree to the declaration terms**

Yes

The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application.

These third parties generally include, but are not limited to:

Transport Infrastructure Agencies such as VicRoads and VLine

Energy/Utilities Providers

Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies. Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

All information collected and held by Council is managed in accordance with Councils Privacy Policy which is available on our website. If you choose not to supply the requested information it may impair the ability of Council to consider your application or prevent Council from communicating with you in relation to your application.

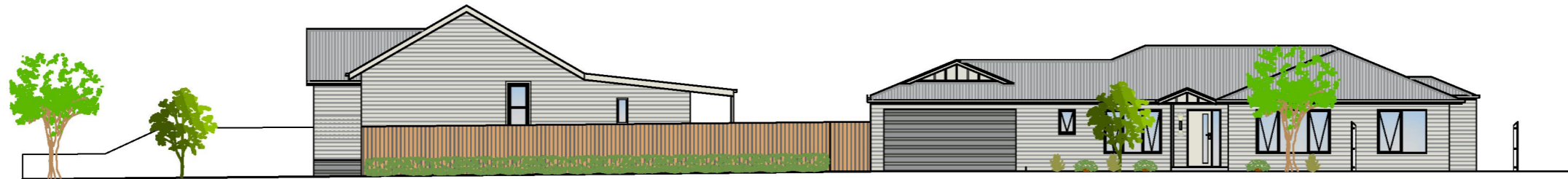
If you have any concerns or require access to the information held by Council, please contact us on 5624 2411.

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PROPOSED SECOND DWELLING 19 PRINCES HIGHWAY, TRAFALGAR VIC 3825



PROPERTY INFORMATION

LOT/PLAN NUMBER:	-	LOT 1 TP674781
MUNICIPALITY:	-	BAW BAW
WATER CORPORATION:	-	GIPPSLAND WATER
PLANNING ZONE:	-	GENERAL RESIDENTIAL ZONE (GRZ1)
PLANNING OVERLAYS:	-	DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY (DCPO1)
PLANNING APPROVAL:	-	REQUIRED
REPORT & CONSENT:	-	NOT REQUIRED
BUILDING PERMIT:	-	THESE WORKS REQUIRE A BUILDING PERMIT
SOIL CLASSIFICATION:	-	TO BE CONFIRMED
WIND RATING	-	N1
LAND SURVEY:	-	DOCUMENTS ATTACHED
ENGINEERING:	-	ENGINEER ROOF TRUSSES
DESIGNATED BUSHFIRE AREA:	-	NO
BUSHFIRE ATTACK LEVEL (BAL):	-	LOW

DRAWING SCHEDULE

Lv4372-001	-	DRAWING COVER SHEET
Lv4372-002	-	SITE CONTEXT PLAN
Lv4372-003	-	EXISTING SITE PLAN
Lv4372-004	-	PROPOSED SITE PLAN
Lv4372-005a	-	OVERSHADOWING PLAN 9am
Lv4372-005b	-	OVERSHADOWING PLAN 12pm
Lv4372-005c	-	OVERSHADOWING PLAN 3pm
Lv4372-006	-	SUBDIVISION PLAN
Lv4372-007	-	SITE ELEVATIONS
Lv4372-008	-	LANDSCAPING PLAN
Lv4372-009	-	LANDSCAPING DETAILS
Lv4372-010a	-	EXISTING DWELLING FLOOR PLAN (UNIT 1)
Lv4372-010b	-	EXISTING DWELLING ELEVATIONS (UNIT 1)
Lv4372-011	-	UNIT 2 FLOOR PLAN
Lv4372-012	-	UNIT 2 ELEVATIONS
Lv4372-013	-	CROSSOVER DETAILS

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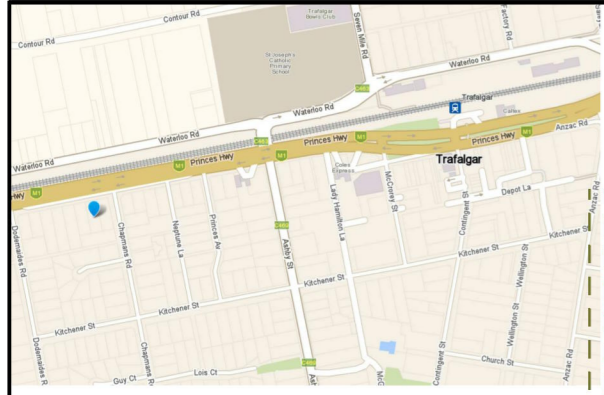
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REV #	DESCRIPTION	DRAWN BY	DATE
P2	RE-ISSUED FOR PLANNING APPROVAL	S.PHILLIPS	21/10/2021
P1	ISSUED FOR PLANNING APPROVAL	R.GAM BUTI	16/09/2021

FOR PLANNING			
DRAWN:	R.GAM BUTI	DATE:	15/08/2021
CHECKED:	S.AB	SHEET No:	1 OF 15
DO NOT SCALE		SCALE	
A3 SIZE SHEET		NTS	REV. P2
		DRG.NO. Lv4372-001	

LEGEND

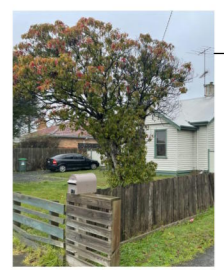
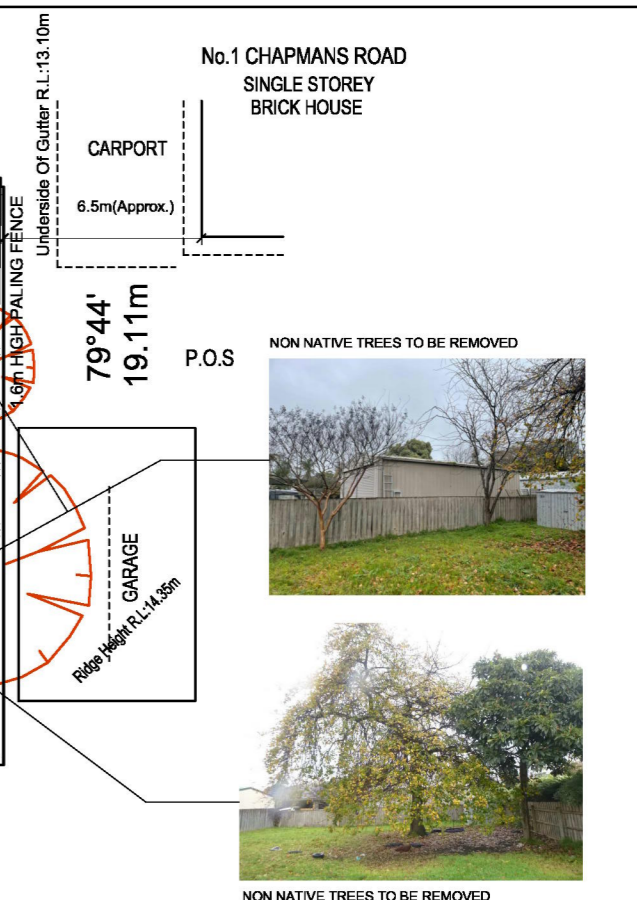
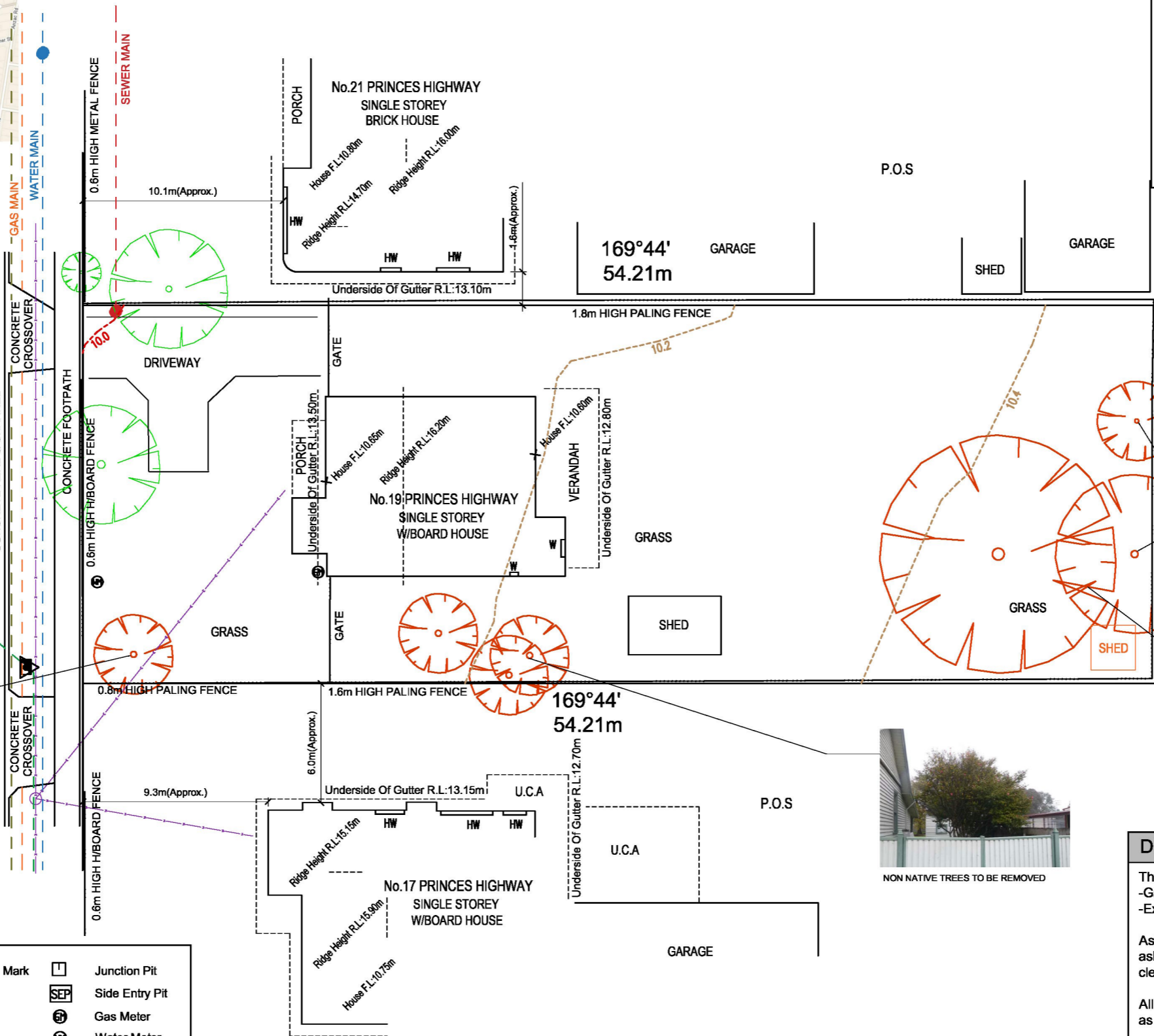
- EXISTING VEGETATION TO BE RETAINED
- VEGETATION TO BE REMOVED
- ELEMENTS TO BE REMOVED
- SEWER MAIN
- NBN U/G CABLE
- GAS MAIN
- WATER MAIN
- ELECTRICITY OVERHEAD LINE
- STORMWATER



**PRINCES HIGHWAY
(SERVICE LANE)**

79°44'
19.11m

T.B.M
TELSTRA PIT
R.L.:10.00m



NON NATIVE TREE TO BE REMOVED



NON NATIVE TREES TO BE REMOVED



NON NATIVE TREES TO BE REMOVED

LANDZ SURVEYING

FEATURE SURVEY OF PLAN OF LOT 1 TP 674781S
No. 19 PRINCES HIGHWAY
TRAFALGAR VIC 3824
LEVELS ARE TO AN ARBITRARY DATUM
CONTOUR INTERVAL 0.2 METRES
JOB NUMBER: 00824

	Temporary Bench Mark		Junction Pit
	Electricity pit		Side Entry Pit
	Water Hydrant		Gas Meter
	Stop Valve		Water Meter
	Communications Pit		Property Inlet
	Fence		Peg
	Water/Gas marker		Powerlines

DEMOLITION NOTES

The following is to be completely demolished:
-Garden Shed as shown
-Existing Concrete paving

Asbestos audits to be undertaken prior to demolition and any asbestos materials to be removed by licensed removalist and a clearance certificate must be issued

All buildings are to be disconnected from services prior to demolition as per services plans & BBYD

All vegetation on site is to be removed as shown. Any soft or loose soil that does not respond to compaction should be excavated to achieve a firm working base (engineer designed footing system may be required)

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2 0 2 4 6 8 10 12 14 16 18 20			
SCALE 1:250			
P1	ISSUED FOR PLANNING APPROVAL	R.GAMBUTI	16/09/2021
REV #	DESCRIPTION	DRAWN BY	DATE

FOR PLANNING

DRAWN: R.GAMBUTI
DATE: 15/07/2021
CHECKED: S.AB
SHEET No: 3 OF 15

DO NOT SCALE
A3 SIZE SHEET

EXISTING SITE PLAN

PROJECT: PROPOSED SECOND DWELLING
ADDRESS: 19 PRINCES HIGHWAY, TRAFALGAR

Page 6 of 59
SCALE 1:250
DRG.NO. Lv4372-003
REV. P4

LEGEND

- PROPOSED DWELLING
- POS/SPOS
- PERMEABLE PAVING ON SAND BASE
- CONCRETE DRIVEWAY
- GARDEN SHED/STORAGE MIN. 6m³
- TIMBER PALING FENCE
- CLOTHES LINE
- WATER TANK & SERVICES
- PROPOSED CANOPY TREE
- EXISTING VEGETATION
- BIN LOCATION
- LETTERBOX UNIT
- S.P.O.S. SECLUDED PRIVATE OPEN SPACE
- CAR REVERSING PATH AS PER AUSTRROADS 5.2m PASSENGER VEHICLE 4.0m INNER RADIUS, 6.3m OUTER RADIUS
- VEHICLE ACCESSWAY CORNER SPY, 50% CLEAR OF VISUAL OBSTRUCTIONS, VEGETATION MAX. HEIGHT: 900mm
- SEWER MAIN
- NBN U/G CABLE
- GAS MAIN
- WATER MAIN
- ELECTRICITY OVERHEAD LINE
- STORMWATER
- OVERLOOKING ARC
- AREA OF FENCE WITH FENCE EXTENSIONS TO AVOID OVERLOOKING

DEVELOPMENT SUMMARY

STREET SETBACK:
10.57 METRES TO MATCH EXISTING
SITE AREA = 1,035m²
TOTAL SITE COVERAGE: 354.81m² 34%

SITE AREA UNIT 1: 425m²
BUILDING AREA: 151.88m²
PROPOSED SITE COVERAGE: 36%

SITE AREA UNIT 2: 610m²
BUILDING AREA: 202.93m²
PROPOSED SITE COVERAGE: 33%

CONCRETE COVERAGE:
UNIT 1 = 37m² UNIT 2 = 150m²
TOTAL SITE CONCRETE: 187m²

PERMEABILITY

TOTAL SITE PERMEABILITY: 493.19m² 47%

SITE AREA UNIT 1: 425m²
PERMEABILITY AREA: 236.12m²
PERMEABLE SITE COVERAGE: 55%

SITE AREA UNIT 2: 610m²
PERMEABILITY AREA: 257.07m²
PERMEABLE SITE COVERAGE: 42%

GARDEN AREA

TOTAL SITE AREA: 1,035m²
ABOVE 650m² REQUIRES 35%
1,035 x 35 / 100 = 362.25m² REQUIRED
TOTAL SITE GARDEN AREA = 493.19m²
47% COMPLIES

PRIVATE OPEN SPACE

UNIT 1: POS: 273.12m²
PRIVATE OPEN SPACE: SPOS: 85m²

UNIT 2: POS: 407.07m²
PRIVATE OPEN SPACE: SPOS: 75m²

SECLUDED PRIVATE OPEN SPACE AREAS WITH A MINIMUM OF 3m WIDTH >25m²

PRINCES HIGHWAY (SERVICE LANE)

PROPOSED NEW 3m WIDE CROSSOVER AS PER RELEVANT AUTHORITY STANDARDS

PROPOSED NEW 3m WIDE CROSSOVER AS PER RELEVANT AUTHORITY STANDARDS

TELSTRA PIT R.L.:10.00m

TELSTRA PIT TO BE RELOCATED OR ALTERED TO ALLOW NEW CROSSOVER (TO BE CONFIRMED)

NEW 0.9m HIGH FRONT FENCE

NEW 1.8m HIGH PALING FENCE

NEW 1.8m HIGH PALING FENCE

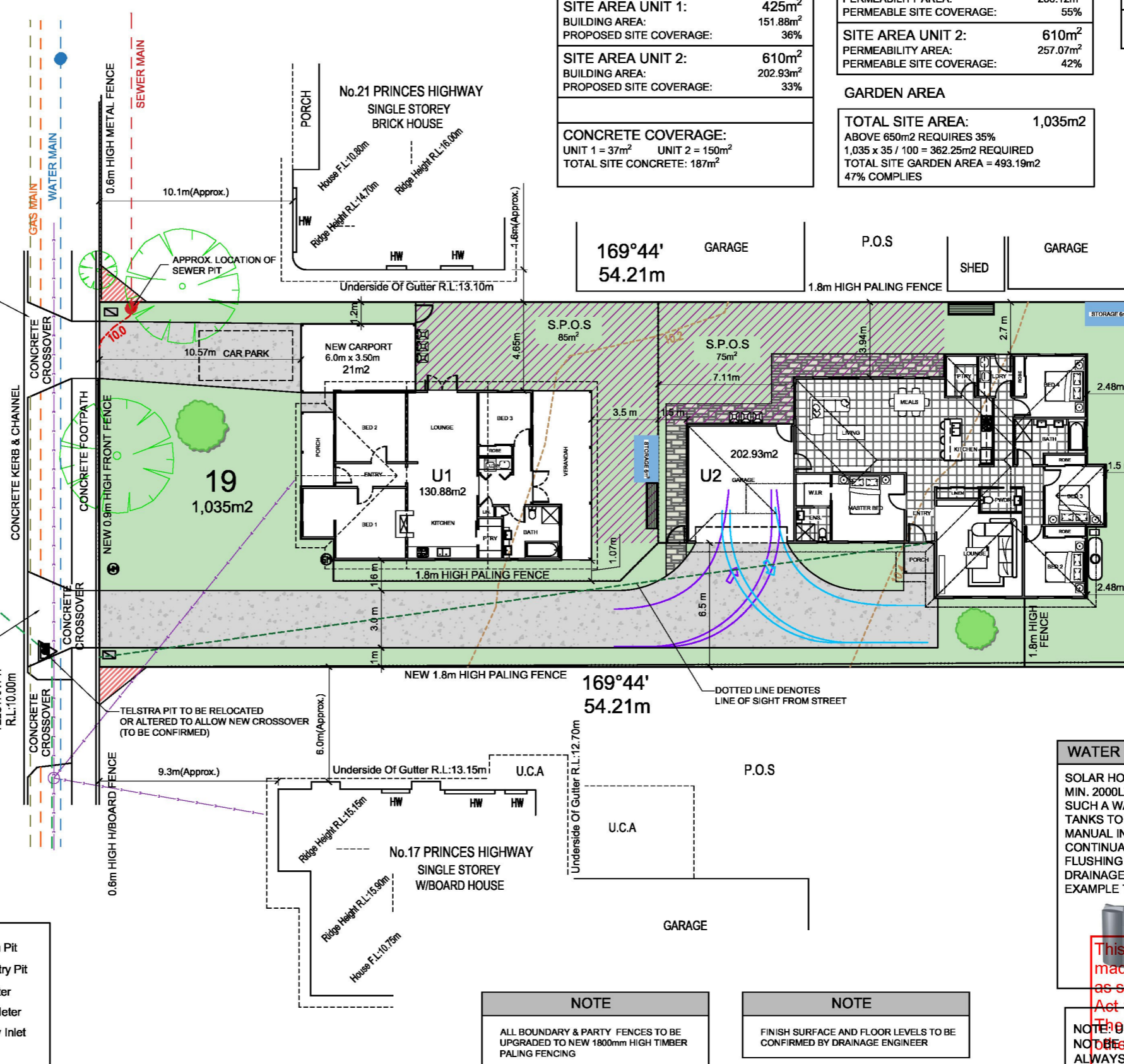
NEW 1.8m HIGH PALING FENCE

NEW 1.8m HIGH PALING FENCE

NEW 1.8m HIGH PALING FENCE

NEW 1.8m HIGH PALING FENCE

NEW 1.8m HIGH PALING FENCE



NOTE
ALL BOUNDARY & PARTY FENCES TO BE UPGRADED TO NEW 1800mm HIGH TIMBER PALING FENCING

NOTE
FINISH SURFACE AND FLOOR LEVELS TO BE CONFIRMED BY DRAINAGE ENGINEER

WATER TANKS

SOLAR HOT WATER SYSTEM TO BE INSTALLED, OR A MIN. 2000LT RAINWATER TANK TO BE INSTALLED IN SUCH A WAY TO RECEIVE A MIN. 50m² OF ROOF AREA. TANKS TO BE PROVIDED WITH AN AUTOMATIC OR MANUAL INTERCHANGE DEVICE TO PROVIDE A CONTINUAL SUPPLY OF WATER FOR SANITARY FLUSHING OR UPGRADED AS PER ENGINEER'S DRAINAGE DESIGN. EXAMPLE TANK:

LENGTH: 2000mm
WIDTH: 720mm
HEIGHT: 1880mm

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LANDZ SURVEYING

FEATURE SURVEY OF PLAN OF LOT 1 TP 674781S
No. 19 PRINCES HIGHWAY
TRAFALGAR VIC 3824
LEVELS ARE TO AN ARBITRARY DATUM
CONTOUR INTERVAL 0.2 METRES
JOB NUMBER: 00824

- Temporary Bench Mark
- Electricity pit
- Water Hydrant
- Stop Valve
- Communications Pit
- Fence
- WG Water/Gas marker
- Junction Pit
- Side Entry Pit
- Gas Meter
- Water Meter
- Property Inlet
- Peg
- Powerlines

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SCALE 1:250											
P1	ISSUED FOR PLANNING APPROVAL	R.GAMBUTI	16/09/2021								
REV #	DESCRIPTION	DRAWN BY	DATE								

FOR PLANNING

DRAWN: R.GAMBUTI
DATE: 20/07/2021
CHECKED: S.AB
SHEET No: 4 OF 15

DO NOT SCALE
A3 SIZE SHEET

SCALE: 1:250
DRG.NO: Lv4372-004
REV: P4

PROPOSED SITE PLAN
PROJECT: PROPOSED SECOND DWELLING
ADDRESS: 19 PRINCES HIGHWAY, TRAFALGAR
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Page 7 of 59

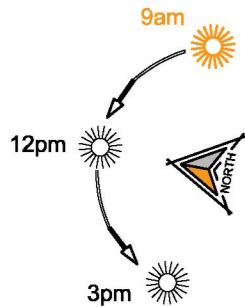
CLAUSE 55 COMPLIANCE
OVERSHADOWING OPEN SPACE - B21 (55.04-5)

THE DWELLING OVERSHADOWS NEIGHBOURING
PROPERTIES AT 9am ON 22nd OF SEP.

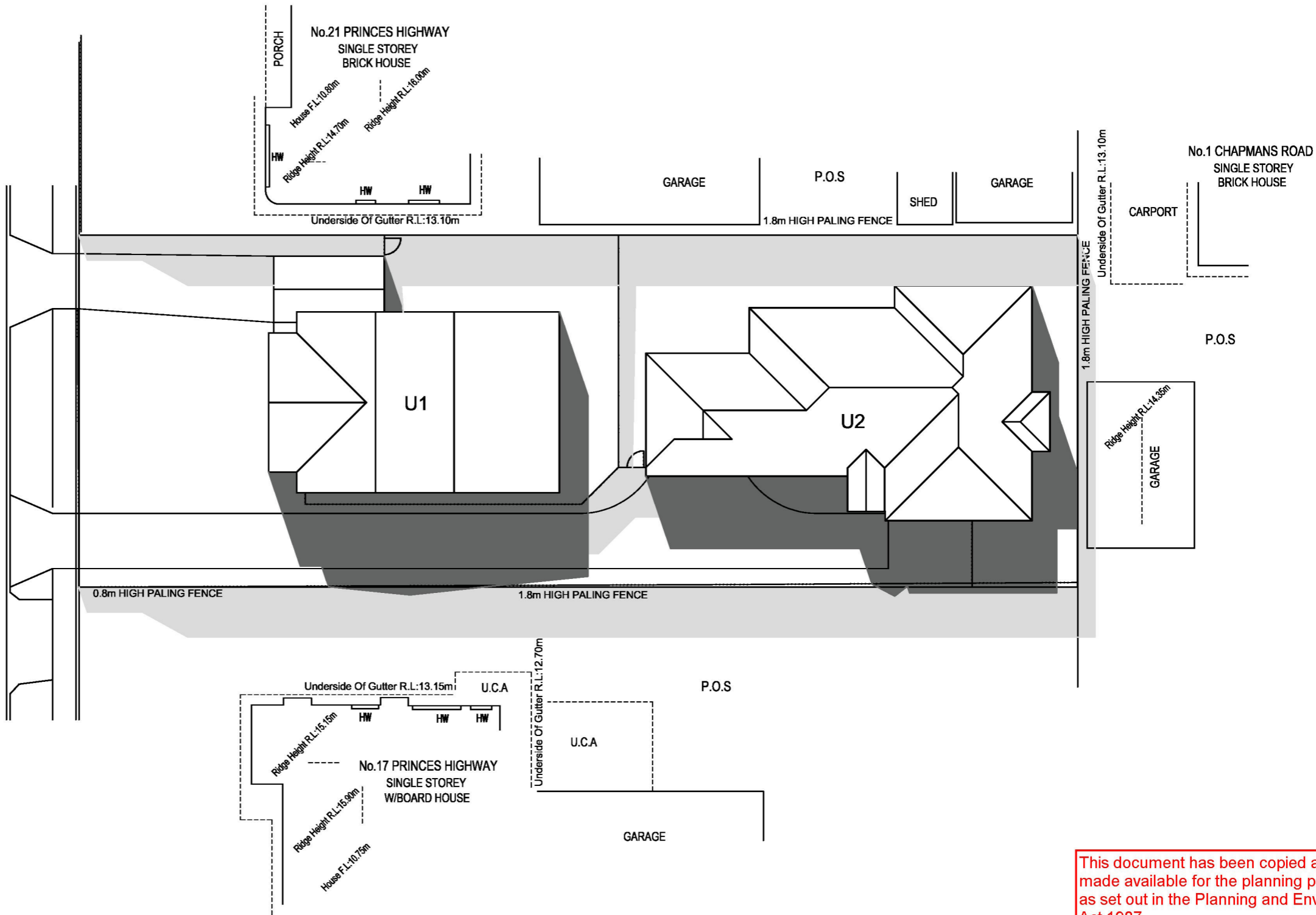
9am

OVERSHADOWING OF BOUNDARY & PARTY
FENCING AT 9am ON 22nd OF SEP.

9am



PRINCES HIGHWAY



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OVERSHADOWING PLAN - 9am

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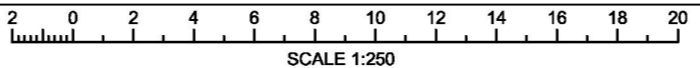


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FOR PLANNING	
DRAWN:	R.GAM BUTI
DATE:	15/09/2021
CHECKED:	S.AB
SHEET No:	5 OF 15
DO NOT SCALE	
A3 SIZE SHEET	

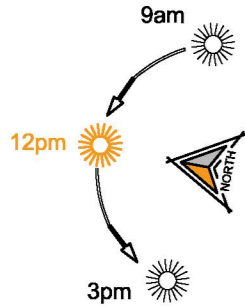
CLAUSE 55 COMPLIANCE
OVERSHADOWING OPEN SPACE - B21 (55.04-5)

THE DWELLING OVERSHADOWS NEIGHBOURING
PROPERTIES AT 12pm ON 22nd OF SEP.

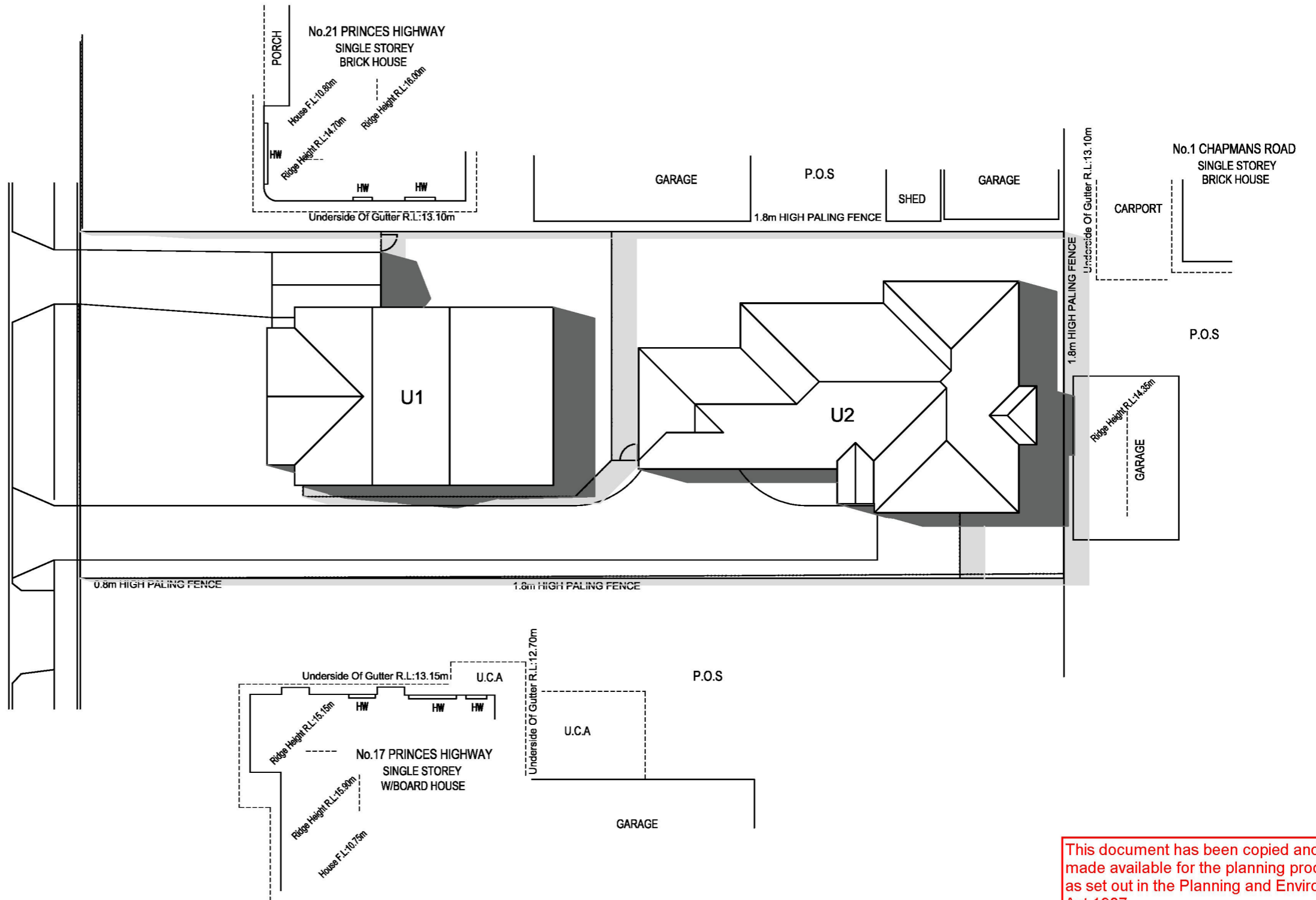
12pm

OVERSHADOWING OF BOUNDARY & PARTY
FENCING AT 12pm ON 22nd OF SEP.

12pm



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OVERSHADOWING PLAN - 12pm

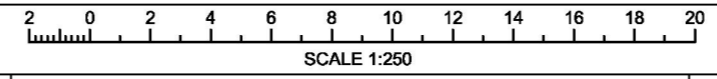
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SHEET No: 6 OF 15

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A3 SIZE SHEET

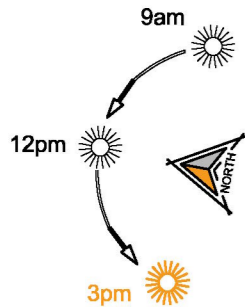
CLAUSE 55 COMPLIANCE
OVERSHADOWING OPEN SPACE - B21 (55.04-5)

THE DWELLING OVERSHADOWS NEIGHBOURING
PROPERTIES AT 3pm ON 22nd OF SEP.

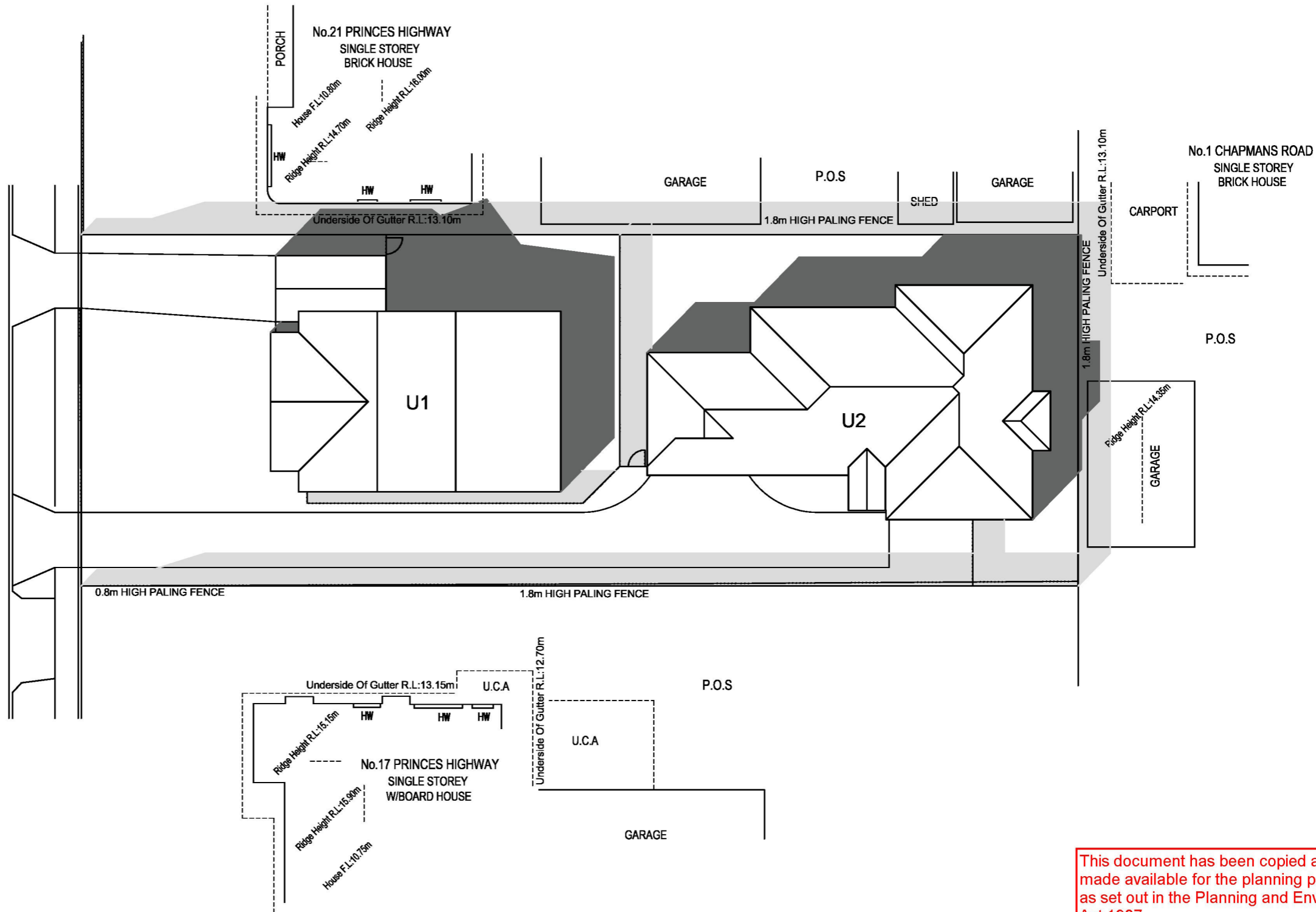
3pm

OVERSHADOWING OF BOUNDARY & PARTY
FENCING AT 3pm ON 22nd OF SEP.

3pm



PRINCES HIGHWAY



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OVERSHADOWING PLAN - 3pm

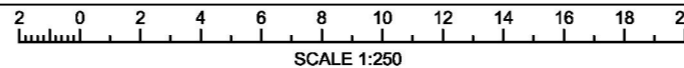
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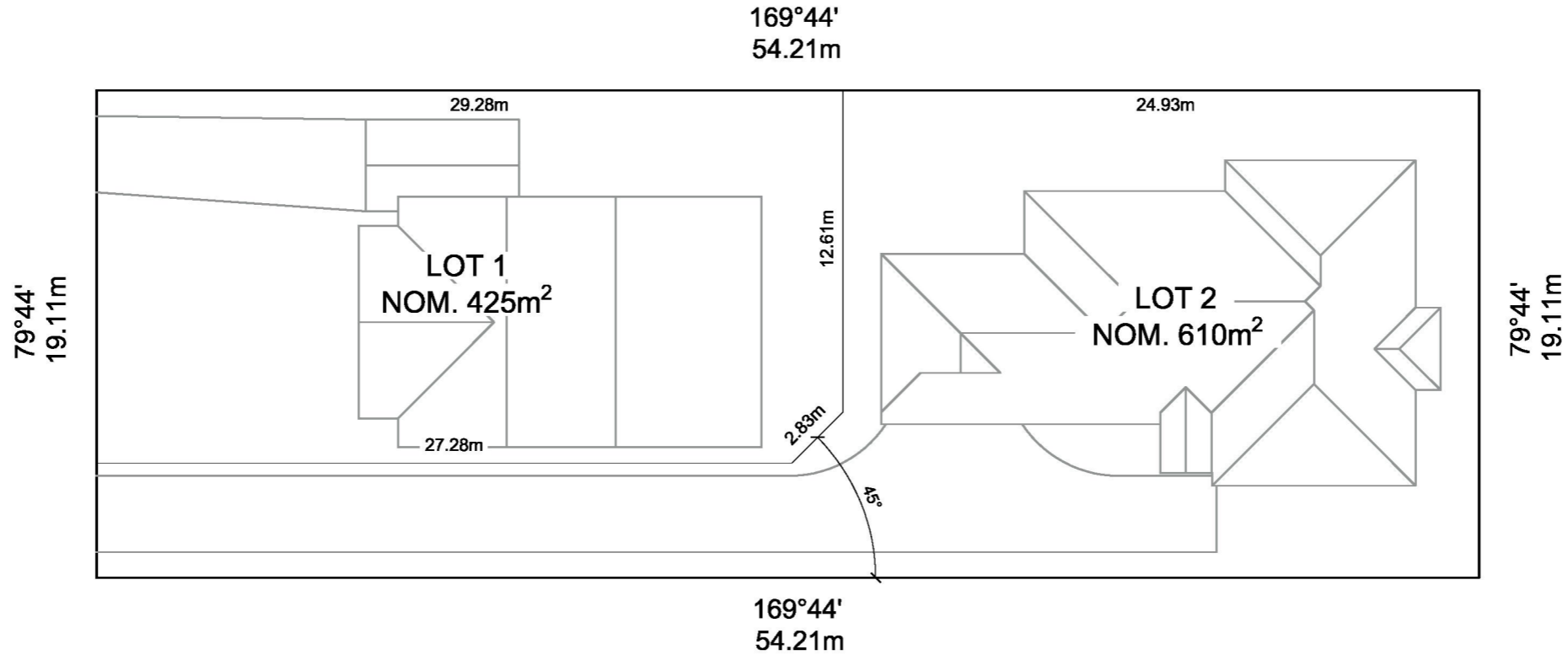
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DATE: 15/09/2021
CHECKED: S.AB
SHEET No: 7 OF 15

DO NOT SCALE
A3 SIZE SHEET

SCALE 1:250	DRG.NO. Lv4372-005c	REV. P4
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NOTE
TITLE BOUNDARIES TO BE CONFIRMED BY A LICENCED SURVEYOR


PRINCES HIGHWAY



LOT SIZES	
LOT 1	NOM. 425m ²
LOT 2	NOM. 610m ²
TOTAL	1,035m²

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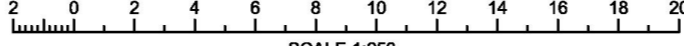
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 SCALE 1:250			
P1	ISSUED FOR PLANNING APPROVAL	R.GAMBUTI	16/09/2021
REV #	DESCRIPTION	DRAWN BY	DATE

FOR PLANNING



DRAWN:	R.GAMBUTI
DATE:	15/09/2021
CHECKED:	S.AB
SHEET No:	8 OF 15

DO NOT SCALE
A3 SIZE SHEET

SUBDIVISION PLAN

PROJECT: PROPOSED SECOND DWELLING
ADDRESS: 19 PRINCES HIGHWAY, TRAFALGAR

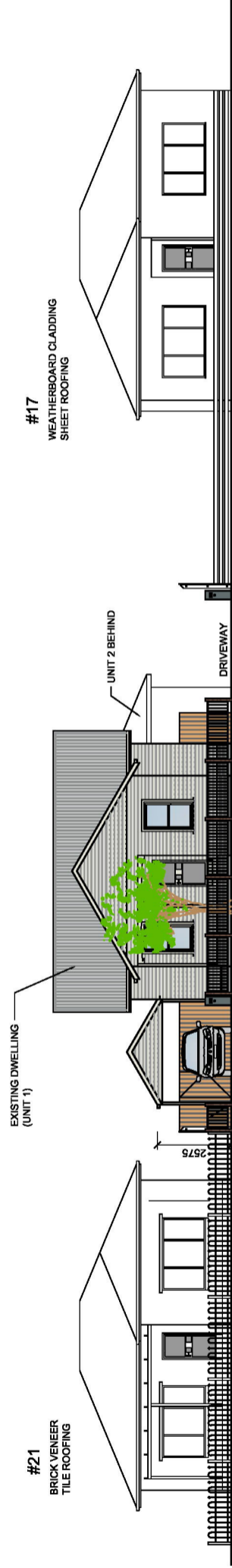
SCALE 1:250	DRG.NO. Lv4372-006	REV. P4
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UNIT 1 COLOUR & MATERIAL LEGEND (EXISTING)	
ITEM	MATERIAL/COLOUR
ROOFING	COLORBOND CUSTOM ORB ROOFING COLORBOND WINDSPRAY OR SIMILAR
CLADDING	BGC NULINE™ WEATHERBOARDS COLOUR: 'SILVER CITY GREY' OR SIMILAR
FASCIA, GUTTERS, DOWNPIPES	COLOUR: 'CLASSIC WHITE' OR SIMILAR
WINDOWS	TIMBER COLOUR: 'CLASSIC WHITE' OR SIMILAR

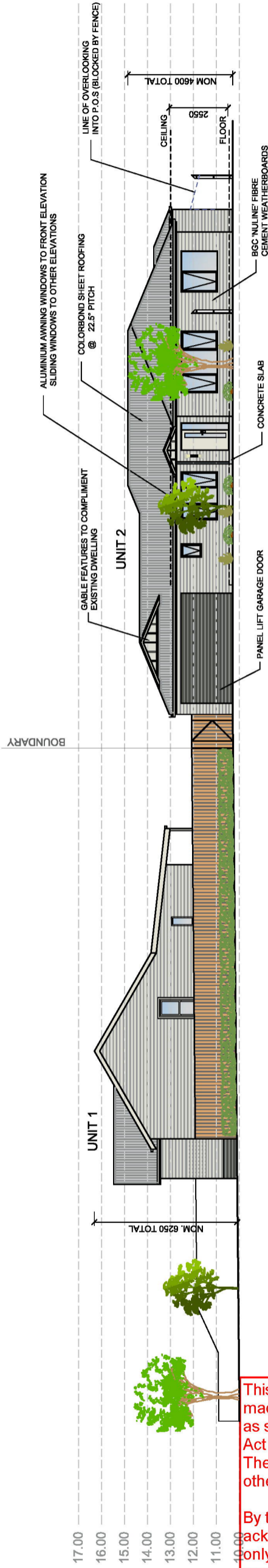
NOTE: COLOURS LISTED ARE APPROXIMATE ONLY AS BUILDING IS EXISTING

UNIT 2 COLOUR & MATERIAL LEGEND	
ITEM	MATERIAL/COLOUR
ROOFING	COLORBOND CUSTOM ORB ROOFING COLORBOND WINDSPRAY OR SIMILAR
CLADDING	BGC NULINE™ WEATHERBOARDS COLOUR: 'SILVER CITY GREY' OR SIMILAR
GARAGE DOOR	PANEL LIFT DOOR COLOUR: 'WOODLAND GREY' OR SIMILAR
FASCIA, GUTTERS, DOWNPIPES	COLOUR: 'CLASSIC WHITE' OR SIMILAR
WINDOWS	TIMBER COLOUR: 'CLASSIC WHITE' OR SIMILAR

NOTE: COLORBOND COLOURS HAVE BEEN USED FOR EASY REFERENCE. COLOURS USED IN BUILDING FINISHES ARE TO BE SIMILAR COLOURS TO THOSE SPECIFIED.



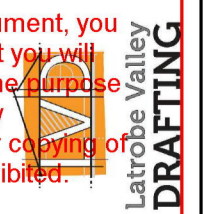
PRINCES HIGHWAY VIEW (NORTH)



INTERNAL SITE VIEW (WEST)



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FOR PLANNING

DRAWN:	R. GAMBUTI
DATE:	22/07/2021
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SHEET NO.:	9 OF 15
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A3 SIZE SHEET	

REV #	DESCRIPTION	DATE	DRAWN BY
P2	RE-ISSUED FOR PLANNING APPROVAL	21/10/2021	S. PHILLIPS
P1	ISSUED FOR PLANNING APPROVAL	16/09/2021	R. GAMBUTI

SITE ELEVATIONS	
PROJECT: PROPOSED SECOND DWELLING	
ADDRESS: 19 PRINCES HIGHWAY, TRAFALGAR	
SCALE	1:200
DRG. NO.	Lv4372-007
REV.	P2

Advised

PLANT SCHEDULE				
BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	MATURE SIZE	QUANTITY
INGIGENOUS CANOPY TREE <i>Corymbia ficifolia</i>	Summer Red Flowering Gum	1.5cm	4-6m(H) x 3m(W)	1
INGIGENOUS CANOPY TREE <i>Acacia implexa</i>	Lightwood	2m	5m(H) x 7m(W)	1
INDIGENOUS SHRUB <i>Grevillea Superb</i>	Grevillea Superb	50mm	1-1.5m(H) x 1-1.5m(W)	1
INDIGENOUS GRASS <i>Lomandra longifolia</i>	Spiny-leaf Mat-rush	50mm pot	1.2m(W) x 0.8m(H)	12
INDIGENOUS SHRUB <i>Anigozanthos</i>	Kangaroo Paw	6" pot	0.6m(H) x 0.5m(W)	33
INDIGENOUS GRASS <i>Lomandra fluviatilis</i>	Mat Rush	6" pot	0.5m(H) x 0.6m(W)	15
INDIGENOUS SHRUB <i>Banksia Spinulosa</i>	Birthday Candles Banksia	7" pot	0.5m(H)	10
INDIGENOUS GRASS <i>Lomandra labill</i>	Evergreen Baby	80mm	0.45m(H) x 0.45m(W)	7
INDIGENOUS SHRUB <i>Azmenia smithii</i>	'Alynn Magic' Lily Pilly	140mm OR 200mm	0.5m-1m(W) x 0.5m-1m(H)	22

*for similar if cannot be sourced or is not appropriate for location.

PRINCES HIGHWAY
(SERVICE LANE)

79°44'
19.11m

CONCRETE KERB & CHANNEL

NEW 0.9m FRONT FENCE

NEW 0.6m HIGH METAL FENCE

19
1,035m²

No.21 PRINCES HIGHWAY
SINGLE STOREY
BRICK HOUSE

169°44'
54.21m

GARAGE

P.O.S

GARAGE

1.8m HIGH PALING FENCE

1.8m HIGH PALING FENCE

79°44'
19.11m

P.O.S

GARAGE

No.1 CHAPMANS ROAD
SINGLE STOREY
BRICK HOUSE

CARPORT

NEW 1.8m HIGH PALING FENCE
169°44'
54.21m

No.17 PRINCES HIGHWAY
SINGLE STOREY
W/BOARD HOUSE

P.O.S

GARAGE

WATER TANKS

SOLAR HOT WATER SYSTEM TO BE INSTALLED, OR A MIN. 2000LT RAINWATER TANK TO BE INSTALLED IN SUCH A WAY TO RECEIVE A MIN. 50m² OF ROOF AREA. TANKS TO BE PROVIDED WITH AN AUTOMATIC OR MANUAL INTERCHANGE DEVICE TO PROVIDE A CONTINUAL SUPPLY OF WATER FOR SANITARY FLUSHING OR UPGRADED AS PER ENGINEER'S DRAINAGE DESIGN. EXAMPLE TANK:

LENGTH: 2000mm
WIDTH: 720mm
HEIGHT: 1880mm

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LANDSCAPING PLAN
PROJECT: PROPOSED SECOND DWELLING
ADDRESS: 19 PRINCES HIGHWAY, TRAFALGAR

Page 13 of 59
SCALE: 1:250
DRG.NO. Lv4372-008
REV. P4

FENCING	LETTERBOX
ALL PROPOSED FENCES ARE TO BE 1800mm HIGH TIMBER PALING FENCING - SIMILAR TO SHOWN	NEW LETTER BOX UNITS EXAMPLE SHOWN:
FENCE EXTENSIONS REQUIRED TO DOTTED GREEN AREA - SIMILAR TO SHOWN - NOT REQUIRED	SITE ANALYSIS
PERMEABLE DRIVEWAY & PATIO	SITE TOTAL AREA: 1,035m ²
PERMEABLE PAVERS TO PATIOS ON SAND BASE AS PER MANUFACTURER'S SPECIFICATIONS, SIMILAR TO SHOWN	TOTAL SITE COVERAGE: 354.81m ²
	CONCRETE AREA: 187m ²
	PERMEABLE AREA: 493.19m ²
	GARDEN AREA
	TOTAL GARDEN AREA NOM. 493.19m ²
	(MIN. 35%) 47%

Advertised

LEGEND	
	PROPOSED DWELLING
	POS/SPOS
	PERMEABLE PAVING ON SAND BASE
	CONCRETE DRIVEWAY
	GARDEN SHED/STORAGE MIN. 6m ³
	TIMBER PALING FENCE
	CLOTHES LINE
	WATER TANK & SERVICES
	PROPOSED CANOPY TREE
	EXISTING VEGETATION
	BIN LOCATION
	LETTERBOX UNIT
	SECLUDED PRIVATE OPEN SPACE
	VEHICLE ACCESSWAY CORNER SPLAY, 50% CLEAR OF VISUAL OBSTRUCTIONS, VEGETATION MAX. HEIGHT: 900mm

NOTE: ALL BOUNDARY & PARTY FENCES TO BE UPGRADED TO NEW 1800mm HIGH TIMBER PALING FENCING

NOTE: FINISH SURFACE AND FLOOR LEVELS TO BE CONFIRMED BY DRAINAGE ENGINEER

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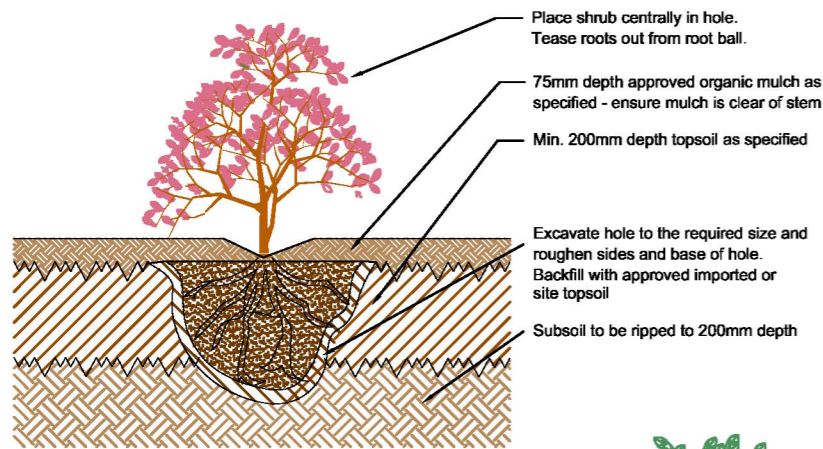
REV #	DESCRIPTION	DRAWN BY	DATE
P1	ISSUED FOR PLANNING APPROVAL	R.GAM BUTI	16/09/2021

FOR PLANNING

DRAWN: R.GAM BUTI
DATE: 20/07/2021
CHECKED: S.AB
SHEET No: 10 OF 15

DO NOT SCALE
A3 SIZE SHEET

DRG.NO. Lv4372-008
REV. P4



Typical shrub planting detail

Section detail

Note: Strong central leading trunk to be evident at time of planting

3 Stakes tied to tree as indicated. Stakes must not damage root ball. Install ties 1/3 height of tree with enough slack to permit trunk movement in wind

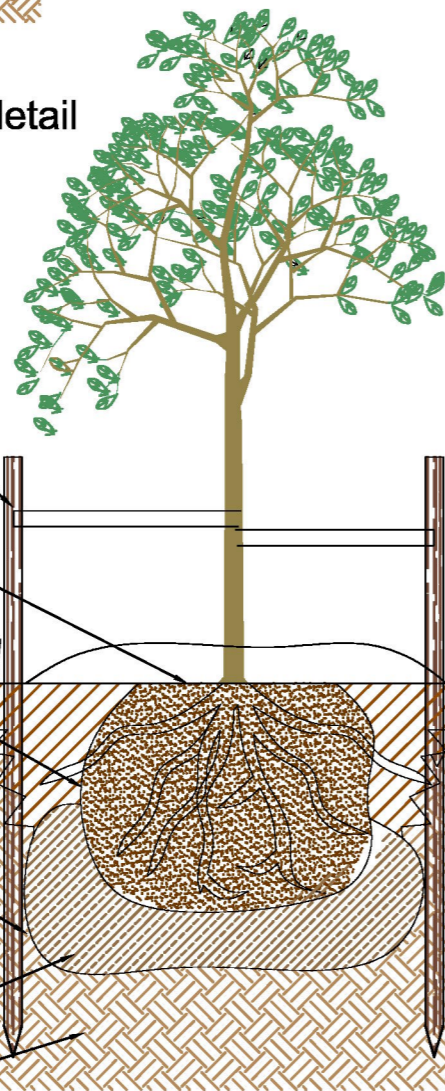
Place tree centrally in hole. Tease roots out from root ball. Ensure soil covers top of root ball without covering the trunk fare.

Mound dug-out site soil in a ring around outer edge of rootball to form a watering bowl. Cover with 75mm depth approved organic mulch. ensure mulch is clear of stem.

Prepare base of pit with nutrient additives if specified. Base of hole to be no deeper than the height of the root ball and 2 to 3 times the width of root ball. Slope sides of planting holes, and roughen soil interface. Back fill with approved imported or site soil.

Compact soil beside and under rootball to stabilise tree rootball in ground.

Rip subgrade to 200mm depth.



Typical advanced tree planting detail (3 stakes)

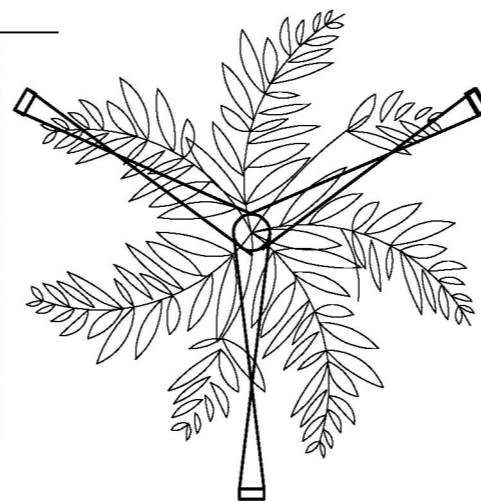
WARNING

BEWARE OF UNDERGROUND SERVICES

Note that the location shown of existing underground services is indicated only and may not be accurate at the time of landscape works. No guarantee is given that all existing services are shown. Determination of the exact position and extent of underground services is the responsibility of the contractor and is to be confirmed prior to commencement of work.

GENERAL NOTES:

1. Before commencement of works it is the responsibility of the landscape contractor to contact 'Dial before you dig' (ph: 1100) for information on services in the area shown on the plan.
2. The contractor shall verify the location and depth of all services prior to commencing on site.
3. The contractor shall be liable for any damage to services during landscaping works.
4. The contractor shall verify the location of any existing trees shown to be retained and protect them during works.
5. All trees shall be planted in locations show on the plan.
6. Any change to plant species must have the approval of the landscape architect.
7. Trees shall be planted no less than the following distances from landscape elements:
 - Footpaths - 1.2m
 - Driveways and crossings - 3.0m
 - stormwater and sewerage pits - 2.0m
 - Intersections - 10.00m
 - Service crossings - 2.0m
 - Kerb and channel - 2.0m
 - Street lights - 4.0m
8. Construction certification for all structural elements is to be provided prior to practical completion being granted.
9. The contractor shall protect all existing structures and pavements within and adjacent to the site for the duration of the works and make good any damage done.



Plan view

LANDSCAPE SPECIFICATION

Plant material:

Plant shall have large healthy root systems, with no evidence of root curl, restriction or damage. Be vigorous, well established, free from disease and pests, of good form consistent with the species or variety, and are hardened off, not soil or forced, and suitable for planting in the natural climatic conditions prevailing at the site. Trees shall be multi-stemmed and have a single leading shoot.

Plant installation:

Refer to tree and shrub planting details for planting method. Plant plants in locations indicated on the plan. Where planting locations are not shown arrange planting in a grid pattern at the spacing noted in the planting schedule.

Soil improvement

Subsoil is to be tested to determine ameliorants to be added if required to promote vigorous and healthy growth of planted material.

Imported topsoil material

Supply and install imported topsoil to all garden beds. Soil is to comply with the following.
 Total Salts: less than 1000ppm
 Drainage rate: 50-100 mm/hr
 Organic matter: 5-20% (preference for composted materials)

Nutrient levels

- . Phosphate
- . Postassium
- . Calcium
- . Magnesium
- . C.E.C.
- . Sodium % C.E.C.

Bulk Density

Moisture %

Free from:

- . Perennial weeds, their roots, bulbs and rhizomes;
- . Extraneous materials including bricks, glass, concrete or any other material deleterious to plant growth or the installation operators;
- . Rocks and stone greater than 5mm in diameter, and than 3% stone by dry weight;
- . Heavy metal contaminants as specified for EPAV (1991) clean fill requirements;
- . Organic material greater than 20mm in length. Composted materials are preferred;
- . Any imported topsoil samples shall be submitted for approval by the Superintendent 14 days prior to delivery
- . Topsoil raised to the standard of the appropriate type by the use of additives may be used subject to compliance with the relevant test criteria;

Mulch material

Mulch shall be applied to all garden beds and around all planted trees within scope of works. Use mulch, which is free of deleterious and extraneous matter such as soil, weeds and sticks.

Soil installation

Place 200mm topsoil on the prepared subsoil. Spread and grade evenly, making the necessary allowances so that the required finished levels and contours may be achieved after light compaction.

Grassed areas shall be finished flush with adjacent hard surfaces such as kerbs, paths and mowing strips. Finished level of topsoil is at least 125mm below weepholes in buildings to allow for 75mm mulch cover and 50mm clearance of plants.

Prevent excess compaction caused by constructional plant. Compact lightly with a roller weighing between 200-220kg per metre length. Compact uniformly in 150mm layers.

Avoid differential subsidence and produce a finished topsoil surface which is at design levels; smooth and free from stones or lumps of soil; grade to drain freely, without ponding, to catchment points; graded evenly into adjoining ground surfaces; and ready for planting.

Dispose of surplus topsoil as directed by the superintendent.

Mulch installation

Mulch to be Organic Mulch from composted green waste. Place mulch to the required depth, refer to landscape plan, generally 75mm, clear of plant stems, and rake to an even surface flush with the surrounding finished levels.

Requirement: Spread and roll mulch so that after settling, or after rolling it is smooth and evenly graded between design surface levels; flush with adjacent finish levels; of the required depths; and sloped towards the base of plant stems in plantation beds, but not contact with stem.

Place mulch in mass planted areas after the preparation of the planting bed but before planting and all other work. In smaller areas, place after the preparation of the planting bed, planting and all other work. Where mulching is done before planting, avoid mixing of mulch and soils - no mulch is to be buried, or soil left on top of the mulch.

Grassing:

Install lawn where nominated on the drawings to repair damage to the existing lawn nature strips. Finish and level soil surface as specified. Seed mix to be a general non-irrigated parkland and nature strip blend, comprising of the following species (or other approved by council)

- . 60% dwarf tall fescue-drought tolerant cultivars
- . 20% perennial rye-drought tolerant cultivars
- . 10% sheep's fescue
- . 10% hard fescue

Irrigation:

An in-ground irrigation system is to be supplied to all landscaped areas

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REV #	DESCRIPTION	DRAWN BY	DATE

FOR PLANNING	
DRAWN:	R.GAMBUTI
DATE:	15/09/2021
CHECKED:	S.AB
SHEET No:	11 OF 15
DO NOT SCALE	A3 SIZE SHEET

LANDSCAPING DETAILS		
Scale	DRG.NO.	REV.
Page 14 of 59	Lv4372-009	P1

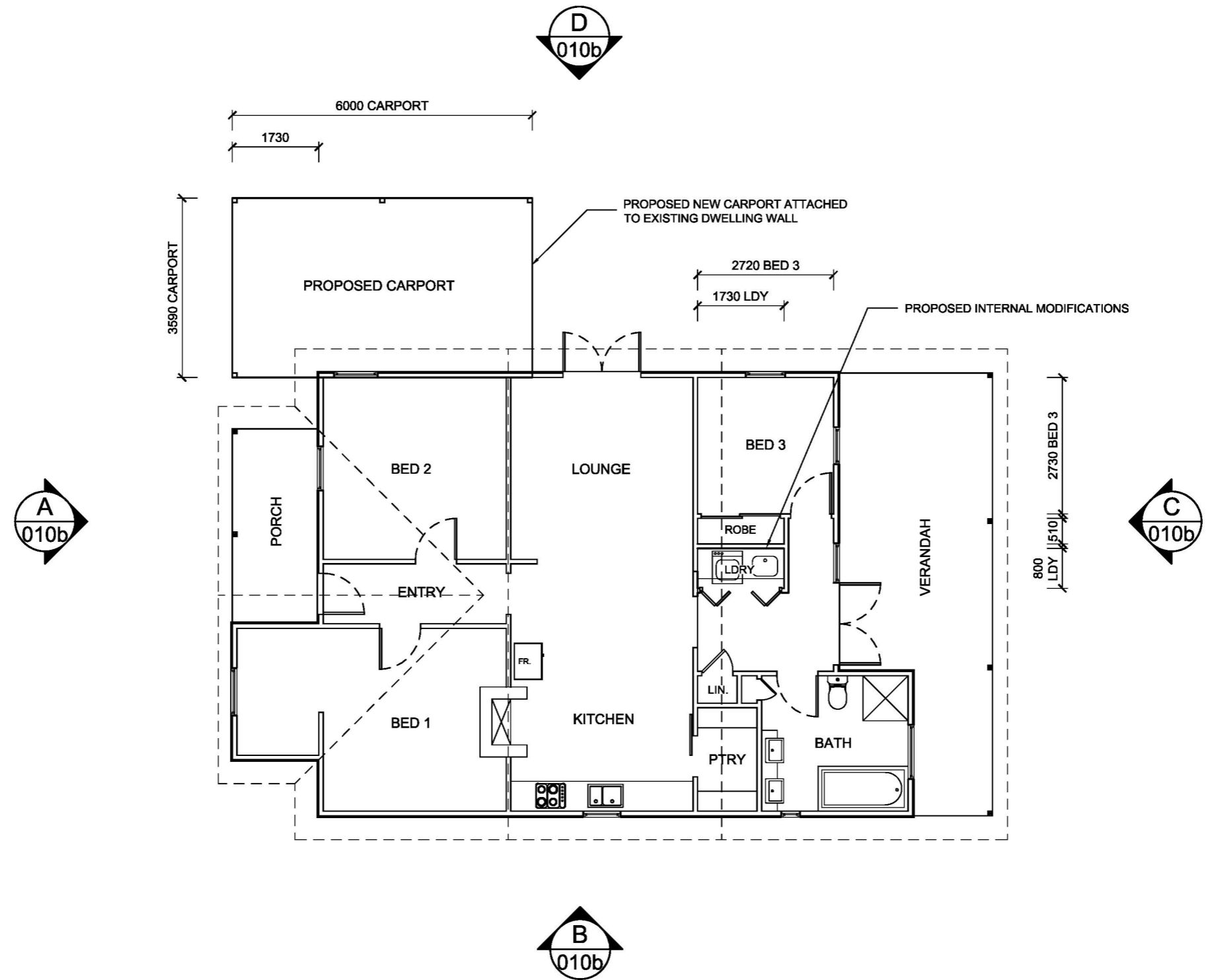
UNIT 1 AREA ANALYSIS

LIVING AREA	101.07m ²
FRONT PORCH	6.75m ²
VERANDAH	23.06m ²
CARPORT	21.00m ²
TOTAL AREA	151.88m ²
TOTAL SQ	16.35sq

TYPICAL CONSTRUCTION

FRAME:	NOMINAL 90mm THICKNESS
CLADDING:	WEATHERBOARD
EAVES:	450mm U.N.O
DOORS:	2340x820 U.N.O

NOTE Advertised
 ALL EXISTING MEASUREMENTS AND HEIGHTS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION



DIMENSIONS
 DIMENSIONS SHOWN TO FRAME AND/OR BRICKWORK, NOT LININGS. LININGS OMITTED FOR CLARITY. ENSURE TO ADD LINING THICKNESS WHEN DESIGNING CABINETS/JOINERY.

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2000 0 2000 4000 6000 8000 10000 SCALE 1:100			
P2	RE-ISSUED FOR PLANNING APPROVAL	S.PHILLIPS	21/10/2021
P1	ISSUED FOR PLANNING APPROVAL	R.GAM BUTI	16/09/2021
REV #	DESCRIPTION	DRAWN BY	DATE

FOR PLANNING

DRAWN:	R.GAM BUTI
DATE:	28/07/2021
CHECKED:	S.AB
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EXISTING PLAN (U1)
 PROJECT: PROPOSED SECOND DWELLING
 ADDRESS: 19 PRINCES HIGHWAY, TRAFALGAR

Page 15 of 59
 SCALE 1:100
 DRG.NO. Lv4372-010a
 REV. P2



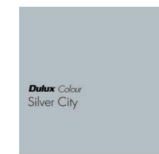
WEST ELEVATION

B
010a



NORTH ELEVATION

A
010a



WALL CLADDING
SILVER CITY - GREY



TRIMS, WINDOWS, DOORS,
FASCIAS GUTTER
CLASSIC WHITE



COLORBOND ROOFING
WINDSPRAY

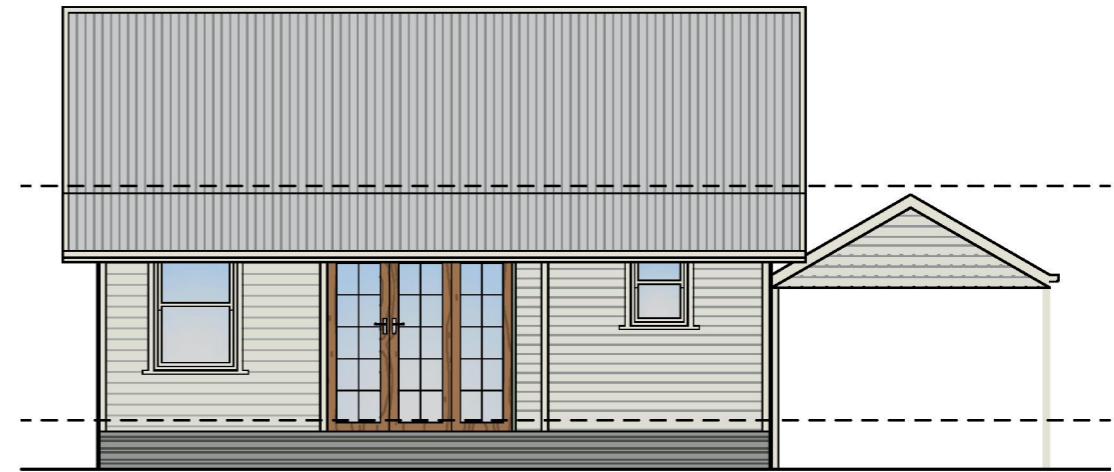


BASEBOARDS
WOODLAND GREY



EAST ELEVATION

D
010a



SOUTH ELEVATION

C
010a

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P1	ISSUED FOR PLANNING APPROVAL	R.GAM BUTI	16/09/2021
REV #	DESCRIPTION	DRAWN BY	DATE

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DRAWN:	R.GAM BUTI
DATE:	28/07/2021
CHECKED:	S.AB
SHEET No:	12 OF 15

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SCALE	1:100	DRG.NO.	Lv4372-010b	REV.	P2
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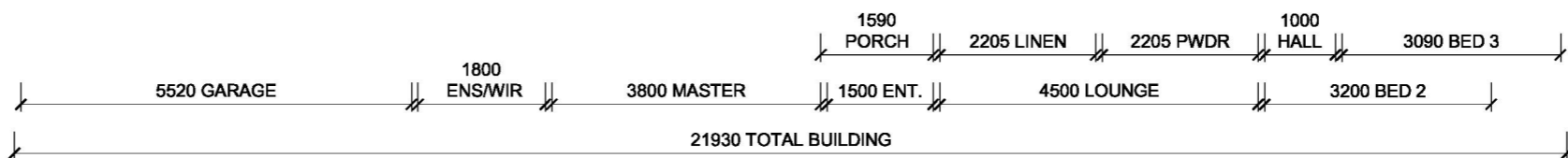
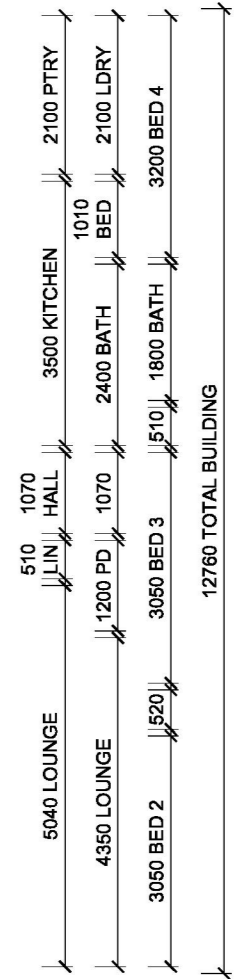
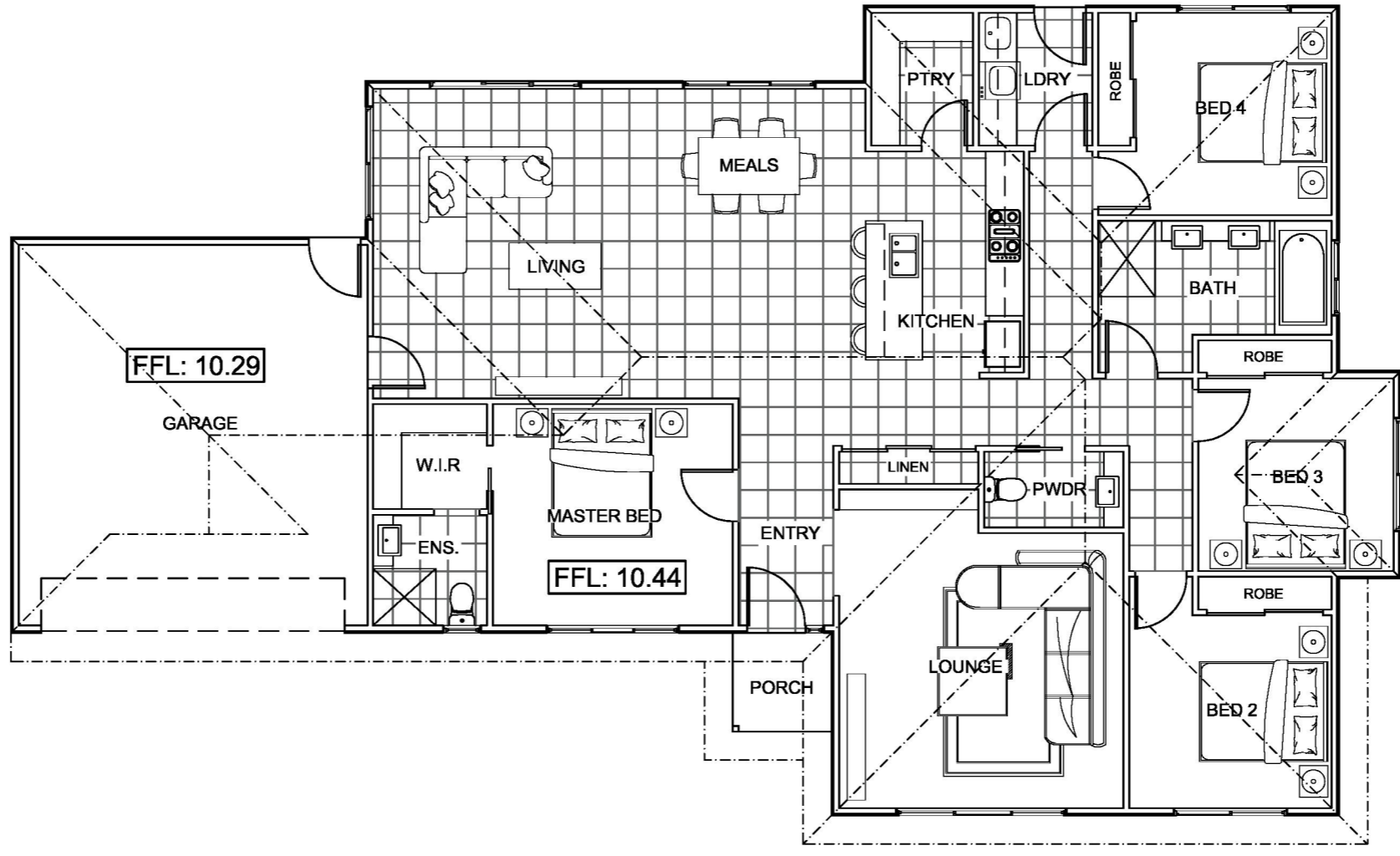
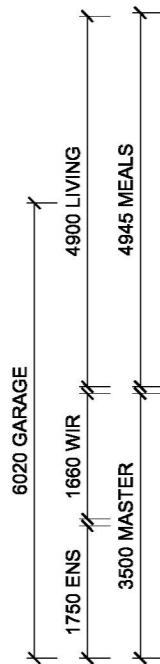
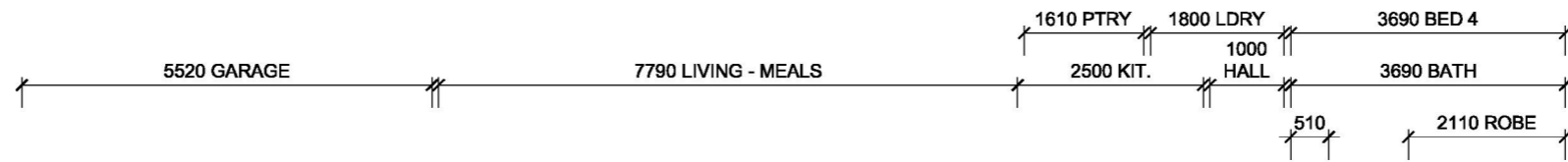
UNIT 2 AREA ANALYSIS

LIVING AREA	101.07m ²
FRONT PORCH	6.75m ²
VERANDAH	23.06m ²
CARPORT	21.00m ²

TOTAL AREA	151.88m ²
TOTAL SQ	16.35sq

TYPICAL CONSTRUCTION

FRAME:	90mm THICKNESS
CLADDING:	FIBRE CEMENT W.BOARD
EAVES:	450mm U.N.O
DOORS:	2040x820 U.N.O



DIMENSIONS
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UNIT 2 FLOOR PLAN

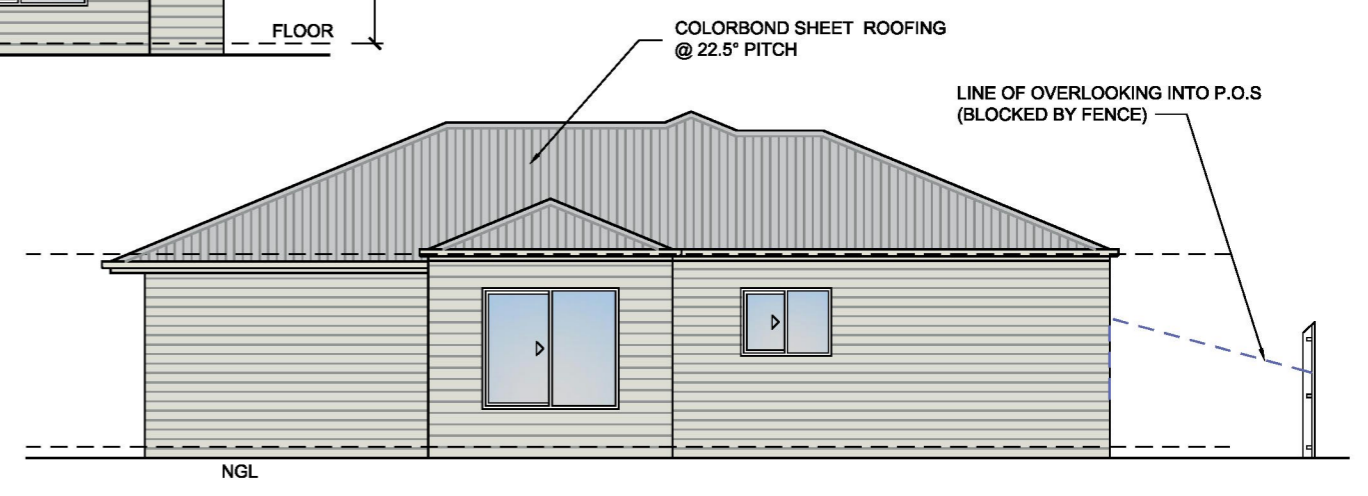
PROJECT: PROPOSED SECOND DWELLING
 ADDRESS: 19 PRINCES HIGHWAY, TRAFALGAR

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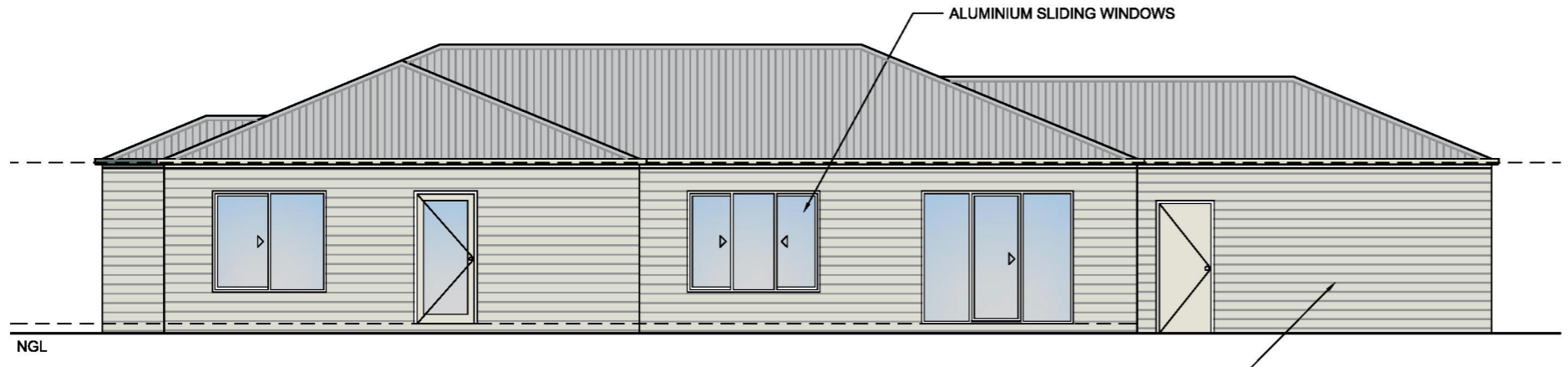
WEST ELEVATION

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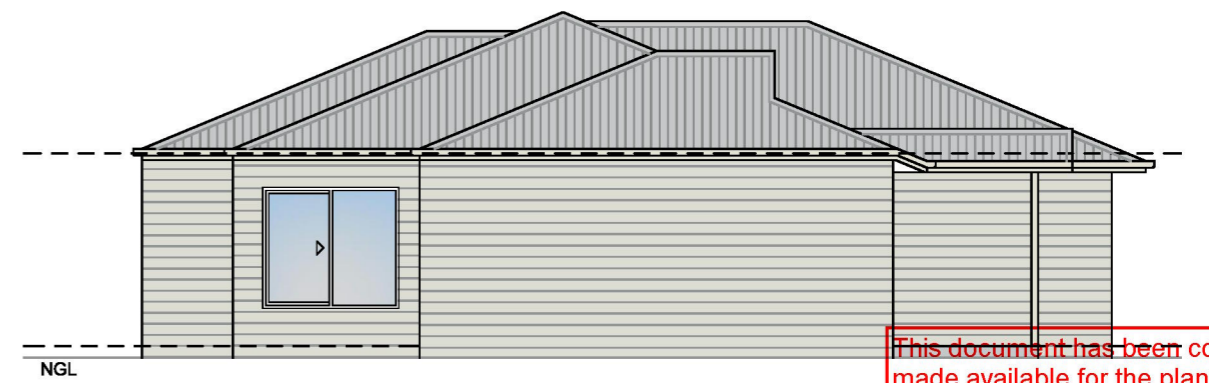
SOUTH ELEVATION

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EAST ELEVATION

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NORTH ELEVATION

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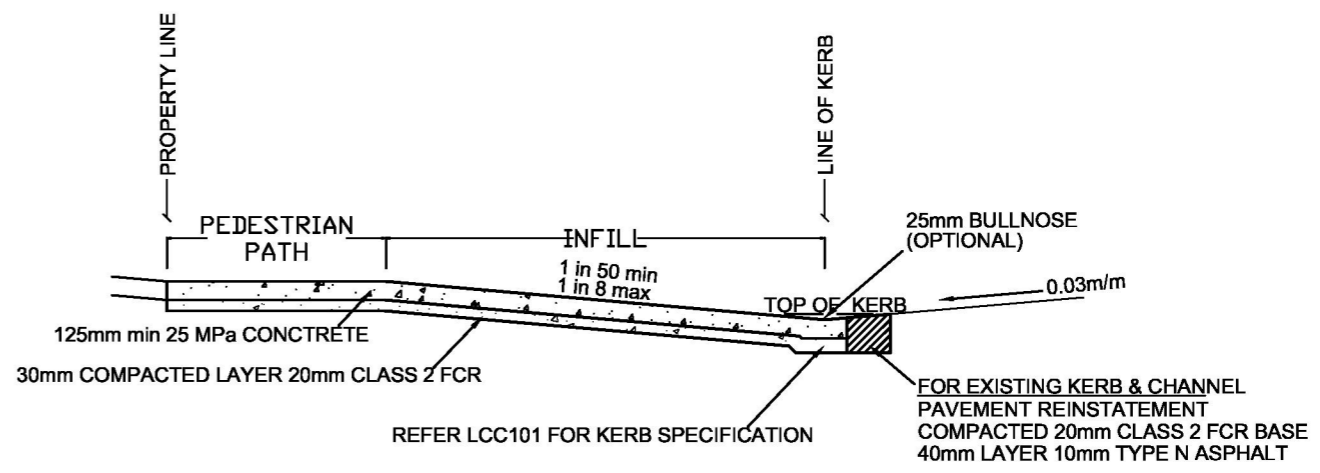
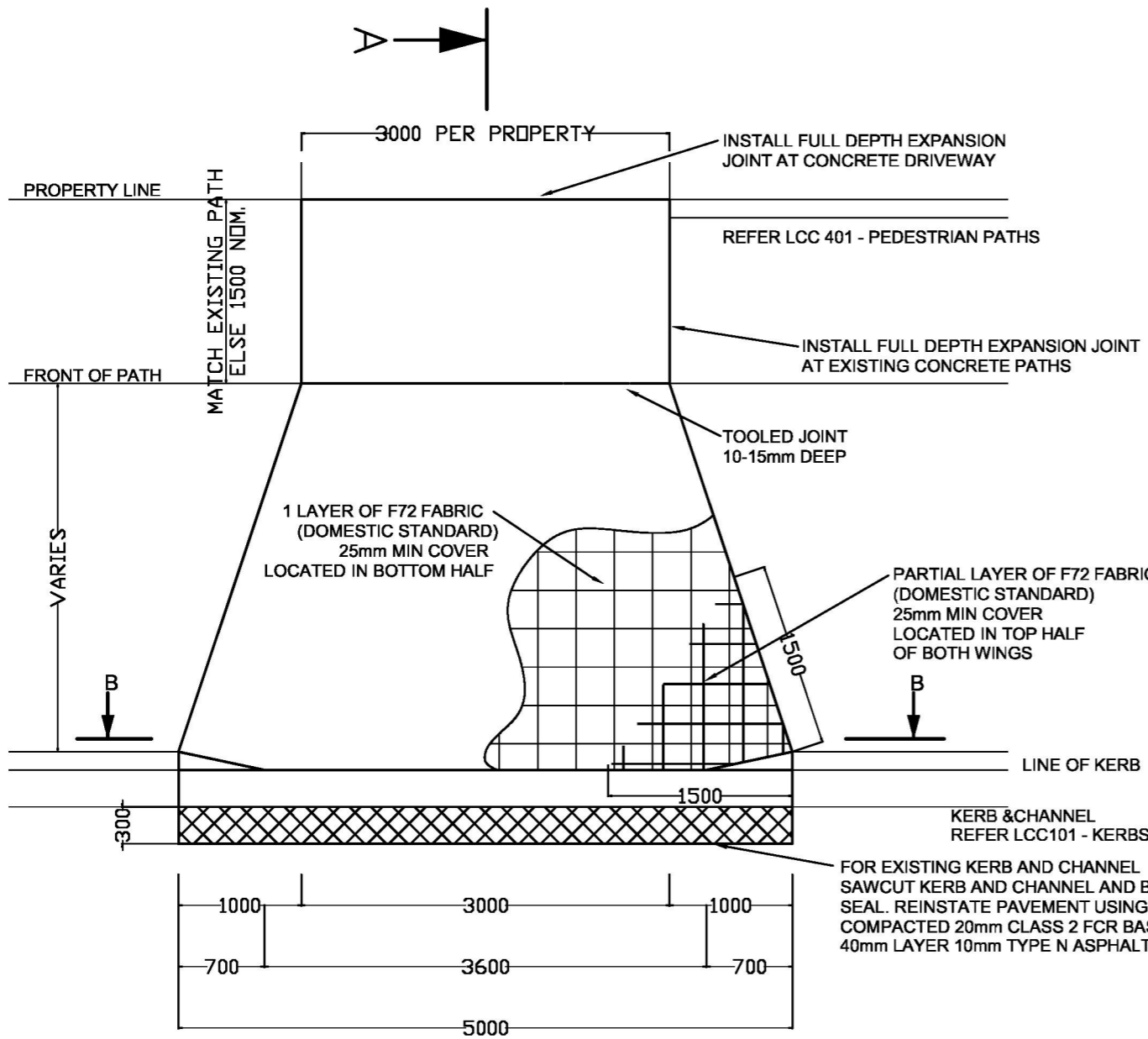
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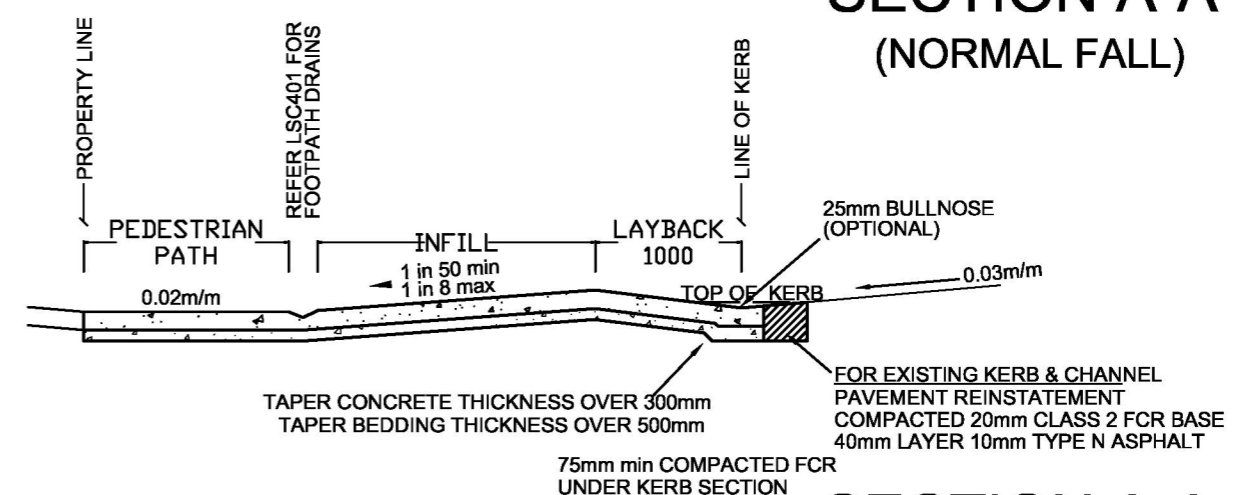
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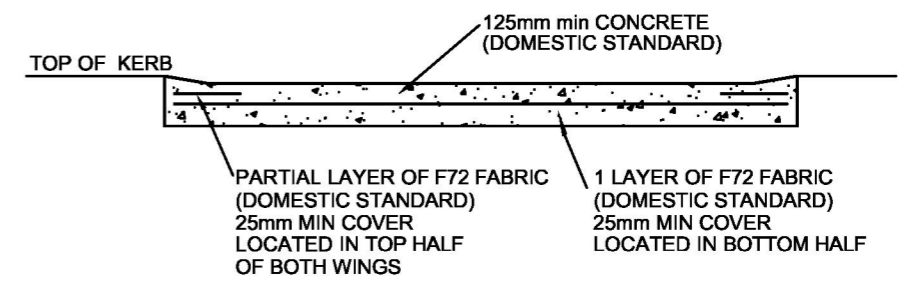
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**SECTION A-A
(NORMAL FALL)**



**SECTION A-A
(REVERSE FALL)**



SECTION B-B

- NOTES:**
- PUBLIC UTILITIES ARE BURIED IN THE VERGE. CALL 1100 (DIAL BEFORE YOU DIG) PRIOR TO WORKS TO AVOID DAMAGE TO UNDERGROUND SERVICES
 - CROSSOVER TO MATCH FOOTPATH LEVELS
 - CONCRETE COMPRESSIVE STRENGTH TO BE A MIN. 25MPa AT 28 DAYS
 - CONTROL JOINTS ARE REQUIRED AT max. 3.0m
 - WHERE DRIVEWAY SLOPES TOWARDS THE ROAD RETAIN STORMWATER WITH DRAINAGE CHANNEL
 - WRITTEN AUTHORIZATION MUST BE OBTAINED PRIOR TO ANY WORKS BEING UNDERTAKEN ON CITY PROPERTY INCLUDING ROAD RESERVES
 - VEHICLE CROSSING SHOULD BE CAST AS SINGLE
 - VEHICLE CROSSING SHOULD BE CONSTRUCTED PERPENDICULAR TO THE GENERAL FLOW OF TRAFFIC
 - ALL EXPOSED EDGES SHALL HAVE A 20mm CHAMFER

WARNING
BEWARE OF UNDERGROUND SERVICES

Note that the location shown of existing underground services is indicated only and may not be accurate at the time of landscape works. No guarantee is given that all existing services are shown.
Determination of the exact position and extent of underground services is the responsibility of the contractor and is to be confirmed prior to commencement of work.

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CROSSOVER DETAILS

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NTS

DRG.NO. Lv4372-013
REV. P4

19 Princes Highway, Trafalgar VIC 3824

Proposed Second Dwelling & Two-Lot Subdivision

September 2021

Produced by:



Unit 6, 1F Moore Street, Moe
P.O. Box 585, Moe
Email: admin@lvdrafting.com.au

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5	Clause 55 – Two or More Dwellings on a Lot	6
6	Clause 56 – Residential Subdivision	21
7	Clause 36.04: Road Zone 1	32
8	Development Contributions Plan Overlay	32
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10	Photographic Survey	33

Attachment Schedule

PAGE NO.	TITLE	REFERENCE
	Copy of Title & Title Plan	
1	Drawing Cover Sheet	Lv4372-001
2	Site Context Plan	Lv4372-002
3	Existing Site Plan	Lv4372-003
4	Proposed Site Plan	Lv4372-004
5	Overshadowing – 9am	Lv4372-005a
6	Overshadowing – 12pm	Lv4372-005b
7	Overshadowing – 3pm	Lv4372-005c
8	Subdivision Plan	Lv4372-006
9	Site Elevations	Lv4372-007
10	Landscaping Plan	Lv4372-008
11	Landscaping Details	Lv4372-009
12	Site Elevations	Lv4372-010
13	Existing Dwelling Plan (Unit 1)	Lv4372-011
14	Unit 2 Floor Plan	Lv4372-012
15	Unit 2 Elevations	Lv4372-013
16	Crossover Details	Lv4372-014

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1 Property Information

Address:	19 Princes Highway, Trafalgar VIC 3824
Lot Number:	Lot 1 TP674781
Council Property Number:	2979
Lot Size:	1,035m ²
Planning Zone	General Residential Zone (GRZ) – Schedule 1
Planning Overlays:	Development Contributions Plan Overlay (DCPO)
Proposal:	Proposed Second Dwelling & Two-Lot Subdivision

The proposed site is located within the **Baw Baw Shire**. Please refer to the **Baw Baw Planning Scheme** when reading this report.

2 Introduction

Latrobe Valley Drafting Pty Ltd acts on behalf of [REDACTED] with regard to this application for the construction of a second dwelling and a two-lot subdivision at 19 Princes Highway, Trafalgar.

The site currently has a single storey 2-bedroom weatherboard dwelling, which is tenanted and will remain on the property.

The proposal involves the following:

- Construction of a new single storey 4-bedroom weatherboard dwelling
- Construction of a new single carport to the front dwelling
- A two lot subdivision
- Installation of a new crossover to access the new dwelling

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3 Site & Context Description

The site is within the General Residential Zone, Schedule 1 (GRZ1) as shown in figure 1. This subject site is large in size at 1,035m² and is surrounded by developed low-medium density residential sites.

The adjacent and surrounding lots are also within the General Residential Zone and consist mostly of single-storey brick or weatherboard dwellings with tile or sheet metal roofs. The roof styles of surrounding dwellings mostly consist of hipped or gabled roofs, with pitches between 18-25 degrees. Most dwellings are older; having been built during the post-war (1940-1960) and late twentieth century periods (1960-2000).

The property can be accessed via a service lane from Princes Highway (west bound), which is sealed and has a concrete island separating it from the Highway.

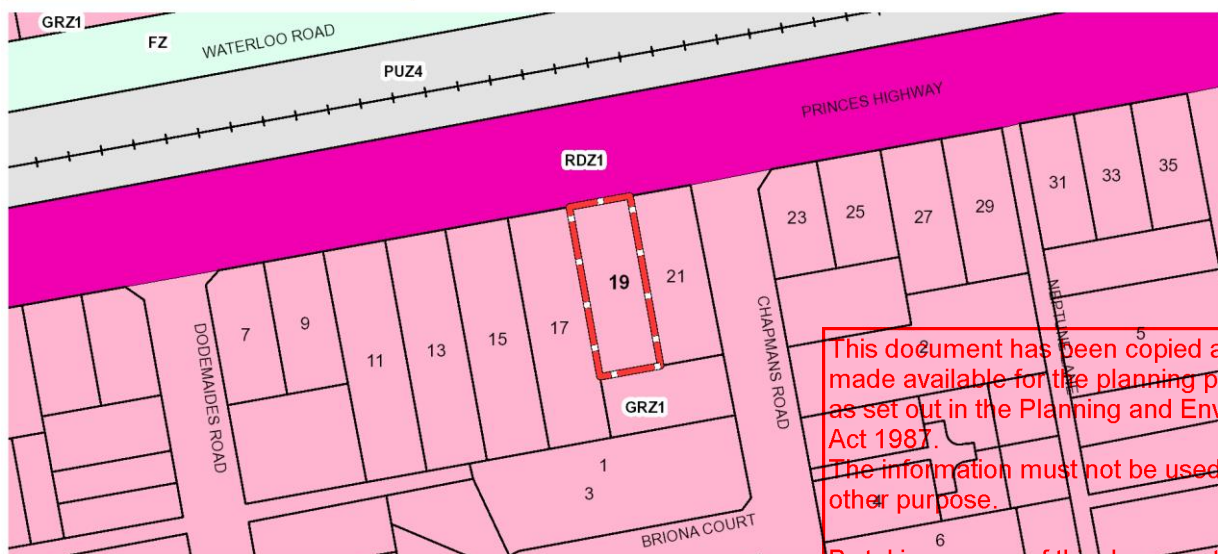
The site is located within walking distance of Trafalgar CBD, with Contingent Street a short 8 minutes away from the site by foot (600m), making it an excellent location for proposed residential development.

Many commercial/public areas and services are within walking distances from the site, including the following:

- IGA Supermarket (8 min walk)
- Café Thyme Out (7 min walk)
- Ashby Street Medical Centre (5 min walk)
- Briona Court Playground / Park (3 min walk)
- Guardian Pharmacy (8 min walk)
- Trafalgar Train Station (9 min walk)

GENERAL RESIDENTIAL ZONE (GRZ)

GENERAL RESIDENTIAL ZONE - SCHEDULE 1 (GRZ1)



FZ - Farming
RDZ1 - Road-Category 1

GRZ - General Residential
Railway line

Note: Labels for zones may appear outside the actual zone - please compare the labels with the legend.

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Figure 1: Location Area & zoning map – General Residential Zone

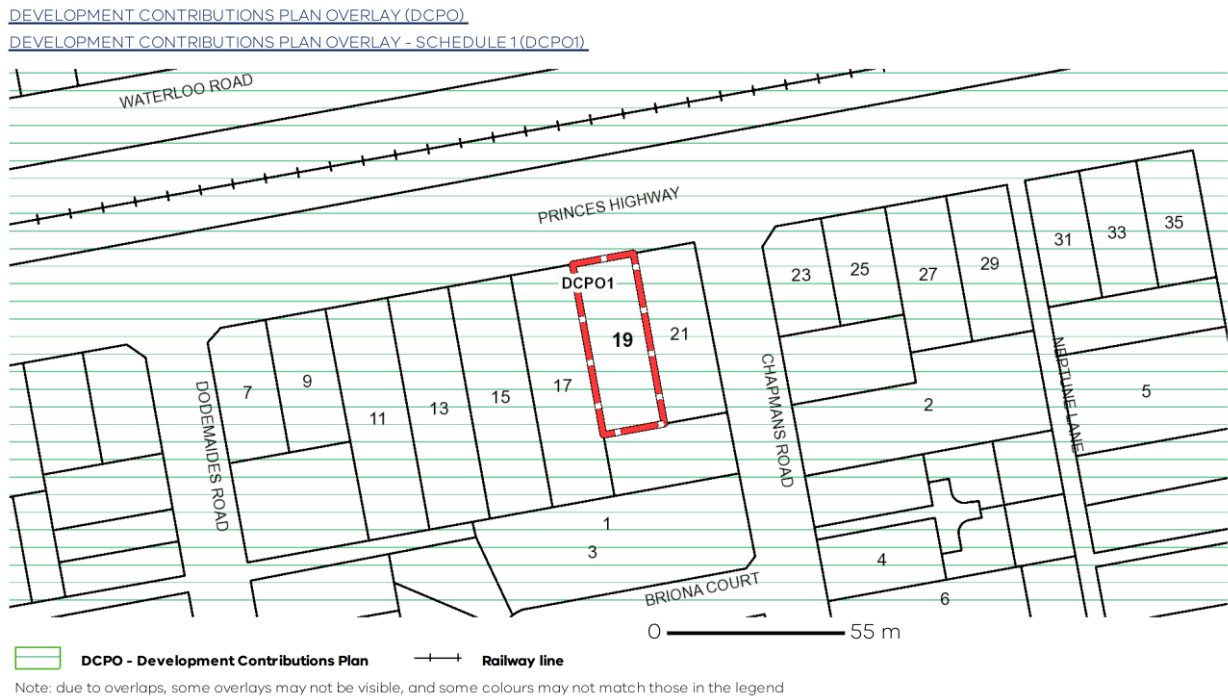


Figure 2: Planning Overlay – Development Contributions Plan Overlay

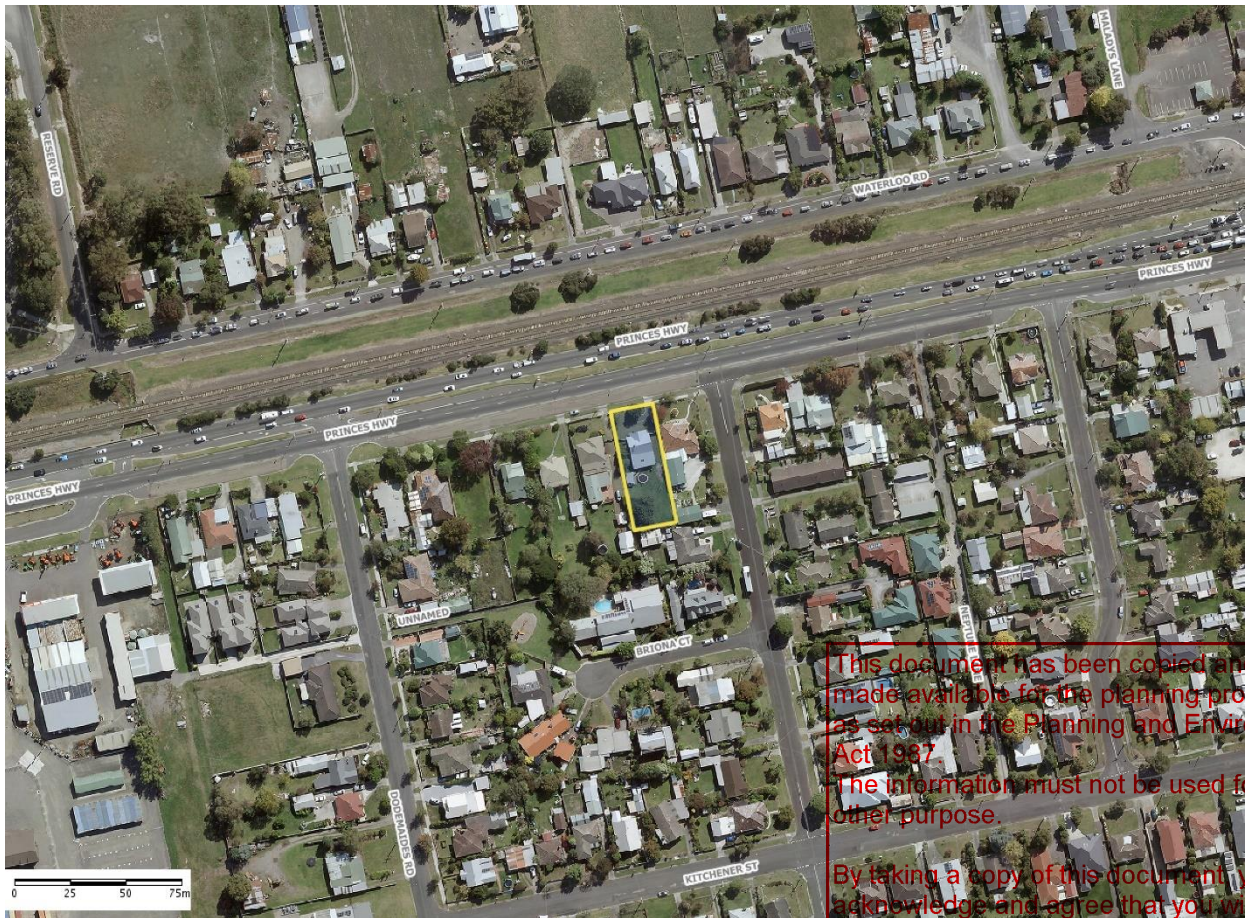


Figure 2: Aerial photo of site and surrounding properties

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Note: The Aerial photo is not recent and may not reflect changes within the past twelve months.

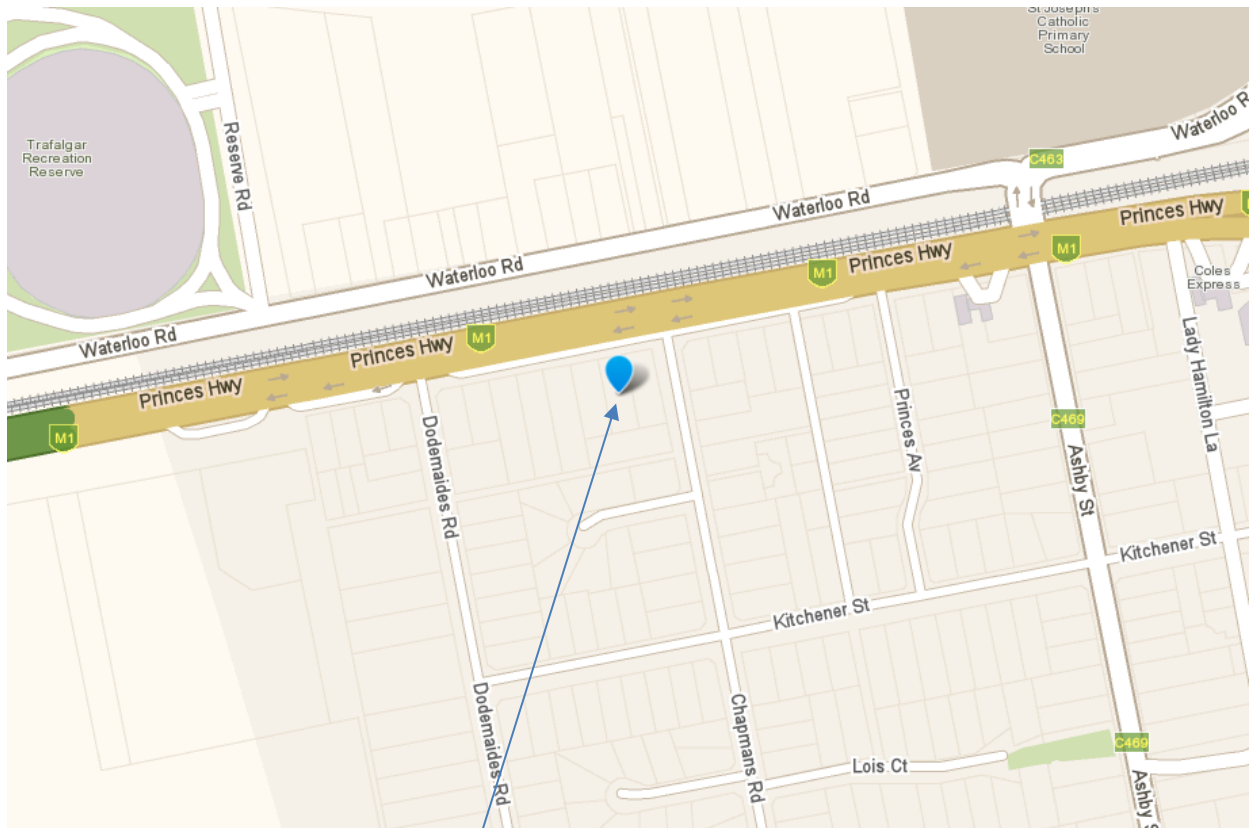


Figure 3: Locality Map

4 General Residential Zone

32.07 Purpose

To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
 To encourage development that respects the neighbourhood character of the area.
 To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
 To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

32.08-6 Construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings

Permit requirement

A permit is required to:

- Construct a dwelling if there is at least one dwelling existing on the lot.
- Construct two or more dwellings on a lot.

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- Extend a dwelling if there are two or more dwellings on the lot.
- Construct or extend a dwelling if it is on common property.
- Construct or extend a residential building.

5 Clause 55: Two or More Dwellings on a Lot and Residential Buildings

Clause 55 Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.
 To achieve residential development that respects the existing neighbourhood character, or which contributes to a preferred neighbourhood character.
 To encourage residential development that provides reasonable standards of amenity for existing and new residents.
 To encourage residential development that is responsive to the site and the neighbourhood.

55.01 Neighbourhood and Site Description and Design Response

55.01-1 Neighbourhood and site description

The neighbourhood and site description may use a site plan, photographs or other techniques and must accurately describe:	Response
Neighbourhood:	
The pattern of development of the neighbourhood.	Much of the surrounding properties have existing residential development, being mostly single storey dwellings of varied types of construction.
The built form, scale and character of surrounding development including front fencing.	Many of the surrounding buildings are single storey dwellings with timber frame construction and a variety of cladding materials used, including brick, brick veneer, weatherboard, and fibre cement cladding. There are some scattered double storey dwellings within the neighbourhood. Most of the properties have front fencing, timber or metal front fencing averaging 1.0m in height. All surrounding dwellings have private open spaces with the single dwellings having typical backyard spaces including garages/carports and outbuildings – Refer to Lv4372-002 for site context plan.
Architectural and roof styles.	The architectural theme of the neighbourhood seems to be traditional post-war with many of the homes being within an area of older development. Claddings used vary from brick veneer to weatherboard with some dwellings using fibre sheet cladding. The dominating roofing style is either pitched or gabled with varied tile or sheet roofing. All roofs are either tile or Colorbond, with neither being more dominant in the area.

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Typical residential development along Princes Highway.

Claddings vary between brick, weatherboard and fibre cement. Roofs are hipped or gabled with roofing material being equally distributed between tiles and sheet roofing.

Dwellings are estimated to be approximately 40-80 years old.



Adjoining lot with brick veneer dwelling.

<p>Any other notable features or characteristics of the neighbourhood.</p>	<p>The area is an older style residential neighbourhood. The property is facing the Princes Highway, which has moderate to heavy traffic.</p>	<p>This document has been copied and disseminated in the planning process as Highway, which has moderate to heavy traffic. The information must not be used for any other purpose. By taking a copy of this document, you agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p>
<p>Site: Site shape, size, orientation and easements.</p>	<p>The site is rectangular in shape, being 54.21 x 19.11m with a total area of approximately 1,035m². The length of the block is facing north, with the street frontage facing west. There are no easements within the property boundary however there is a</p>	

	sewer main and access hole to the north-east corner of the site. Refer to attached site for sizes and orientation.
Levels of the site and the difference in levels between the site and surrounding properties.	The site is reasonably flat, with a slight fall of approximately 600mm from the front north-east corner to the rear south-west corner, with adjacent properties of similar levels.
The location of existing buildings on the site and on surrounding properties, including the location and height of walls built to the boundary of the site.	The site currently has a single storey 3-bedroom dwelling, with two ancillary outbuildings which will be demolished. The dwelling is located to the front of the site, with a large rear set-back. Refer to site plan Lv4372-003 for location of existing/neighbouring buildings.
The use of surrounding buildings.	All surrounding properties are for residential use.
The location of secluded private open space and habitable room windows of surrounding properties which have an outlook to the site within 9 metres.	Refer to the site plan Lv4372-003.
Solar access to the site and to surrounding properties.	The site and adjacent properties are north-south orientated, with the boundary adjoining the street facing north and the length of the boundary facing east.
Location of significant trees existing on the site and any significant trees removed from the site 12 months prior to the application being made, where known.	There are no significant trees on the property or any that have been removed in the last 12 months. There are non-native small shrubs and trees that were planted in the backyard by previous owners that will be removed.
Any contaminated soils and filled areas, where known.	There are no known contaminants in the existing soil however the removal of the existing vegetation may impact the soil quality and structure. A soil report will be obtained at a later date and all footings will be designed to suit.
Views to and from the site.	No significant views to/from the site.
Street frontage features such as poles, street trees and kerb crossovers.	The property is fronted by a concrete footpath, grassed nature strip and concrete kerbing to the street. There is a single concrete crossover currently with existing access to the north-east corner of the site. There are no trees or poles located in the nature strip directly in front of the subject site.
The location of local shops, public transport services and public open spaces within walking distance.	The site is within 1km distances to many public spaces, shops and the Trafalgar Train Station. Refer to page 3 of this report for further explanation.
Any other notable features or characteristics of the site.	

55.01-2 Design response

The design response must explain how the proposed design:

- Derives from and responds to the neighbourhood and site description.
- Meets the objectives of Clause 55.
- Responds to any neighbourhood character features for the area identified in a local planning policy or a Neighbourhood Character Overlay.

The design response must include correctly proportioned street elevations or photographs showing the development in the context of adjacent buildings. If in the opinion of the responsible authority this requirement is not relevant to the evaluation of an application, it may waive or reduce the requirement.

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Response

The proposed layout has been designed with the existing neighbourhood taken into consideration, using similar building materials and colours. Many sites along the Princes Highway have a single dwelling only with large rear setbacks. Although the site would allow denser development, it is believed that the construction of only one additional building is more respectful of the surrounding scale of development. The site is in a very central location to the Trafalgar Township, making it the ideal location for the proposed residential development.

55.02 Neighbourhood Character and Infrastructure

Objective	Standard	Response
<p>55.02-1 Neighbourhood Character To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character. To ensure that development responds to the features of the site and the surrounding area.</p>	<p>B1 The design response must be appropriate to the neighbourhood and the site. The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.</p>	<p>The proposed dwelling will fit in with the area and make a positive contribution to the neighbourhood. The proposed new dwelling will fit in with the existing style and design of the neighbourhood whilst adding needed diversity to the size of the homes within the immediate area and meeting the requirements of the zone/schedule.</p>
<p>55.02-2 Residential Policy To ensure that residential development is provided in accordance with any policy for housing in the Municipal Planning Strategy and the Planning Policy Framework. To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.</p>	<p>B2 An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.</p>	<p>Relevant policies: Planning Policy Framework 16- Housing Local Planning Policy Framework Municipal Strategic Statement</p> <p>The proposed development provides well-located, integrated, and diverse housing that meets community needs. It is providing increased-density, affordable housing, with existing supporting infrastructure available.</p> <p>The proposal ensures access to existing services and walkability to activity centres, public transport, schools and open space.</p> <p>The proposal ensures development within an established township promoting growth in the Trafalgar area. Housing diversity, maximising access to existing services, and maintaining and enhancing the liveability of the area.</p> <p>More specifically, the new dwelling will provide housing that is suitable for older people and</p>

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		<p>for people with disability by being single storey and having ground level entry.</p> <p>The current site is under-developed with a very large backyard space. The development proposes a variety in housing types, offering the three-bedroom existing dwelling and a new four-bedroom home. The proposal will provide a modern and aesthetically pleasing development, improving, while also complementing, the street character.</p>
<p>55.02-3 Dwelling Diversity To encourage a range of dwelling sizes and types in developments of ten or more dwellings.</p>	<p>B3 Developments of ten or more dwellings should provide a range of dwelling sizes and types, including: Dwellings with a different number of bedrooms. At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.</p>	<p>Not applicable, as the proposal is for a second dwelling only –.</p>
<p>55.02-4 Infrastructure To ensure development is provided with appropriate utility services and infrastructure. To ensure development does not unreasonably overload the capacity of utility services and infrastructure.</p>	<p>B4 Developments should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available. Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads. In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure</p>	<p>The development will be connected to all available reticulated services and will not unreasonably exceed the capacity of those services.</p>
<p>55.02-5 Integration with street To integrate the layout of development with the street.</p>	<p>B5 Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility. Development should be oriented to front existing and proposed streets. High fencing in front of dwellings should be avoided if practicable. Development next to existing public open space should be laid</p>	<p>The development will not negatively impact on existing vehicle and pedestrian links of the area. The development is oriented to the front street with the new dwelling facing the proposed new accessway, with the front door and porch visible from the street. A new 900mm high fence will be installed to the front, to match</p>

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	out to complement the open space.	the adjoining lots – all of which have front fencing. The new carport will have weatherboard gable infill to match the existing dwelling.
--	-----------------------------------	---

55.03 Site Layout and Building Massing

Objective	Standard	Response
55.03-1 Street Setback To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.	B6 Walls of buildings should be set back from streets: At least the distance specified in a schedule to the zone, or If no distance is specified in a schedule to the zone, the distance specified in Table B1. Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.	The existing street setback of 10.57 metres will not be reduced – with the new carport proposed to be constructed in-line with the front wall of the existing dwelling.
55.03-2 Building Height To ensure that the height of buildings respects the existing or preferred neighbourhood character.	B7 The maximum building height should not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land. If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres. Changes of building height between existing buildings and new buildings should be graduated.	The proposal does not exceed 9m high. Maximum building height is approximately 6.25 metres (for the existing dwelling), and 4.6 metres for the new dwelling.
55.03-3 Site Coverage To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.	B8 The site area covered by buildings should not exceed: - The maximum site coverage specified in a schedule to the zone, or - If no maximum site coverage is specified in a schedule to the zone, 60 per cent.	This document has been copied and made available for the public process as set out in the Planning and Environment Act 1987. The total site coverage for the development does not exceed 60%; site coverage is 34%. The information must not be used for any other purpose. By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

<p>55.03-4 Permeability and stormwater management To reduce the impact of increased stormwater run-off on the drainage system. To facilitate on-site stormwater infiltration. To encourage stormwater management that maximises the retention and reuse of stormwater.</p>	<p>B9 The site area covered by the pervious surfaces should be at least: - The minimum area specified in a schedule to the zone, or If no minimum is specified in a schedule to the zone, 20 percent of the site. - The stormwater management system should be designed to: - Meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999). - Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces.</p>	<p>The total site permeability provided is at least 20%; permeability is 47%.</p> <p>Drainage/storm water system will be designed by a qualified drainage engineer and will meet the requirements of the relevant authority.</p>
<p>55.03-5 Energy Efficiency To achieve and protect energy efficient dwellings and residential buildings. To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</p>	<p>B10 Buildings should be: - Oriented to make appropriate use of solar energy. - Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. - Sited and designed to ensure that the performance of existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Neighbourhood Residential Zone or Township Zone are not unreasonably reduced. The existing rooftop solar energy system must exist at the date the application is lodged. Living areas and private open space should be located on the north side of the development, if practicable. Developments should be designed so that solar access to north-facing windows is maximised.</p>	<p>The orientation of the site limits optimal solar exposure, as the length of the site is east-facing, however the new dwelling has been designed specifically for the site and with north solar access to the main living/dining/kitchen area.</p> <p>The dwelling is sited to ensure that the energy efficiency of dwellings on adjacent lots, as well as any existing rooftop energy systems are not unreasonably reduced.</p>
<p>55.03-6 Open Space To integrate the layout of development with any public and communal open space provided in or adjacent to the development.</p>	<p>B11 If any public or communal open space is provided on site, it should: - Be substantially fronted by dwellings, where appropriate. - Provide outlook for as many dwellings as practicable.</p>	<p>There is no public or communal space provided within the development. The existing dwelling will face the street, while the second dwelling will face the accessway and will be visible from the street. It</p>

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	<ul style="list-style-type: none"> - Be designed to protect any natural features on the site. - Be accessible and useable. 	<p>follows the natural levels of the site and is accessible.</p>
<p>55.03-7 Safety Objective To ensure the layout of development provides for the safety and security of residents and property.</p>	<p>B12 Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways. Planting which creates unsafe spaces along streets and accessways should be avoided. Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways. Private spaces within developments should be protected from inappropriate use as public thoroughfares.</p>	<p>Entrances to the dwellings are visible from the street. Planting will be of a low height to ensure visibility and ensure there are no unsafe spaces. There are no common spaces. Private spaces within the development are protected with fences.</p>
<p>55.03-8 Landscaping To encourage development that respects the landscape character of the neighbourhood. To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance. To provide appropriate landscaping. To encourage the retention of mature vegetation on the site.</p>	<p>B13 The landscape layout and design should: <ul style="list-style-type: none"> - Protect any predominant landscape features of the neighbourhood. - Take into account the soil type and drainage patterns of the site. - Allow for intended vegetation growth and structural protection of buildings. - In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals. - Provide a safe, attractive and functional environment for residents. Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood. Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made. The landscape design should specify landscape themes, vegetation (location and species), paving and lighting. Development should meet any additional landscape requirements specified in a schedule to the zone.</p>	<p>Refer to Landscape Plan Lv4372-008 for the proposed layout and design. The landscape design will take into account the soil type and drainage patterns of the site, allow for intended vegetation growth and structural protection of the dwellings. Planting will provide new habitat for plants and animals, while also providing a safe and attractive environment for residents. 1 canopy tree will be provided in the front setback to enhance the appearance of the site.</p>

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<p>55.03-9 Access Objective To ensure the number and design of vehicle crossovers respects the neighbourhood character.</p>	<p>B14 The width of accessways or car spaces should not exceed: - 33 per cent of the street frontage, or - if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage. No more than one single-width crossover should be provided for each dwelling fronting a street. The location of crossovers should maximise the retention of on-street car parking spaces. The number of access points to a road in a Road Zone should be minimised. Developments must provide for access for service, emergency and delivery vehicles.</p>	<p>There is an existing crossover to the north-east corner of the site, which will be retained and used to access unit 1 (existing dwelling).</p> <p>A new single crossover will be installed as shown on the site plan. This crossover will be used to access the proposed new dwelling.</p> <p>Both crossovers will be single width – making up 31% of the street frontage (complies).</p>
<p>55.03-10 Parking location To provide convenient parking for resident and visitor vehicles. To protect residents from vehicular noise within developments.</p>	<p>B15 Car parking facilities should: - Be reasonably close and convenient to dwellings and residential buildings. - Be secure. - Be well ventilated if enclosed. Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where windowsills are at least 1.4 metres above the accessway.</p>	<p>Each dwelling will be provided with adequate car parking – with the new dwelling provided with an attached double garage.</p> <p>The existing dwelling will be provided with a new single car carport, with internal dimensions of 6m x 3.5m. An additional car parking space is provided on the driveway, with more than 500mm from this car parking space to the carport.</p> <p>Habitable room windows are either more than 1.5m away from the shared internal accessway or are 1m away with a sill height of more than 1.4m above the accessway.</p>

55.04 Amenity Impacts

Objective	Standard	Response
<p>55.04-1 Side and rear setbacks To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p>	<p>B17 A new building not on or within 200mm of a boundary should be set back from side or rear boundaries: - At least the distance specified in a schedule to the zone, or</p>	<p>All side and rear setbacks are setback in accordance with the zone and/or schedule.</p> <p>The information must not be used for any other purpose.</p> <p>By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p>

	<p>- If no distance is specified in a schedule to the zone, 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.</p> <p>Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.</p>	
<p>55.04-2 Walls on boundaries To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p>	<p>B18 A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abutt the boundary:</p> <ul style="list-style-type: none"> - For a length of more than the distance specified in a schedule to the zone; or - If no distance is specified in a schedule to the zone, for a length of more than: <ul style="list-style-type: none"> -- 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or -- Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports whichever is the greater. <p>A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary.</p> <p>A building on a boundary includes a building set back up to 200mm from a boundary.</p>	<p>There are no walls on the boundaries proposed.</p>

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	<p>The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>	
<p>55.04-3 Daylight to existing windows To allow adequate daylight into existing habitable room windows.</p>	<p>B19 Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot. Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55-degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window. Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.</p>	<p>Each existing dwelling and proposed dwelling has 1 metre clear to the sky and adequate light to habitable windows.</p> <p>The existing dwelling has a 450mm eave over the kitchen window, however this wall is a gable end and there is 1 metre clear to the sky from this kitchen window.</p>
<p>55.04-4 North-facing windows To allow adequate solar access to existing north-facing habitable room windows.</p>	<p>B20 If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.</p>	<p>The new dwelling does not overshadow any neighbouring habitable windows. Refer to overshadowing plans for impact on neighbouring habitable windows.</p>

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<p>55.04-5 Overshadowing To ensure buildings do not significantly overshadow existing secluded private open space.</p>	<p>B21 Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September. If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.</p>	<p>Refer to overshadowing plans Lv4372-005a-c. Sunlight to existing secluded private open space is not significantly reduced.</p>
<p>55.04-6 Overlooking To limit views into existing secluded private open space and habitable room windows.</p>	<p>B22 A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45-degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level. A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either: Offset a minimum of 1.5 metres from the edge of one window to the edge of the other. Have sill heights of at least 1.7 metres above floor level. Have fixed, obscure glazing in any part of the window below 1.7 metre above floor level. Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent. Obscure glazing in any part of the window below 1.7 metres above floor level may be openable</p>	<p>Ground floor habitable room windows views into existing secluded private open space or habitable room windows will be blocked by 1.8m boundary fences.</p>

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	<p>provided that there are no direct views as specified in this standard. Screens used to obscure a view should be: Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels. Permanent, fixed and durable. Designed and coloured to blend in with the development. This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.</p>	
<p>55.04-7 Internal views To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.</p>	<p>B23 Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.</p>	<p>As above, ground floor habitable room windows views into existing secluded private open space or habitable room windows will be blocked by 1.8m boundary fences. Refer to site elevations Lv4372-007.</p>
<p>55.04-8 Noise Impacts To contain noise sources in developments that may affect existing dwellings. To protect residents from external noise.</p>	<p>B24 Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings. Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties. Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.</p>	<p>There will be minimal noise sources within the development. Mechanical items such as pumps, hot water systems or air conditioners will be placed according to space on site and will take into consideration aiming to reduce placement around bedroom windows.</p>

55.05 On-Site Amenity and Facilities

Objective	Standard
<p>55.05-1 Accessibility To encourage the consideration of the needs of people with limited mobility in the design of developments.</p>	<p>B25 The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or</p>

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	<p>able to be easily made accessible to people with limited mobility.</p>	<p>dwelling will be constructed on concrete slabs to ensure this. Driveways and paving will be graded to porched to ensure smooth transition to entries.</p>
<p>55.05-2 Dwelling entry To provide each dwelling or residential building with its own sense of identity.</p>	<p>B26 Entries to dwellings and residential buildings should: - Be visible and easily identifiable from streets and other public areas. - Provide shelter, a sense of personal address and a transitional space around the entry.</p>	<p>Each dwelling has its own entry which is visible and easily identifiable. It will provide shelter, with a canopy roof over, a sense of personal address through use of porches, varied material and fixing of a unit number, and provide a transitional space around the entry, with distinct paving to direct people away off the driveway.</p>
<p>55.05-3 Daylight to new windows To allow adequate daylight into new habitable room windows.</p>	<p>B27 A window in a habitable room should be located to face: - An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or - A verandah provided it is open for at least one third of its perimeter, or - A carport provided it has two or more open sides and is open for at least one third of its perimeter.</p>	<p>All habitable room windows meet the requirement. Each habitable room window is located so that it has at least 1m clear to sky from the boundary or adjacent wall.</p>
<p>55.05-4 Private open space To provide adequate private open space for the reasonable recreation and service needs of residents.</p>	<p>B28 A dwelling or residential building should have private open space of an area and dimensions specified in a schedule to the zone. If no area or dimensions are specified in a schedule to the zone, a dwelling or residential building should have private open space consisting of: - An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or - A balcony of 8 square metres with a minimum width of 1.6 metres</p>	<p>Each dwelling has at least 25m² of SPOS and at least 40m² of POS provided. Refer to site plan Lv4372-004.</p>

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	<p>and convenient access from a living room, or</p> <ul style="list-style-type: none"> - A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room. <p>The balcony requirements in Clause 55.05-4 do not apply to an apartment development</p>	
<p>55.05-5 Solar access to open space To allow solar access into the secluded private open space of new dwellings and residential buildings.</p>	<p>B29 The private open space should be located on the north side of the dwelling or residential building, if appropriate. The southern boundary of secluded private open space should be set back from any wall on the north of the space at least (2 + 0.9h) metres, where ‘h’ is the height of the wall.</p>	<p>The SPOS is located to the north-east of all units. All SPOS have north access.</p>
<p>55.05-6 Storage To provide adequate storage facilities for each dwelling.</p>	<p>B30 Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.</p>	<p>Each dwelling is provided with at least 6m³ of externally accessible, secure storage space in the form of a storage shed.</p>

55.06 Detailed Design

Objective	Standard	Response
<p>55.06-1 Design detail To encourage design detail that respects the existing or preferred neighbourhood character.</p>	<p>B31 The design of buildings, including: - Facade articulation and detailing, - Window and door proportions, - Roof form, and - Verandahs, eaves and parapets, should respect the existing or preferred neighbourhood character. Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.</p>	<p>The design of the development is reflective of the neighbourhood character in the façade materials, window & door proportions and eave detailing.</p>
<p>55.06-2 Front fences To encourage front fence design that respects the existing or preferred neighbourhood character.</p>	<p>B32 The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties. A front fence within 3 metres of a street should not exceed:</p>	<p>There will be a new 900mm front fence in the Fl which will be constructed of timber posts and metal in-fill as shown on the site elevations.</p> <p>Adjoining properties both have front fencing.</p> <p>By taking a copy of this document, you acknowledge that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p>

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Adjoining properties both have front fencing.

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	<ul style="list-style-type: none"> - The maximum height specified in a schedule to the zone, or - If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B3. 	
<p>55.06-3 Common property To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained. To avoid future management difficulties in areas of common ownership.</p>	<p>B33 Developments should clearly delineate public, communal and private areas. Common property, where provided, should be functional and capable of efficient management.</p>	<p>Fences clearly delineate and separate common areas from private areas. The driveway area is functional and designed to be maintained efficiently.</p>
<p>55.06-4 Site services To ensure that site services can be installed and easily maintained. To ensure that site facilities are accessible, adequate and attractive.</p>	<p>B34 The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically. Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development. Bin and recycling enclosures should be located for convenient access by residents. Mailboxes should be provided and located for convenient access as required by Australia Post.</p>	<p>There is sufficient space for services to be installed and maintained efficiently as required by the relevant authority, along the sides of the site or within the common space. Each dwelling has ample space to store their own bins. Mailboxes are provided at the front of the property to ensure convenient access by Australia Post.</p>

6 Clause 56: Residential Subdivision

Clause 56 Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.
To create liveable and sustainable neighbourhoods and urban places with character and identity.
To achieve residential subdivision outcomes that appropriately respond to the site and its context for:

- Metropolitan Melbourne growth areas.
- Infill sites within established residential areas.
- Regional cities and towns.

To ensure residential subdivision design appropriately provides for:

- Policy implementation.
- Liveable and sustainable communities.
- Residential lot design.
- Urban landscape.

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- Access and mobility management.
- Integrated water management.
- Site management.
- Utilities.

56.01 Subdivision Site and Context Description and Design Response

56.01-1 Subdivision site and context description

The site and context description may use a site plan, photographs or other techniques and must accurately describe:	Response
Site:	
Site shape, size, dimensions and orientation	North-South oriented site. Approximately 54.21m long x 19.11m wide. North street frontage.
Levels and contours of the site	Mostly level site, falling approximately 600mm.
Natural features including trees and other significant vegetation, drainage lines, water courses, wetlands, ridgelines and hill tops.	There is no significant vegetation on the site. There are also no water courses, wetlands, ridgelines or hill tops.
The siting and use of existing buildings and structures.	Site currently has a single storey dwelling and detached outbuildings– refer to site plan Lv4372-003 for location of adjoining buildings.
Street frontage features such as poles, street trees and kerb crossovers.	Sealed road with concrete kerbs and grassed nature strip. One existing concrete crossover to the site.
Access points.	One existing access point to the site (crossover).
Location of drainage and other utilities.	Refer to site plan for drainage and utility locations.
Easements.	There is no easement on the site but there is a sewer main and access point at the front north-east corner of the site.
Any identified natural or cultural features of the site.	No natural or cultural features of the site.
Significant views to and from the site.	No significant views to/from the site.
Noise and odour sources or other external influences.	There are no noise or odour sources or other external influences.
Soil conditions, including any land affected by contamination, erosion, salinity, acid sulphate soils or fill.	The land is not affected by contamination, erosion, salinity, acid sulphate soils or fill.
Any other notable features or characteristics of the site.	No other notable features.
Adjacent uses.	All adjacent uses are residential.
Any other factor affecting the capacity to develop the site including whether the site is affected by inundation.	No other factors affecting the site.
The pattern of subdivision	Most surrounding development is single dwellings for residential use. Most have large front setbacks with expansive backyard spaces. There are some sites with multiple dwellings. Refer to Lv4372-002 for site context plan.
Existing land uses.	Residential.
The location and use of existing buildings on adjacent land	Residential dwellings on adjacent blocks are setback 10-9m from the street, approximately 2-6m setback from side boundaries.

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Abutting street and path widths, materials and detailing.	Standard residential street width and footpath widths, sealed road with concrete kerbs, concrete footpaths and grassed nature strips.
The location and type of significant vegetation	There is no significant vegetation.

56.01-2 Subdivision design response

Refer to section **55.01-2 Design response** of this report for the relevant information for this clause. Refer to the attached architectural plans and the following for information regarding compliance with the remaining Clause 56 objectives:

56.02 Policy Implementation

Objective	Standard	Response
56.02-1 Strategic implementation	C1	Not required to be met for Subdivision of 3-15 lots.

56.03 Liveable and Sustainable Communities

Objective	Standard	Response
56.03-1 Compact and walkable neighbourhood	C2	Not required to be met for Subdivision of 3-15 lots.
56.03-2 Activity centre	C3	Not required to be met for Subdivision of 3-15 lots.
56.03-3 Planning for community facilities	C4	Not required to be met for Subdivision of 3-15 lots.
56.03-4 Built environment	C5	Not required to be met for Subdivision of 3-15 lots.
56.03-5 Neighbourhood character To design subdivisions that respond to neighbourhood character.	C6 Subdivision should: - Respect the existing neighbourhood character or achieve a preferred neighbourhood character consistent with any relevant neighbourhood character objective, policy or statement set out in this scheme. - Respond to and integrate with the surrounding urban environment. - Protect significant vegetation and site features.	The proposal respects the existing neighbourhood character as mentioned previously in this report while also meeting the design objectives set out in the schedule to the zone, in terms of providing development of smaller housing types to maximise access to activity centres, services, transport and infrastructure. The proposal is contributing towards creating an attractive neighbourhood character which allows for a compact urban form, made while also retaining the desired appearance of wide, vibrant and vegetated streetscapes.

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56.04 Lot Design

Objective	Standard	Response
<p>56.04-1 Lot diversity and distribution To achieve housing densities that support compact and walkable neighbourhoods and the efficient provision of public transport services. To provide higher housing densities within walking distance of activity centres. To achieve increased housing densities in designated growth areas. To provide a range of lot sizes to suit a variety of dwelling and household types.</p>	<p>C7 A subdivision should implement any relevant housing strategy, plan or policy for the area set out in this scheme. Lot sizes and mix should achieve the average net residential density specified in any zone or overlay that applies to the land or in any relevant policy for the area set out in this scheme. A range and mix of lot sizes should be provided including lots suitable for the development of: - Single dwellings. - Two dwellings or more. - Higher density housing. - Residential buildings and Retirement villages. Unless the site is constrained by topography or other site conditions, lot distribution should provide for 95 per cent of dwellings to be located no more than 400 metre street walking distance from the nearest existing or proposed bus stop, 600 metres street walking distance from the nearest existing or proposed tram stop and 800 metres street walking distance from the nearest existing or proposed railway station. Lots of 300 square metres or less in area, lots suitable for the development of two dwellings or more, lots suitable for higher density housing and lots suitable for Residential buildings and Retirement villages should be located in and within 400 metres street walking distance of an activity centre.</p>	<p>The proposal increases housing density within walking distance of the activity centre of Trafalgar as set out in the schedule to the zone. Many families are wanting to move out of higher density residential urban areas and move further from the city. The new 4-bedroom dwelling offers affordable, modern housing attracting people to the Trafalgar area.</p>
<p>56.04-2 Lot area and building envelopes To provide lots with areas and dimensions that enable the appropriate siting and construction of a dwelling, solar access, private open space, vehicle access and parking,</p>	<p>C8 An application to subdivide land that creates lots of less than 300 square metres should be accompanied by information that shows: - That the lots are consistent or contain building envelope that is</p>	<p>Each proposed lot is more than 190m². The information must not be used for any other purpose. By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p>

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<p>water management, easements and the retention of significant vegetation and site features.</p>	<p>consistent with a development approved under this scheme, or - That a dwelling may be constructed on each lot in accordance with the requirements of this scheme.</p>	
<p>56.04-3 Solar orientation of lots To provide good solar orientation of lots and solar access for future dwellings.</p>	<p>C9 Unless the site is constrained by topography or other site conditions, at least 70 percent of lots should have appropriate solar orientation. Lots have appropriate solar orientation when: - The long axis of lots are within the range north 20 degrees west to north 30 degrees east, or east 20 degrees north to east 30 degrees south. -Dimensions of lots are adequate to protect solar access to the lot, taking into account likely dwelling size and the relationship of each lot to the street.</p>	<p>The site is oriented along the north-south axis, so the dwellings have been designed to maximise solar access along the north-east boundary.</p>
<p>56.04-4 Street orientation To provide a lot layout that contributes to community social interaction, personal safety and property security.</p>	<p>C10 Subdivision should increase visibility and surveillance by: - Ensuring lots front all roads and streets and avoid the side or rear of lots being oriented to connector streets and arterial roads. -Providing lots of 300 square metres or less in area and lots for 2 or more dwellings around activity centres and public open space. -Ensuring streets and houses look onto public open space and avoiding sides and rears of lots along public open space boundaries. -Providing roads and streets along public open space boundaries.</p>	<p>The existing dwelling faces the street, while the proposed dwelling will face the new accessway. The front door will be visible from the street, ensuring that the dwelling has adequate surveillance.</p>
<p>56.04-5 Common area To identify common areas and the purpose for which the area is commonly held. To ensure the provision of common area is appropriate and that necessary management arrangements are in place. To maintain direct public access throughout the neighbourhood street network.</p>	<p>C11 An application to subdivide land that creates common land must be accompanied by a plan and a report identifying: - The common area to be owned by the body corporate, including any streets and open space. -The reasons why the area should be commonly held. -Lots participating in the body corporate.</p>	<p>There are no common areas proposed.</p>

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	<p>-The proposed management arrangements including maintenance standards for streets and open spaces to be commonly held.</p>	
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56.05 Urban Landscape

Objective	Standard	Response
<p>56.05-1 Integrated urban landscape To provide attractive and continuous landscaping in streets and public open spaces that contribute to the character and identity of new neighbourhoods and urban places or to existing or preferred neighbourhood character in existing urban areas. To incorporate natural and cultural features in the design of streets and public open space where appropriate. To protect and enhance native habitat and discourage the planting and spread of noxious weeds. To provide for integrated water management systems and contribute to drinking water conservation.</p>	<p>C12 An application for subdivision that creates streets or public open space should be accompanied by a landscape design. The landscape design should: Implement any relevant streetscape, landscape, urban design or native vegetation precinct plan, strategy or policy for the area set out in this scheme. Create attractive landscapes that visually emphasise streets and public open spaces. Respond to the site and context description for the site and surrounding area. Maintain significant vegetation where possible within an urban context. Take account of the physical features of the land including landform, soil and climate. Protect and enhance any significant natural and cultural features. Protect and link areas of significant local habitat where appropriate. Support integrated water management systems with appropriate landscape design techniques for managing urban run-off including wetlands and other water sensitive urban design features in streets and public open space. Promote the use of drought tolerant and low maintenance plants and avoid species that are likely to spread into the surrounding environment. Ensure landscaping supports surveillance and provides shade in</p>	<p>Refer to landscape plan Lv4372-008 for landscaping details. The landscaping will be designed to create an attractive landscape and to visually emphasise common areas from private. The design will incorporate native and drought tolerant vegetation and provide new habitat for plants and animals.</p>

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	<p>streets, parks and public open space.</p> <p>Develop appropriate landscapes for the intended use of public open space including areas for passive and active recreation, the exercising of pets, playgrounds and shaded areas.</p> <p>Provide for walking and cycling networks that link with community facilities.</p> <p>Provide appropriate pathways, signage, fencing, public lighting and street furniture.</p> <p>Create low maintenance, durable landscapes that are capable of a long life.</p> <p>The landscape design must include a maintenance plan that sets out maintenance responsibilities, requirements and costs.</p>	
56.05-2 Public open space provision	C13	Not required to be met for Subdivision of 3-15 lots.

56.06 Access and Mobility Management

Objective	Standard	Response
56.06-1	C14	Not required to be met for Subdivision of 3-15 lots.
<p>56.06-2 Walking and cycling network</p> <p>To contribute to community health and wellbeing by encouraging walking and cycling as part of the daily lives of residents, employees and visitors.</p> <p>To provide safe and direct movement through and between neighbourhoods by pedestrians and cyclists.</p> <p>To reduce car use, greenhouse gas emissions and air pollution.</p>	<p>C15</p> <p><i>Refer to relevant clause in scheme.</i></p>	<p>The existing walking and cycling network of the area is not negatively impacted or changed. The internal accessway provides a link for pedestrians from the development to the existing footpath, which also promotes safety and surveillance, and is also accessible for people with disability or limited mobility.</p>
56.06-3 Public transport network	C16	Not required to be met for Subdivision of 3-15 lots.
<p>56.06-4 Neighbourhood street network</p> <p>To provide for direct, safe and easy movement through and between neighbourhoods for pedestrians, cyclists, public transport and other motor</p>	<p>C17</p> <p><i>Refer to relevant clause in scheme.</i></p>	<p>The proposed internal accessway provides for direct, safe, and easy movement from the development to the street. With low vegetation and spaces clear of obstructions, the view from specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p>

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vehicles using the neighbourhood street network.		the accessway to the street, and vice versa, is clear and safe.
56.06-5 Walking and cycling network detail To design and construct footpaths, shared path and cycle path networks that are safe, comfortable, well-constructed and accessible for people with disabilities. To design footpaths to accommodate wheelchairs, prams, scooters and other footpath bound vehicles.	C18 <i>Refer to relevant clause in scheme.</i>	As mentioned previously, vehicle, bicycle and pedestrian networks are existing, and the proposed development provides an accessway from the development to the existing network, which is safe, comfortable, well-constructed and accessible for people with disabilities. It will be able to accommodate wheelchairs, prams, scooters and other footbound vehicles.
56.06-6 Public transport network detail	C19	Not required to be met for Subdivision of 3-15 lots.
56.06-7 Neighbourhood street network detail To design and construct street carriageways and verges so that the street geometry and traffic speeds provide an accessible and safe neighbourhood street system for all users.	C20 <i>Refer to relevant clause in scheme.</i>	The width of the internal accessway is 3m, to meet the relevant requirements. The accessway is of sufficient width to allow for integrated landscaping and promotes a low speed and safe environment. Corner splays at the junction of the accessway and footpath allow for clear view for both pedestrians and drivers. The accessway will be constructed of concrete, asphalt or bitumen to ensure it is of sufficient quality and durability for safe passage for all users.
56.06-8 Lot access To provide for safe vehicle access between roads and lots.	C21 Vehicle access to lots of 300 square metres or less in area and lots with a frontage of 7.5 metres or less should be provided via rear or side access lanes, places or streets. The design and construction of a crossover should meet the requirements of the relevant road authority.	Vehicle access from the street to each lot: Unit 1 – from Princes Highway Service Road Unit 2 – From Princes Highway Service Road via new accessway. The proposed crossover will be constructed as per the council’s requirements.

56.07 Integrated Water Management

Objective	Standard	Response
56.07-1 Drinking water supply To reduce the use of drinking water.	C22 The supply of drinking water must be:	The development will be connected to mains water as per the relevant authority’s requirements.

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<p>To provide an adequate, cost-effective supply of drinking water.</p>	<ul style="list-style-type: none"> - Designed and constructed in accordance with the requirements and to the satisfaction of the relevant water authority. - Provided to the boundary of all lots in the subdivision to the satisfaction of the relevant water authority. 	
<p>56.07-2 Reused and recycled water To provide for the substitution of drinking water for non-drinking purposes with reused and recycled water.</p>	<p>C23 Reused and recycled water supply systems must be:</p> <ul style="list-style-type: none"> - Designed, constructed and managed in accordance with the requirements and to the satisfaction of the relevant water authority, Environment Protection Authority and Department of Health and Human Services. - Provided to the boundary of all lots in the subdivision where required by the relevant water authority 	<p>The development will be connected to mains water as per the relevant authority’s requirements, no other reused or recycled water supply is available, however a 2000 litre rainwater tank will be installed to the new dwelling, connected to flushing systems, to reuse rainwater for flushing systems, and reducing reliance on drinking water.</p>
<p>56.07-3 Wastewater management To provide a wastewater system that is adequate for the maintenance of public health and the management of effluent in an environmentally friendly manner.</p>	<p>C24 Wastewater systems must be:</p> <ul style="list-style-type: none"> - Designed, constructed and managed in accordance with the requirements and to the satisfaction of the relevant water authority and the Environment Protection Authority. - Consistent with any relevant approved domestic wastewater management plan. <p>Reticulated wastewater systems must be provided to the boundary of all lots in the subdivision where required by the relevant water authority.</p>	<p>The development will be connected to mains sewerage as per the relevant authority’s requirements.</p>
<p>56.07-4 Stormwater management To minimise damage to properties and inconvenience to residents from stormwater. To ensure that the street operates adequately during major storm events and provides for public safety. To minimise increases in stormwater and protect the environmental values and physical characteristics of receiving waters from degradation by stormwater. To encourage stormwater management that maximises</p>	<p>C25 <i>Refer to relevant clause in scheme.</i></p>	<p>The development will be connected to mains stormwater as per the relevant authority’s requirements. A drainage system will be designed by a drainage engineer</p>

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the retention and reuse of stormwater. To encourage stormwater management that contributes to cooling, local habitat improvements and provision of attractive and enjoyable spaces.

56.08 Site Management

Objective	Standard	Response
<p>56.08-1 Site management To protect drainage infrastructure and receiving waters from sedimentation and contamination. To protect the site and surrounding area from environmental degradation or nuisance prior to and during construction of subdivision works. To encourage the re-use of materials from the site and recycled materials in the construction of subdivisions where practicable.</p>	<p>C26 A subdivision application must describe how the site will be managed prior to and during the construction period and may set out requirements for managing: Erosion and sediment. Dust. Run-off. Litter, concrete and other construction wastes. Chemical contamination. Vegetation and natural features planned for retention. Recycled material should be used for the construction of streets, shared paths and other infrastructure where practicable.</p>	<p>As the site is for two lots and the development of one additional dwelling, it is envisaged that:</p> <ul style="list-style-type: none"> ▪ Erosion and sediment are not considered relevant for this site; ▪ Dust will be controlled by dampening at appropriate intervals; ▪ All run-off from site will be diverted away from stormwater drains where possible and if required. ▪ This site will be treated as a normal building site and as such will have a rubbish skip on site to contain litter, concrete and other construction wastes; ▪ Chemical contamination – not applicable; ▪ The vegetation and natural features planned for retention will be protected by temporary fencing as deemed appropriate.

56.08 Utilities

Objective	Standard	Response
<p>56.09-1 Site management To maximise the opportunities for shared trenching. To minimise constraints on landscaping within street reserves.</p>	<p>C27 Reticulated services for water, gas, electricity and telecommunications should be provided in shared trenching to minimise construction costs and land allocation for underground services.</p>	<p>Shared trenching will be utilised where practical.</p> <p>By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p>

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<p>56.09-2 Electricity, telecommunications and gas To provide public utilities to each lot in a timely, efficient and cost-effective manner. To reduce greenhouse gas emissions by supporting generation and use of electricity from renewable sources.</p>	<p>C28 The electricity supply system must be designed in accordance with the requirements of the relevant electricity supply agency and be provided to the boundary of all lots in the subdivision to the satisfaction of the relevant electricity authority. Arrangements that support the generation or use of renewable energy at a lot or neighbourhood level are encouraged. The telecommunication system must be designed in accordance with the requirements of the relevant telecommunications servicing agency and should be consistent with any approved strategy, policy or plan for the provision of advanced telecommunications infrastructure, including fibre optic technology. The telecommunications system must be provided to the boundary of all lots in the subdivision to the satisfaction of the relevant telecommunications servicing authority. Where available, the reticulated gas supply system must be designed in accordance with the requirements of the relevant gas supply agency and be provided to the boundary of all lots in the subdivision to the satisfaction of the relevant gas supply agency</p>	<p>Electricity, telecommunication cables and gas are all available in the surrounding streets and will be connected as per the relevant authority’s requirements.</p>
<p>56.09-3 Fire hydrants To provide fire hydrants and fire plugs in positions that enable fire fighters to access water safely, effectively and efficiently.</p>	<p>C29 Fire hydrants should be provided: A maximum distance of 120 metres from the rear of each lot. No more than 200 metres apart. Hydrants and fire plugs must be compatible with the relevant fire service equipment. Where the provision of fire hydrants and fire plugs does not comply with the requirements of standard C29, fire hydrants must be provided to the satisfaction of the relevant fire authority</p>	<p>There is a fire plug provided in the nature strip in front of the property, as per Gippsland Water’s plans.</p>
<p>56.09-4 Public lighting To provide public lighting to ensure the safety of pedestrians, cyclists and</p>	<p>C30 Public lighting should be provided to streets, footpaths, public telephones, public transport stops</p>	<p>As the streets already existing it is assumed that this objective is satisfied. Passive lighting and security lighting to the front of</p>

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<p>vehicles. To provide pedestrians with a sense of personal safety at night. To contribute to reducing greenhouse gas emissions and to saving energy.</p>	<p>and to major pedestrian and cycle paths including public open spaces that are likely to be well used at night to assist in providing safe passage for pedestrians, cyclists and vehicles.</p> <p>Public lighting should be designed in accordance with the relevant Australian Standards.</p> <p>Public lighting should be consistent with any strategy, policy or plan for the use of renewable energy and energy efficient fittings.</p>	<p>each unit will be installed as part of the building process to ensure security and safety for future occupants.</p>
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7 Clause 36.04: Road Zone 1

Purpose

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify significant existing roads.
- To identify land which has been acquired for a significant proposed road.

The site will be provided with an additional crossover to access one additional dwelling only. The existing crossover will be upgraded to current standards. With one additional dwelling, it is expected that traffic will be increased to a level typical of this type of residential development, however this traffic will not be directly entering the Princes Highway, but via a side road from the Princes Highway. Properties Numbered from No. 33 through to No. 7 have access to a private one-way service lane that branches off the Highway. For an indication to the level of traffic increase, there are a total of 4 car parks proposed on the site.

8 Development Contributions Plan Overlay

Purpose

To implement the State Planning Policy Framework and the Local Planning Policy Framework.
 To identify areas which require the preparation of a development contributions plan for the purpose of levying contributions for the provision of works, services and facilities before development can commence

Response:

The subject site is not within a designated Development Contributions Plan Area as specified in Schedule 1 to this overlay and is therefore not affected.

9 Conclusion

This application outlines the proposal for a second dwelling and a two lot subdivision at 19 Princes Highway, Trafalgar.

It is of our opinion that the proposed works are suitable for housing and the zone and is respectful of the surrounding area and character, and meets all requirements as set out in the zone and housing policy.

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10 Photographic Survey



Image 1: View of the subject site and existing dwelling



Image 2: View neighbouring dwelling at No. 17 Princes Highway

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Image 3: View of neighbouring dwelling at No. 21 Princes Highway



Image 4: View existing boundary fence between subject site and No. 17 Princes Highway to be replaced.

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Image 5: View of backyard space – existing non-native trees to be removed.



Image 6: View of existing access way – to be concrete paved and new carport to be installed.

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Image 7: View French doors facing north/east – this area will be the S.P.O.S of the existing dwelling.



Image 8: View existing wing fence – to be removed and new access way to be installed for second dwelling.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

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VOLUME 08817 FOLIO 972

Security no : 124092598338L
Produced 21/09/2021 10:53 AM

LAND DESCRIPTION

Lot 1 on Title Plan 674781S.
PARENT TITLE Volume 04217 Folio 203
Created by instrument D642883 23/02/1970

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
PROJECT 33 PTY LTD of UNIT 122 102 MILLER STREET PYRMONT NSW 2007
AU043108S 12/02/2021

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AU043109Q 12/02/2021
BENDIGO AND ADELAIDE BANK LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP674781S FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 19 PRINCES HIGHWAY TRAFALGAR VIC 3824

ADMINISTRATIVE NOTICES

NIL

eCT Control 18057S BENDIGO BANK
Effective from 12/02/2021

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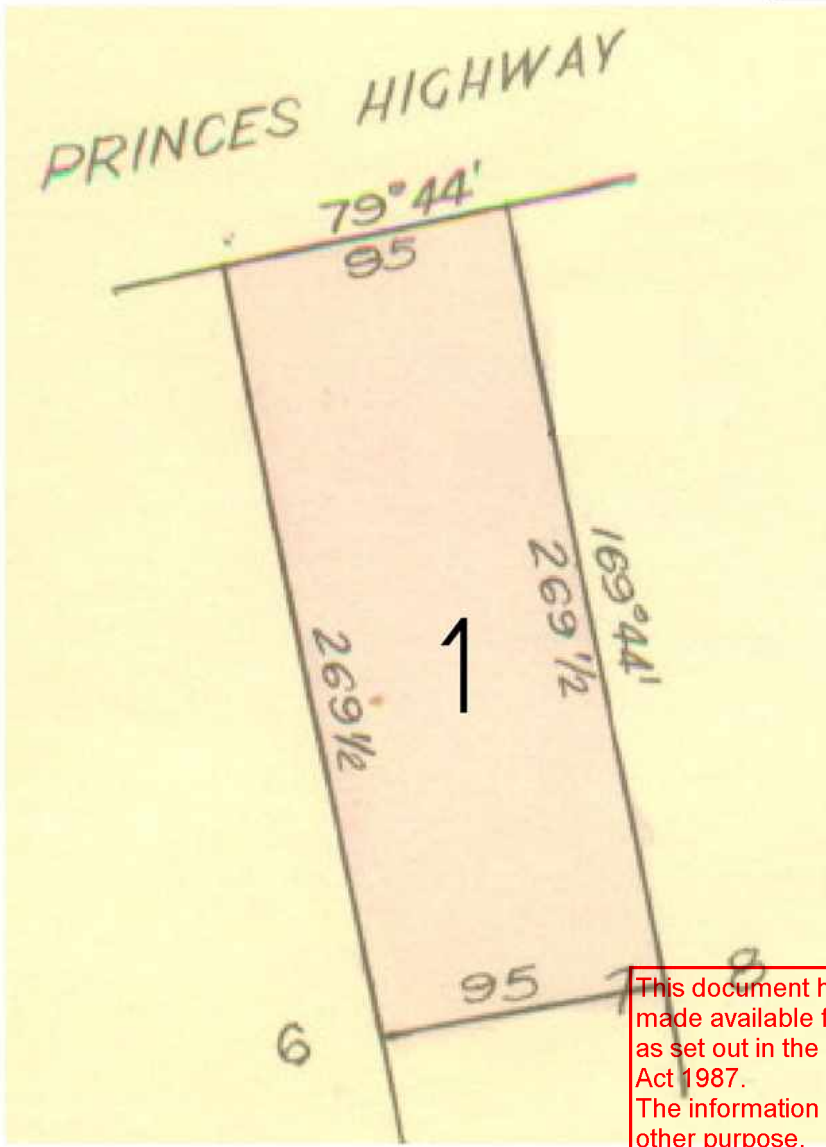
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Advertised

TITLE PLAN	EDITION 1	TP 674781S
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<p>Location of Land</p> <p>Parish: MOE Township: TRAFALGAR Section: 17 Crown Allotment: 7 (PT) Crown Portion:</p> <p>Last Plan Reference: Derived From: VOL 8817 FOL 972 Depth Limitation: 50 FEET</p>	<p>Notations</p> <p>ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN</p>
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<p>Description of Land / Easement Information</p>	<p>THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT</p> <p>COMPILED: 01/11/2000 VERIFIED: GB</p>
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PARCEL 1 = CA 7 (PT)