

Ref: 40009

13 September 2021

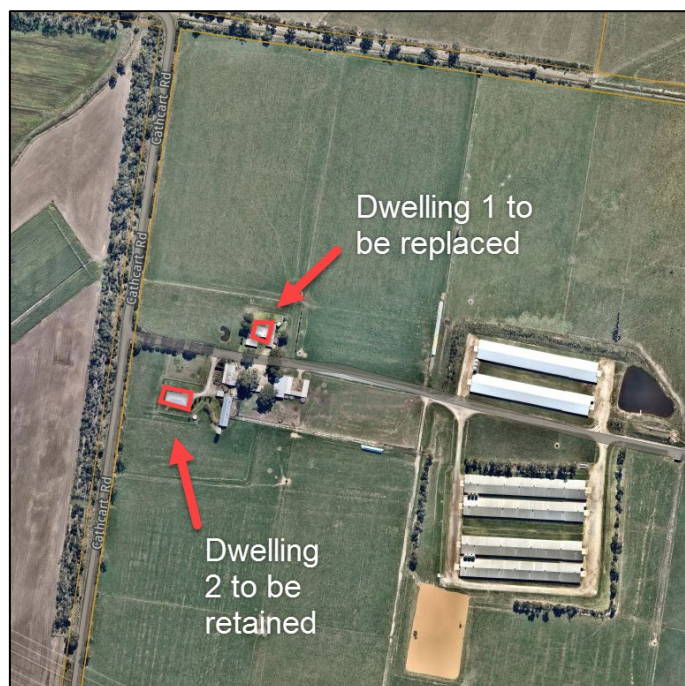
Baw Baw Shire
Planning Department
Lodged: Online Lodgment

Dear Sir/Madam,

Planning Permit Application
Replacement Dwelling
85 Cathcart Road, Longwarry

Marshal Melbourne Pty Ltd acts on behalf of the land owners, Somerlong Pty Ltd, of 85 Cathcart Road, Longwarry in making application for a planning permit for buildings and works for a replacement dwelling.

It is proposed to construct a replacement single storey 3 bedroom dwelling to replace the original dwelling (dwelling 1) on the farm for the purpose of providing accommodation for one of the farm managers associated with the broiler farming operation currently occurring on the site.



Aerial photo – Source Nearmap

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+61 3 9860 0380

hello@marshal.melbourne

Suite 201, Level 2, 448 St Kilda Road
Melbourne Victoria 3004

ABN 58 643 224 266

Site Description

The subject site, 85 Cathcart Road consists of one parcel of land known as Lot 1 on Title Plan TP80492L. There are no restrictions or covenants on the title. The land is approximately 104 hectares with an 800 metre frontage to Cathcart Road. The land has been predominately cleared of vegetation and divided into paddocks with 10 broiler sheds serviced by a central access road. There is some perimeter vegetation on the subject site and around the broiler sheds.

The land contains two dwellings one which is setback 45 metres (dwelling 2) from Cathcart Road and the other setback 125 metres (dwelling 1) from Cathcart Road. Photos of the dwellings are provided below.

Dwelling 2 was approved as a second dwelling on the land under planning permit PLA0014/12 and is occupied by a farm manager.

The site falls within a rural setting approximately 4 km south of the Longwarry town centre. Land in the area is mostly used for agricultural purposes, the most notable in the area being grazing.



Existing Dwelling 1



Existing Dwelling 2

Planning Controls

The subject land is zoned Farming and encumbered by the:

- Floodway Overlay;
- Land Subject to Inundation Overlay; and
- Development Contributions Plan Overlay – Schedule 1.

Neither the Floodway Overlay, nor the Land Subject to Inundation Overlay cover the proposed site of the replacement dwelling.

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Whilst the Farming Zone requires planning permission for a second dwelling, it is submitted that the land benefits from existing use rights for two dwellings and therefore no permission is needed pursuant to clause 35.07-1 of the Farming Zone.

Therefore, planning permission is only required pursuant to Clause **35.07-4** for buildings and works associated with a Section 2 Use. The proposed dwelling will comply with the Clause 35.07-2 requirements in:

- Utilising the existing all-weather access to the farm;
- Providing a system to treat waste water, with more than appropriate area on the farm allowing for a suitable system to be designed post the approval of the planning permit;
- The dwelling will be provided with a water tank with adequate storage for domestic supply;
- The dwelling will be connected to the existing electricity supply provided to the land.

It is submitted that the provisions of clause 35.07-5 do not apply, with the application seeking permission for buildings and works only and not use.

The proposed land is located within Area 48 of the Baw Baw Shire Development Contributions Plan and it is acknowledged that a condition will be included on the planning permit to reflect any contributions required.

Assessment

The proposed replacement dwelling will replace the original dwelling on the land and provide for improved accommodation for one of the farm managers operating the existing broiler farm on the land.

The dwelling will be located in the approximately the same location maintaining significant setbacks from the property boundaries and public roads. The proposed replacement dwelling given the significant setbacks from boundaries will not encumber the agricultural uses on abutting land.

It is submitted that the provisions of Clause 22.01-1, do not apply in this case, with these guidelines focused on when a new dwelling use is introduced to the Farming Zone, where the proposal as identified is associated with an existing residential use. Despite this the replacement dwelling will provide a valuable contribution in allowing for continued operation of a viable intensive agricultural operation in the Farming Zone, contributing to the Shire's agricultural economy.

In support of the of the application, please find enclosed electronic copies of the following plans and documents;

- A. Site and Development Plans, prepared by SJD Homes;
- B. A full Recent Copy of Title;
- C. Online Planning Application Form.

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Please do not hesitate to contact me at 0429 203 873 or tmw@marshal.melbourne should you require any additional information or clarification.

Yours faithfully
Marshal Melbourne Pty.Ltd.



Tim Watson
Senior Planner

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Application for a Planning Permit

Lodgement Date: **13 September 2021**
 Application Number: **PLA0247/21**
 Lodgement Method: **Online**
 Original Permit Number: **Not Applicable**

- ◆ Original Permit Number only relates to Amendment Applications
- ◆ All information in this form was submitted by the Applicant at the time of Lodgement.

The Land

Property Address* **85 Cathcart Road LONGWARRY VIC 3816**
 Land Legal Description* **V 9421 F 563 Lot 1 TP 80492 Drouin West Parish**
 Other Related Property
 Other Related Land

The Proposal

Category* **Single dwelling**
 Proposal* **Buildings and works for a replacement dwellings**
 Estimated Cost* **\$314000.00**

Application Information

Pre-Application Meeting* **No**
 Existing Land Use* **Other Land Use**
 Encumbrances on Title* **Not applicable (no such encumbrance applies)**

Applicant and Owner Details

Applicant Details*

Surname/Company: **Marshal Melbourne Pty Ltd**
 First Name:
 Postal Address: **Suit 201, Level 2,
 448 St Kilda Road
 MELBOURNE VIC
 3004**

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Mobile Phone: 0429203873

Home Phone:

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Work Phone:

Email Address:

tmw@marshal.net.au

Agent/Contact Details

Surname/Company: Marshal Melbourne Pty Ltd

First Name:

Postal Address: Suit 201, Level 2, 448 St
Kilda Road MELBOURNE
VIC 3004

Mobile Phone: 0429203873

Home Phone:

Work Phone:

Email Address:

tmw@marshal.net.au

Owner Details*

Surname/Company: Somerlong Pty Ltd

First Name:

Attachment Details

B. Full Recent Copy of Title (DOC-21-150625)

Cover Letter (DOC-21-150626)

A. Site and Development Plans (DOC-21-150627)

Applicant Declaration

I understand and declare that:

- I am the Applicant;
- all information provided within this application is true and correct; and
- the property/land owner (if not myself) has been notified of the application.

*I agree to the declaration terms**

Yes

The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application. These third parties generally include, but are not limited to: Transport Infrastructure Agencies such as VicRoads and VLine Energy/Utilities Providers Catchment Management Authorities and Water Corporations

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The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies. Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

All information collected and held by Council is managed in accordance with Councils Privacy Policy which is available on our website. If you choose not to supply the requested information it may impair the ability of Council to consider your application or prevent Council from communicating with you in relation to your application.

If you have any concerns or require access to the information held by Council, please contact us on 5624 2411.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 09421 FOLIO 563

Security no : 124092350079H
Produced 08/09/2021 04:18 PM

LAND DESCRIPTION

Lot 1 on Title Plan 080492L (formerly known as part of Crown Allotment 123A Parish of Drouin West).

PARENT TITLES :

Volume 08962 Folio 893 Volume 09421 Folio 562

Created by instrument J509921 19/06/1981

REGISTERED PROPRIETOR

Estate Fee Simple

Sole Proprietor

SOMERLONG PTY LTD of 96 BAILEY ROAD NARRE WARREN NORTH VIC 3804
AU098522W 02/03/2021

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AU098523U 02/03/2021
COMMONWEALTH BANK OF AUSTRALIA

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP080492L FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

ADMINISTRATIVE NOTICES

NIL

eCT Control 20381U CBA BUSINESS BANK
Effective from 02/03/2021

DOCUMENT END

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TITLE PLAN	EDITION 1	TP 80492L
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<p>Location of Land</p> <p>Parish: DROUIN WEST Township: Section: Crown Allotment: 123A (PT) Crown Portion:</p> <p>Last Plan Reference: Derived From: VOL 9421 FOL 563 Depth Limitation: NIL</p>	<p>Notations</p> <p>ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN</p>
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Description of Land / Easement Information

ENCUMBRANCES REFERRED TO

E-1 = EASEMENT TO SEC CREATED BY C/E J721373

As to the land shown marked Y -

THE BASEMENT to GAS AND FUEL CORPORATION OF VICTORIA created by Instrument A47674 -

THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT

COMPILED: 21/07/1999
 VERIFIED: PC

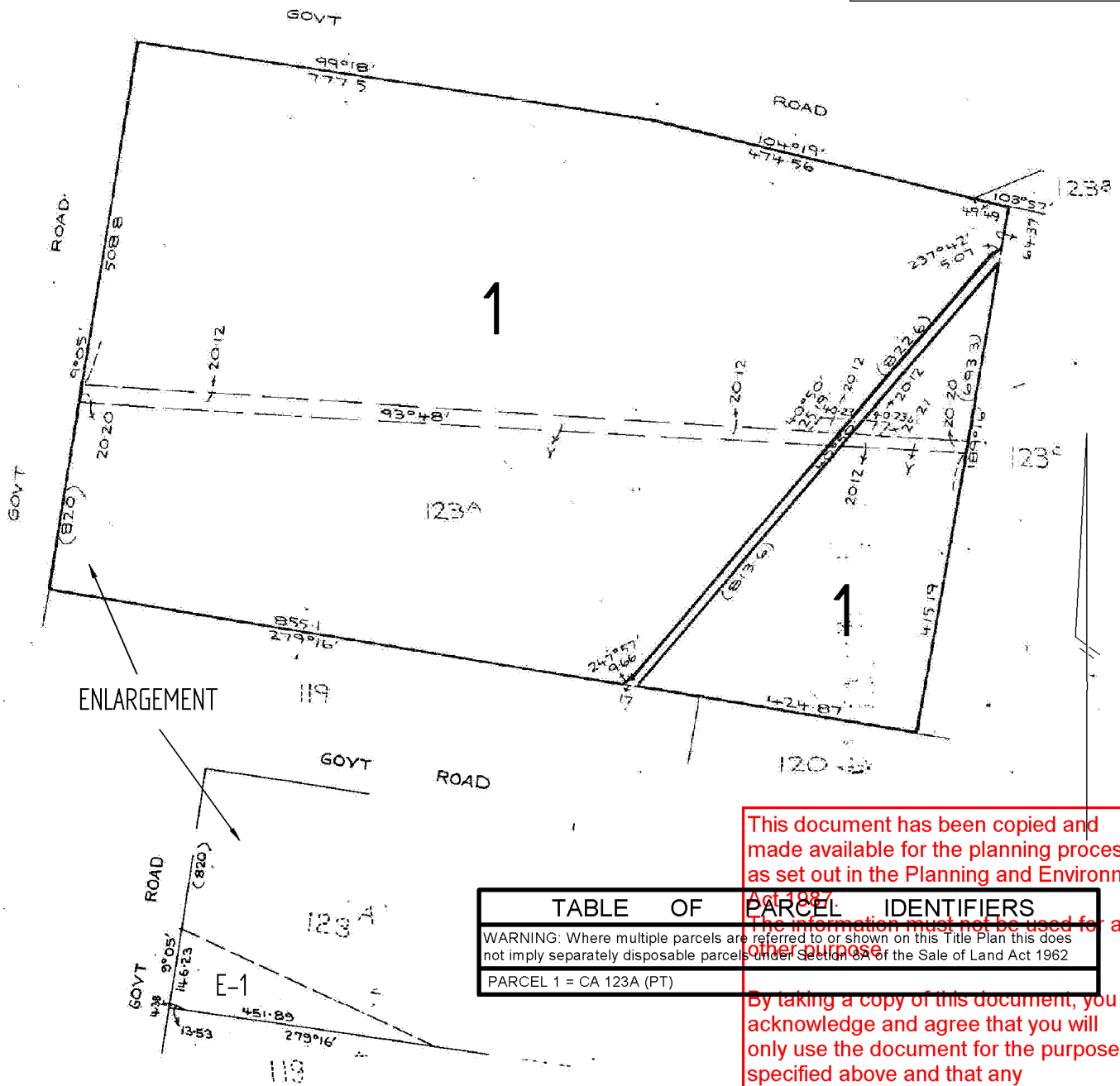


TABLE OF PARCEL IDENTIFIERS	
WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962	
PARCEL 1 = CA 123A (PT)	

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 - BASE OF CUT GRADED TO SILT TRAP AT 1:100 MIN. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
 - TEMPORARY DOWNPIPES CONNECTED TO THE STORM WATER SYSTEM TO BE INSTALLED AS SOON AS ROOF COVER IS COMPLETED.
 - STORMWATER DRAINS ARE INDICATIVE ONLY. DRAINER TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION
 - GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM FALL 1:20).
 - GRADED INLET PIT CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE.
 - PROVIDE AG DRAIN AT BASE OF CUT GRADED TO SILT PIT AT 1:100 MIN.
 - SILT PIT CONNECTED TO AG DRAIN & DIRECTED TO LEGAL POINT OF DISCHARGE VIA STORMWATER SYSTEM

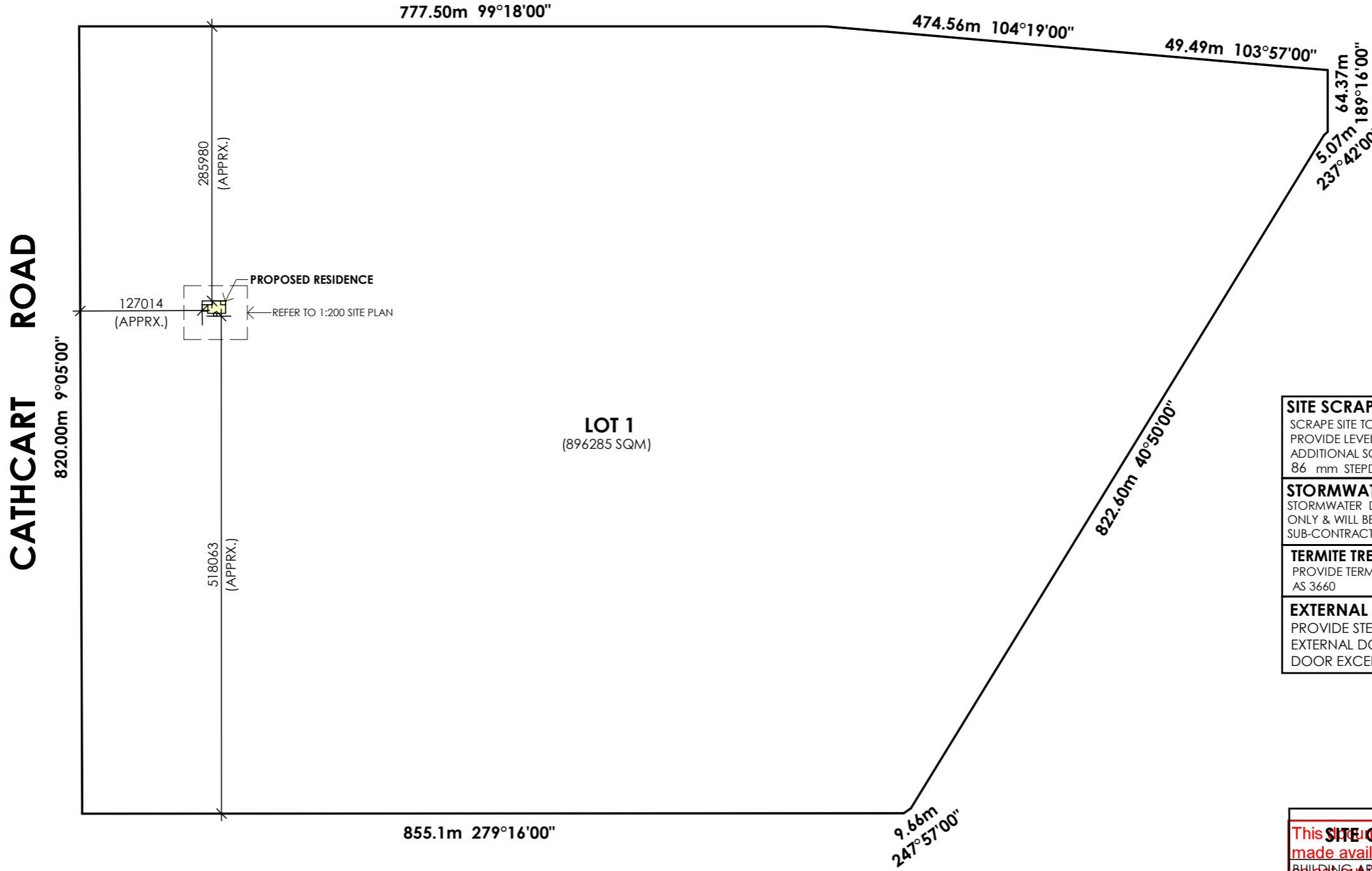
- BUSHFIRE REQUIREMENTS - BAL 12.5**
- ALL JOINTS IN THE EXTERNAL WALL MATERIAL ARE TO BE SEALED COVERED OR OVERLAPPED TO PREVENT GAPS GREATER THAN 3mm.
 - GAPS BETWEEN DOORS AND DOOR JAMBS, HEADS AND SILLS (THRESHOLDS ARE TO BE MAX 3mm. ALTERNATIVELY INSTALL DRAFT EXCLUDERS.
 - PROVIDE INTERNAL OR EXTERNAL SCREENS TO ALL OPENABLE PORTIONS OF WINDOWS. SCREENS SHALL HAVE MESH WITH A MAX. APERTURE OF 2mm. MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM.
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 - 35mm THICK SOLID TIMBER FOR THE FIRST 400mm ABOVE THRESHOLD, OR;
 - BE PROVIDED WITH A NON-COMBUSTIBLE KICK PLATE ON THE OUTSIDE FOR THE FIRST 400mm ABOVE THE THRESHOLD
 - MUST BE TIGHT FITTING TO THE DOOR FRAME
 - PROVIDE BUSHFIRE RESISTANT TIMBER TO PART OF THE DOOR FRAME WHICH IS LESS THAN 400mm FROM THE GROUND. INSTALL WEATHER STRIPS, DRAUGHT EXCLUDERS/SEALS TO THE BASE OF THE DOORS.
 - PROVIDE EXTERNAL GLASS SLIDING DOORS WITH ONE OF THE FOLLOWING MEASURES:
 - PROVIDE EXTERNAL SCREENS WITH A MAX. APERTURE OF 2mm MADE OF CORROSION RESISTANT STEELS, BRONZE OR ALUMINIUM
 - GLAZING TO BE MIN 5mm SAFETY GLASS, DOOR FRAME SHALL BE METAL OR BUSHFIRE RESISTANT TIMBER AND SLIDING DOORS MUST BE TIGHT FITTING IN THE FRAMES.
 - GARAGE ROLLER/PANEL LIFT DOOR TO BE PROTECTED WITHIN 400mm OF GROUND WITH ONE OF THE FOLLOWING MEASURES:
 - NON-COMBUSTIBLE MATERIAL OR;
 - BUSHFIRE RESISTANT TIMBER OR;
 - MIN 6mm THICK FC SHEET
 - GARAGE DOOR TO BE FITTED WITH WEATHER STRIPS, DRAUGHT EXCLUDERS/SEALS OR GUIDE TRACKS WITH MAX. 3mm GAP. ROLLER DOOR SHALL HAVE A NYLON BRUSH WHICH IS IN CONTACT WITH THE DOOR
 - ROOF SHALL BE FULLY SARKED, INCLUDING RIDGE AND EXTENDED TO FASCIAS AND GUTTERS
 - ROOF PENETRATIONS TO BE SEALED WITH NON-COMBUSTIBLE MATERIAL TO PREVENT GAPS GREATER THAN 3mm.
 - ANY ROOF OPENINGS, VENT PIPES ECT. ARE TO BE FITTED WITH EMER GUARDS WITH MAX. 2mm APERTURE AND MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM.
 - ANY ABOVE GROUND, EXPOSED WATER & GAS SUPPLY LINES TO BE METAL.
- WHERE APPLICABLE, THE PROPOSED DEVELOPMENT MUST COMPLY WITH ANY BUSHFIRE MANAGEMENT PLAN REQUIREMENT.

SITE CUT/FILL LEGEND & NOTES

DENOTES AREA OF SITE CUT
 DENOTES AREA OF SITE FILL

NOTE:
PENETRATIONS THROUGH THE SISALATION PAPER ARE TO BE TAPED AROUND CAREFULLY TO ENSURE ANY GAPS ARE SEALED.

NOTE:
BUILDER RESERVES THE RIGHT TO ALTER THE SITE CUT HEIGHT TO THEIR DISCRETION, PENDING CONDITIONS ON SITE



SITE SCRAPE NOTE
SCRAPE SITE TO REMOVE ALL SURFACE VEGETATION & PROVIDE LEVEL BUILDING PLATFORM. PROVIDE ADDITIONAL SCRAPE TO GARAGE TO ACCOMMODATE A 86 mm STEPDOWN. NOTE: 45 ° BATTER ANGLE

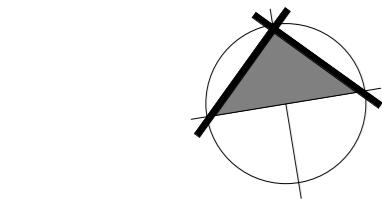
STORMWATER LAYOUT
STORMWATER DRAIN LAYOUT IS FOR INDICATIVE PURPOSES ONLY & WILL BE INSTALLED AS PER THE DRAINAGE SUB-CONTRACTORS DISCRETION.

TERMITE TREATMENT REQUIRED
PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660

EXTERNAL STEPS
PROVIDE STEPS OR BUILD UP SOIL AROUND EXTERNAL DOORS WHERE THRESHOLD OF THE DOOR EXCEEDS 190MM

This SITE COVERAGE ANALYSIS made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

BUILDING AREA	1267.00 m ²	0.03%
PERMITS AREA	896017.44 m ²	99.97%
TOTAL SITE AREA	897284.44 m ²	100%



SJD homes

433 Princes Hwy
Officer VIC 3809
Ph: 9095 8000
Fax: 9095 8010
info@sjdhomes.com.au

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PROPOSED:
HOUSE & GARAGE

HOUSE TYPE:
MONTROSE 281 - LH

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SIGNED BUILDER:
.....
SIGNED OWNER:
.....
DATE:
.....

CLIENT:
SOMERLONG PTY LTD

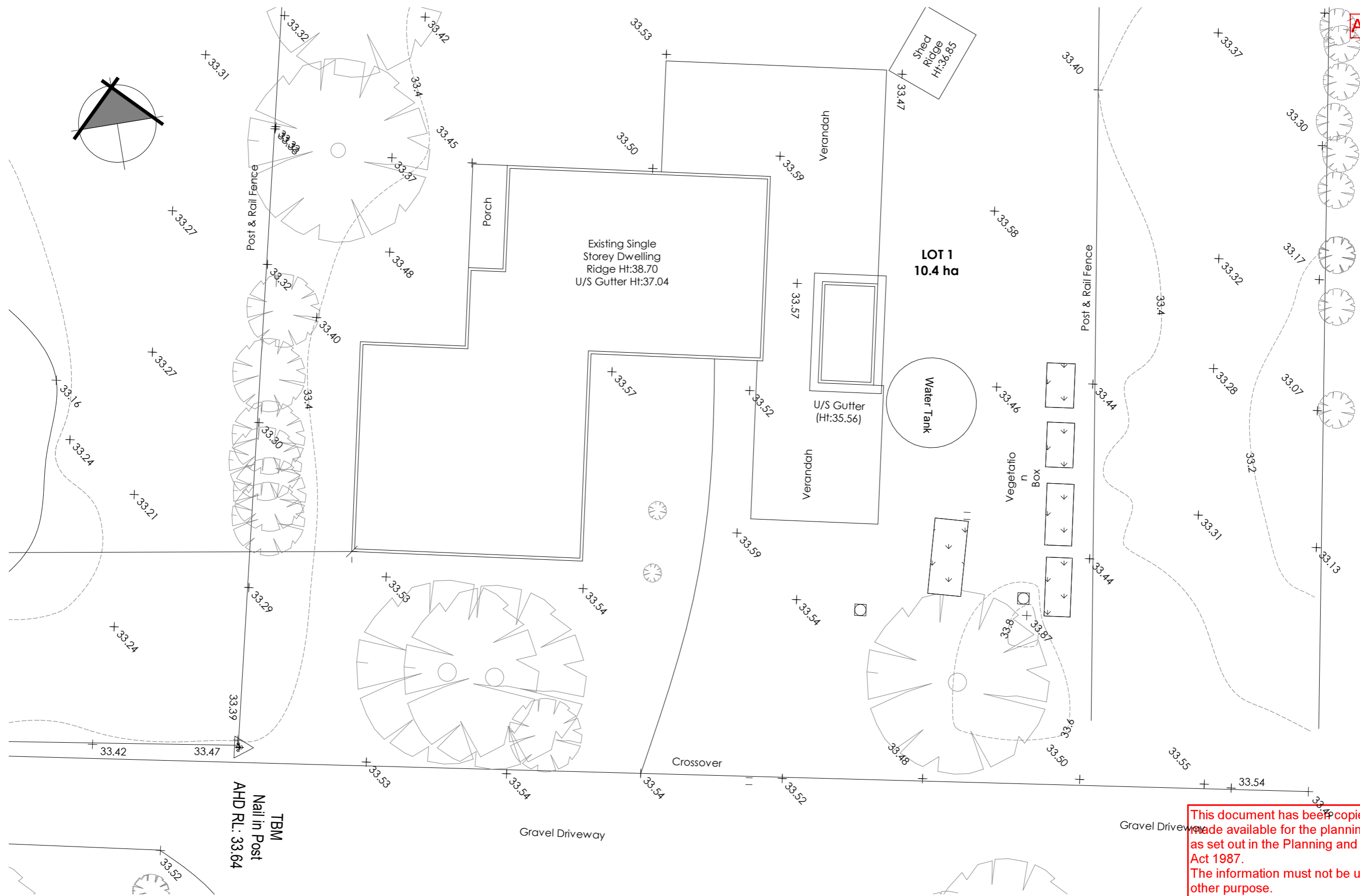
SITE ADDRESS:
**85, CATHCART ROAD
LONGWARRY, 3816**

DRAWING TITLE:
LOCALITY PLAN

ISSUE DATE: 07.09.21	MASTER DATE: 19.05.21
SCALE: 1 : 5000	
DRAWN: JG	CHECKED: TLG
SHEET NO: 02	OF: 09

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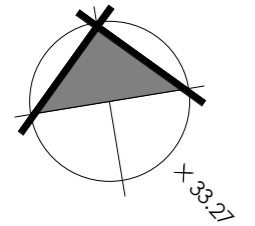
SITE ADDRESS:
**85, CATHCART ROAD
LONGWARRY, 3816**

DRAWING TITLE: EXISTING SITE PLAN	
ISSUE DATE: 07/09/21	SCALE: 1 : 200
MASTER DATE: 19.05.21	CHECKED: TLG
DRAWN: TLG	SHEET NO: 02A
OF: 09	

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SITE COVERAGE ANALYSIS

BUILDING AREA	267.10 m ²	0.03%
PERMEABLE AREA	896017.44 m ²	99.97%
TOTAL SITE AREA	896284.54 m ²	100%



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- THIS DOCUMENT HAS BEEN COPIED AND MADE AVAILABLE FOR THE PLANNING PROCESS AS SET OUT IN THE Planning and Environment Act 1987. THE BUSHFIRE MANAGEMENT PLAN CAN BE USED FOR ANY OTHER PURPOSE.**
- WHERE APPLICABLE, THE PROPOSED DEVELOPMENT MUST COMPLY WITH THE BUSHFIRE MANAGEMENT PLAN REQUIREMENTS

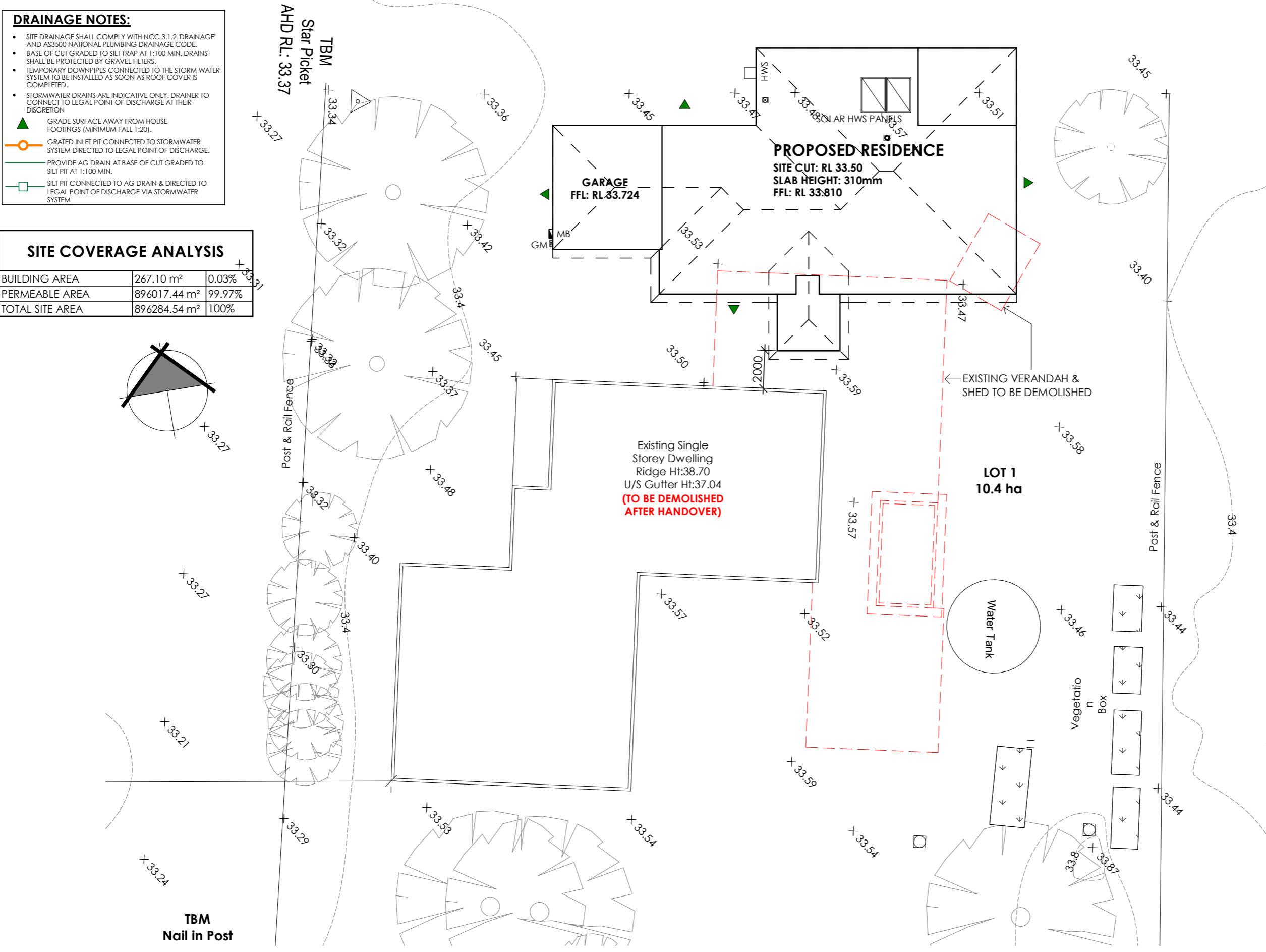
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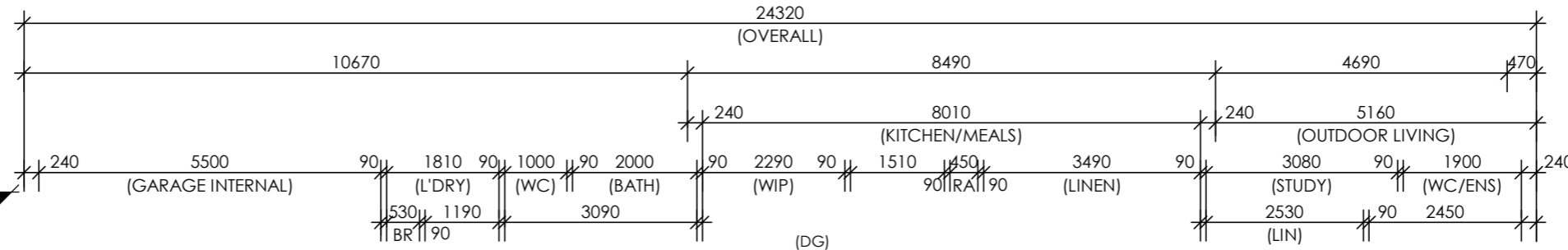
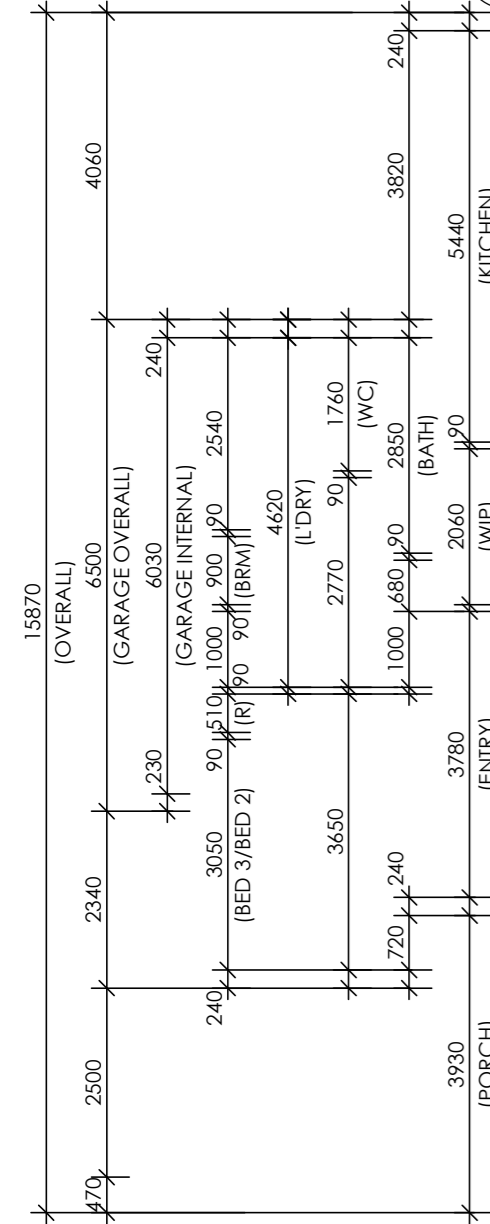
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SITE PLAN

ISSUE DATE: 07/09/21
SCALE: 1 : 200
DRAWN: JG
SHEET NO: 02B

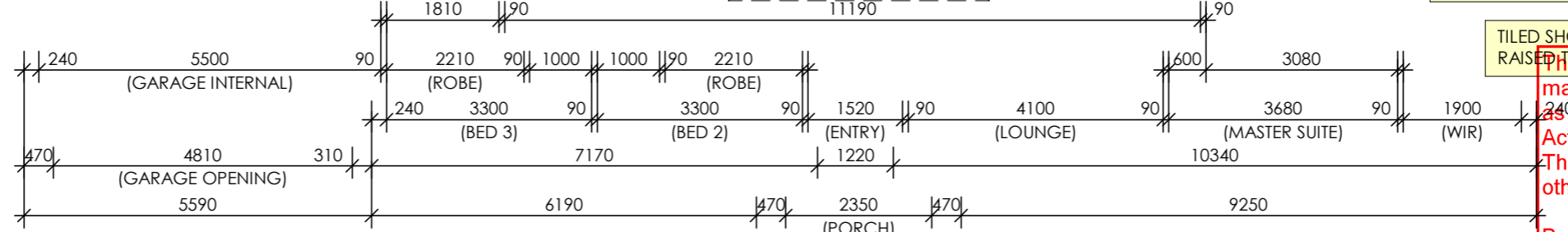
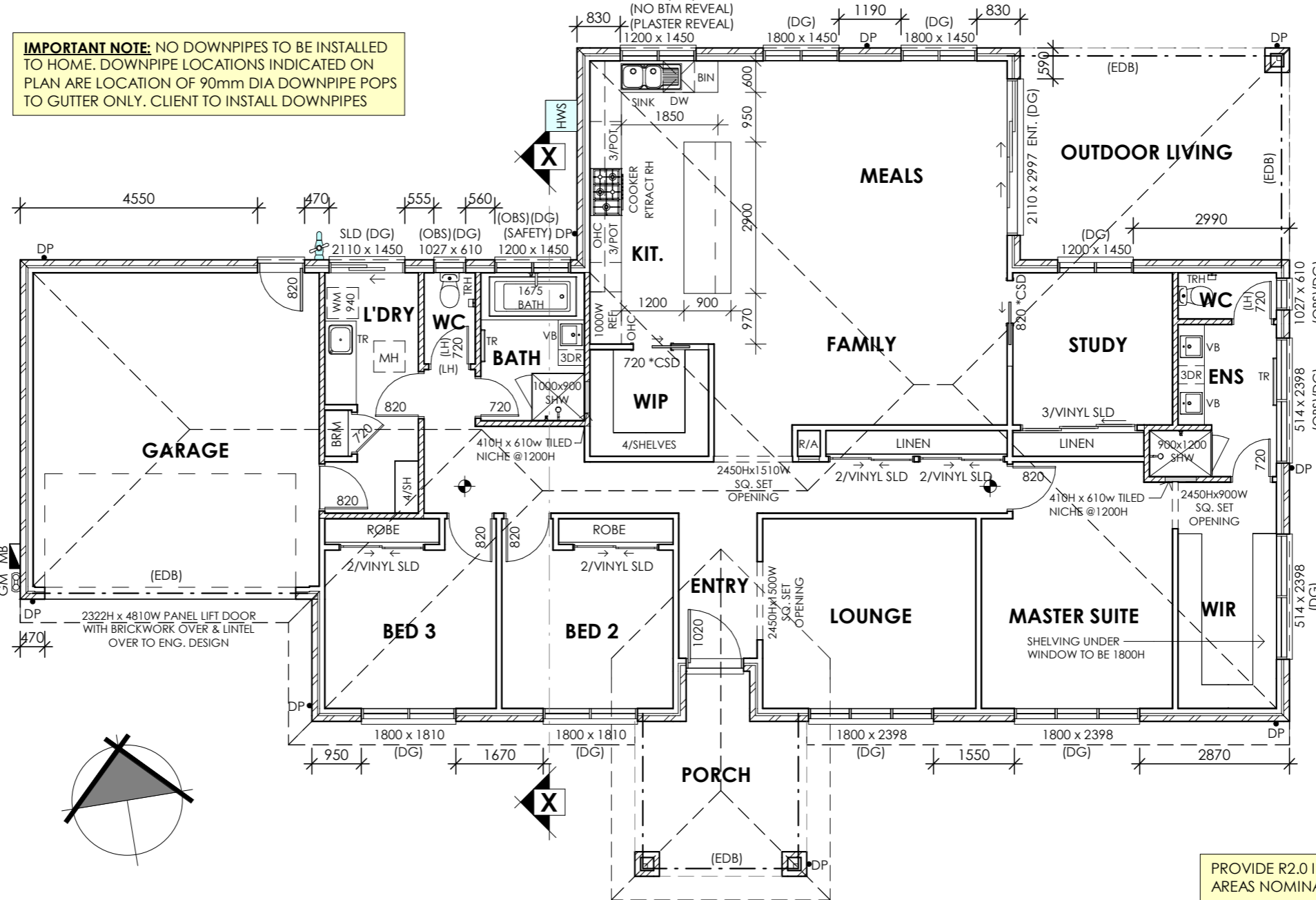
MASTER DATE: 19.05.21
CHECKED: TLG
OF: 09



AREAS TABLE		
AREA	m2	SQ
GROUND FLOOR	197.90 m ²	21.30
SUB TOTAL:	197.90 m ²	21.30
OUTDOOR LIVING	20.95 m ²	2.26
GARAGE	37.31 m ²	4.02
PORCH	10.94 m ²	1.18
SUB TOTAL:	69.20 m ²	7.45
GRAND TOTAL:	267.10 m²	28.75



IMPORTANT NOTE: NO DOWNPIPES TO BE INSTALLED TO HOME. DOWNPIPE LOCATIONS INDICATED ON PLAN ARE LOCATION OF 90mm DIA DOWNPIPE POPS TO GUTTER ONLY. CLIENT TO INSTALL DOWNPIPES



- GENERAL NOTES**
- WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER DIMENSIONS AS SHOWN ON DRAWING
 - BUILDER MAY ADJUST GARAGE DOOR HEIGHT ON SITE AS REQUIRED
 - UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
 - * EXTERNAL 240mm = 110 BRICK, 40 CAVITY, 90 STUD
 - * INTERNAL 90mm STUD
 - ALL INTERNAL DOORS TO BE 2040H (2340H NOTED WITH ASTERISK -*)
 - PROVIDE REMOVABLE HINGES TO HINGED WC & POWDER ROOM DOORS WHERE INDICATED (LH)
 - PROVIDE WEATHER STRIPS TO FRONT ENTRY DOOR
 - 600x600 CEILING ACCESS MANHOLE LOCATION
 - SMOKE DETECTOR (INTERCONNECTED WITH BATTERY BACKUP)
 - CEILING EXHAUST FAN SWITCHED/COMBINED WITH LIGHT
 - ENGINEER DESIGNED BEAM - (EDB)
 - DOUBLE GLAZING - (DG)
 - BRICKWORK ARTICULATION JOINT
 - EXTERNAL PLUMBING POINTS TO PLUMBER'S DISCRETION
 - SAFETY GLASS WHERE WINDOW IS WITHIN 2m OF SHR/BATH BASE
 - BIB TAP RECYCLED TAP
 - GAS METER - 1m CLEARANCE TO OPENINGS & IGNITION SOURCES
 - HWS WATER SERVICE TO BE 500mm CLEAR OF BLDG OPENINGS

PROVIDE R2.0 INSULATION TO WET AREAS NOMINATED AS:

TILED SHOWER BASE WITH 60MM RAISED TILED UP TO ALL SHOWERS

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DRAWING TITLE:
GROUND FLOOR PLAN

ISSUE DATE: 07.09.21
SCALE: 1 : 100
MASTER DATE: 19.05.21

DATE: _____
SIGNED OWNER: _____
SIGNED BUILDER: _____

CLIENT: SOMERLONG PTY LTD
SITE ADDRESS: 85, CATHCART ROAD LONGWARRY, 3816

ISSUED BY: JG
CHECKED: TLG
SHEET NO: 03 OF: 09

433 Princes Hwy
Officer VIC 3809
Ph: 9095 8000
Fax: 9095 8010
info@sjdhomes.com.au

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PROPOSED:
HOUSE & GARAGE

HOUSE TYPE:
MONTROSE 281 - LH

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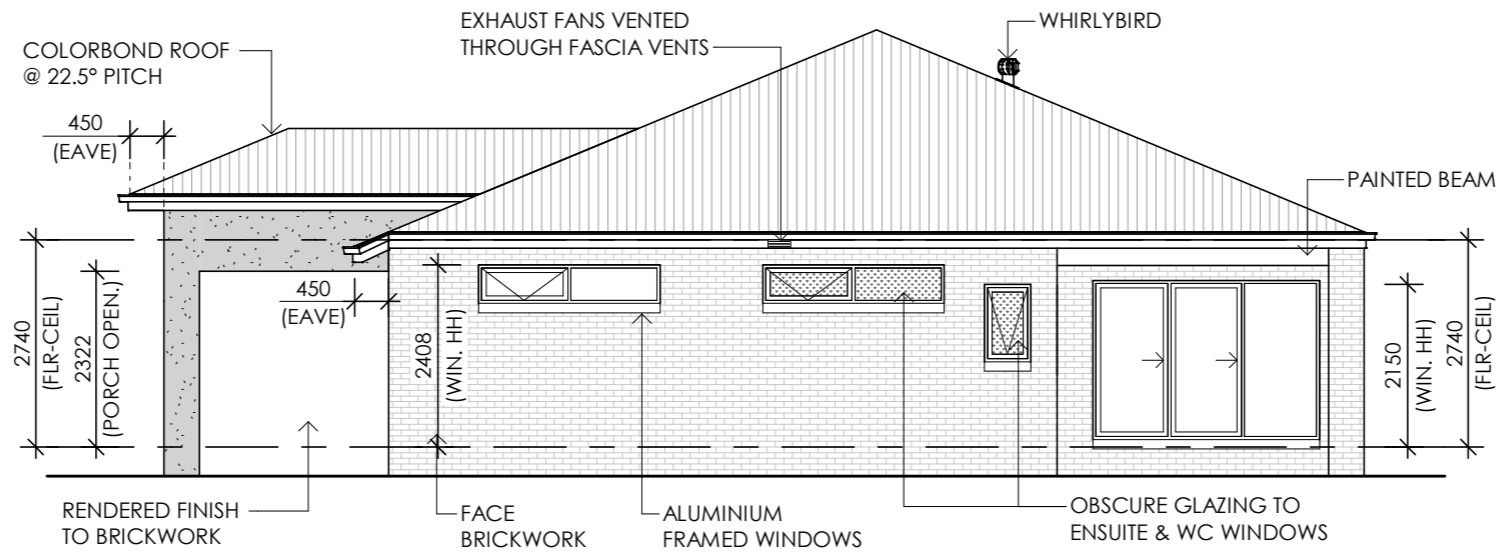
SITE ADDRESS:
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EXTERNAL DOOR THRESHOLDS:

THRESHOLDS OF EXTERNAL DOORS TO BE NO GREATER THAN 230mm ABOVE THE ADJOINING SURFACE

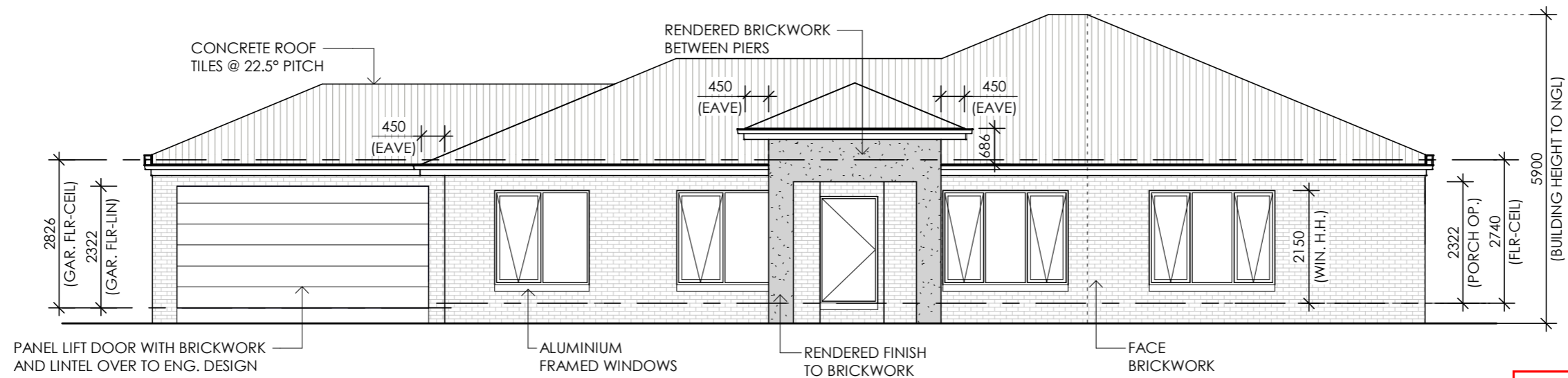
Advertised



 RENDERED BRICKWORK

ELEVATION A - EAST

1 : 100



ELEVATION B - SOUTH

1 : 100

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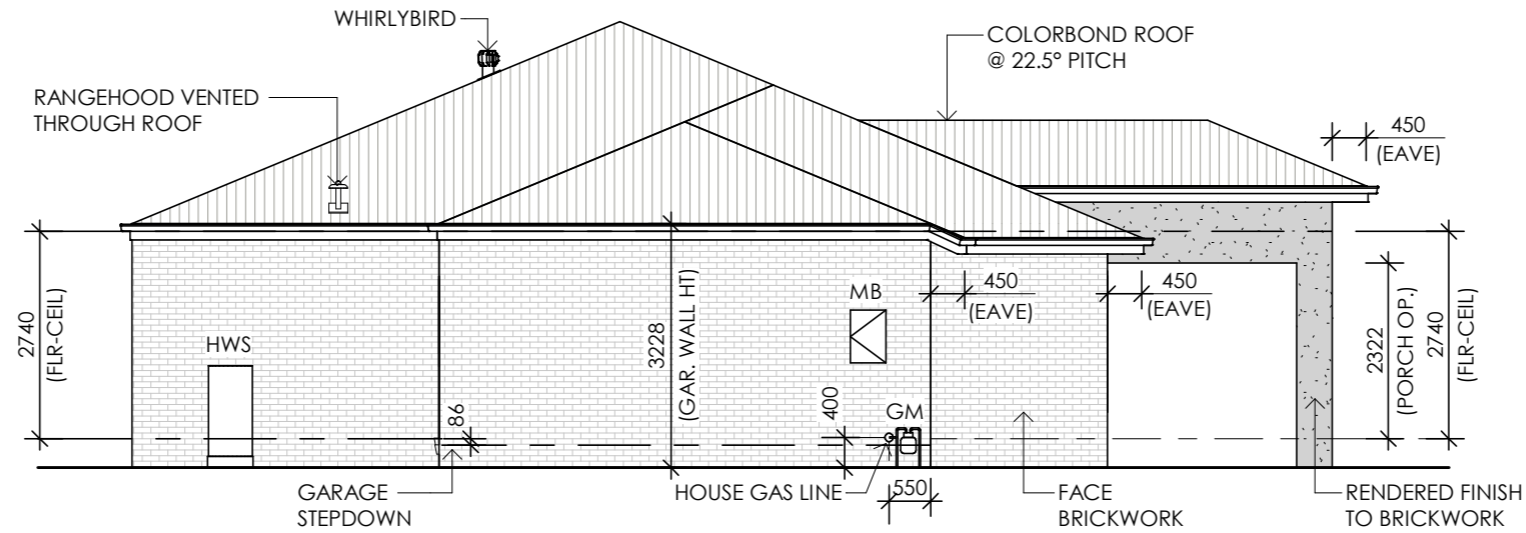
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DRAWING TITLE: ELEVATIONS	
ISSUE DATE: 07.09.21	MASTER DATE: 19.05.21
SCALE: 1 : 100	
DRAWN: JG	CHECKED: TLG
SHEET NO: 04	OF: 09

EXTERNAL DOOR THRESHOLDS:

THRESHOLDS OF EXTERNAL DOORS TO BE NO GREATER THAN 230mm ABOVE THE ADJOINING SURFACE

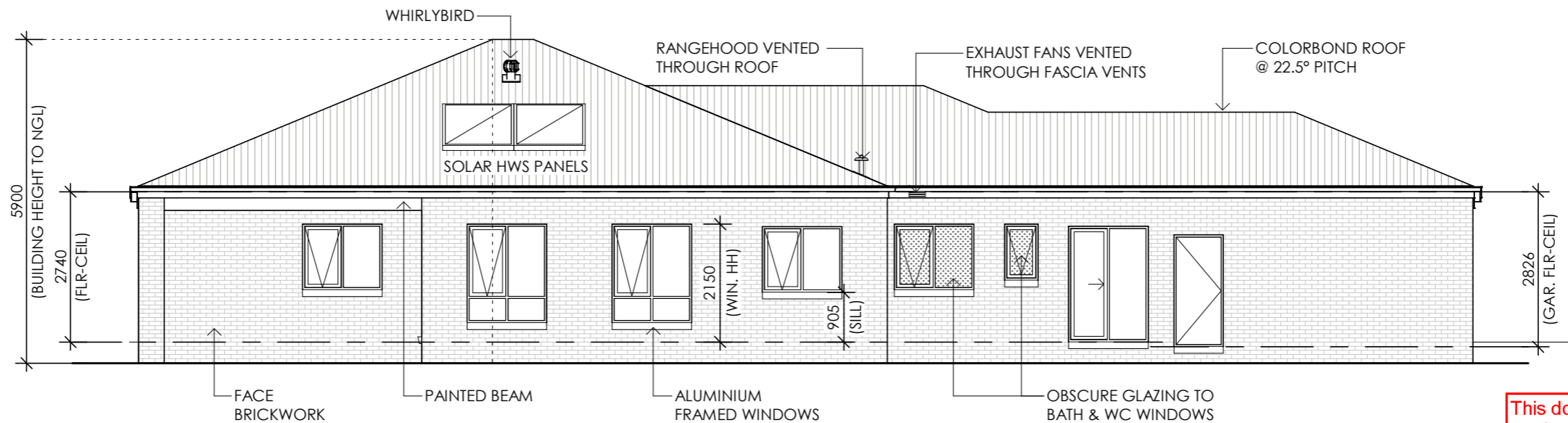
Advertised



RENDERED BRICKWORK

ELEVATION C - WEST

1 : 100



ELEVATION D - NORTH

1 : 100

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HOUSE TYPE:
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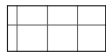
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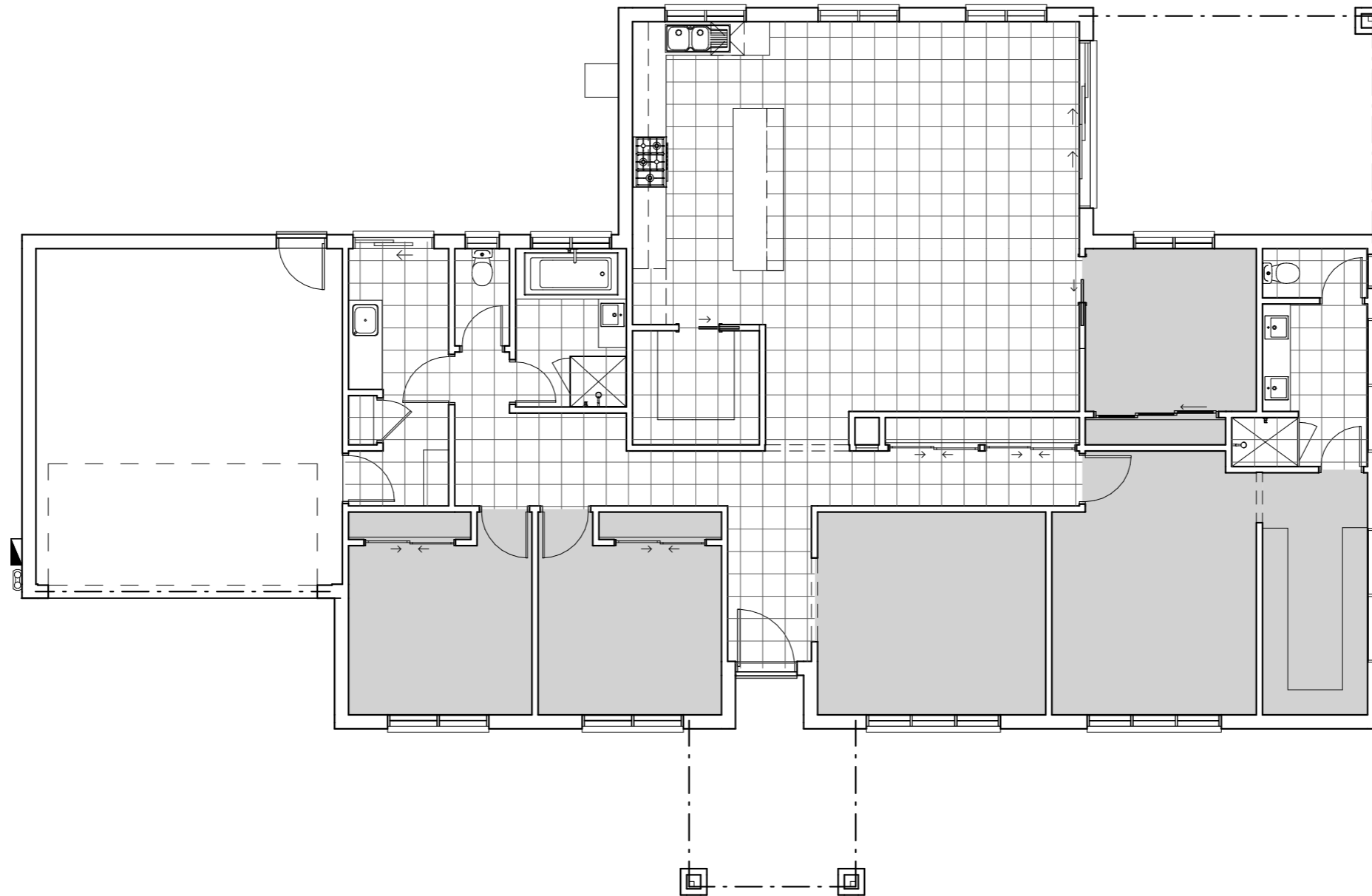
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ISSUE DATE: 07.09.21	MASTER DATE: 19.05.21
SCALE: 1 : 100	
DRAWN: JG	CHECKED: TLG
SHEET NO: 04A	OF: 09

FLOOR COVERINGS LEGEND

	CARPET
	TILES

FLOOR COVERINGS

FLOOR FINISH	AREA m2
CARPET	72.69 m ²
TILES	95.64 m ²



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LONGWARRY, 3816**

DRAWING TITLE: FLOOR COVERINGS	
ISSUE DATE: 07.09.21	MASTER DATE: 19.05.21
SCALE: 1 : 100	CHECKED: TLG
DRAWN: JG	SHEET NO: 07 OF: 09

DEVELOPER APPROVAL

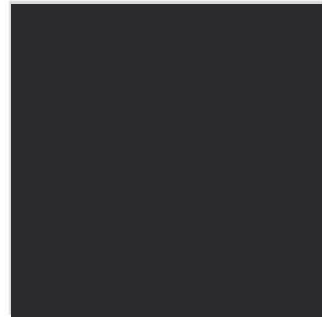
ADDRESS: 85 CATHCART ROAD, LONGWARRY



BRICKS
Austral Indulgence
Range - Tapas



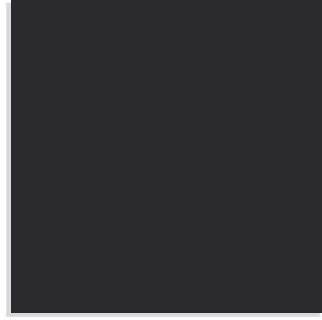
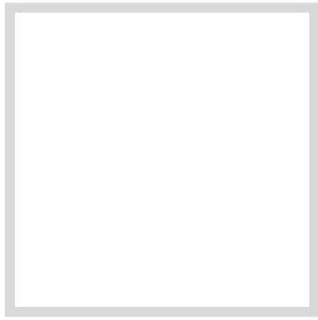
WINDOW FRAMES
Colorbond - Monument



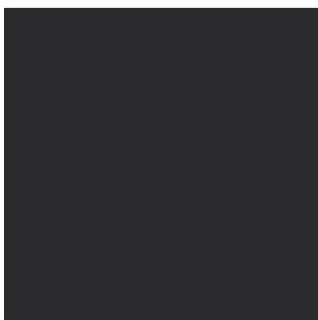
ROOF
Colorbond - Monument



RENDER
- Monument



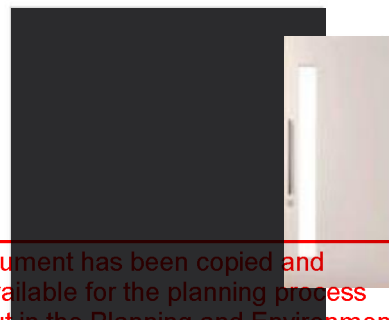
GUTTERS/DOWNPipes
Colorbond - Monument



FASCIAS
Colorbond - Monument



GARAGE
Colorbond - Monument
Style - Tuscan



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FRONT DOOR
Colorbond - Monument
PMAD 101