



Application for a Planning Permit

Section 1: LAND DETAILS

| | | |
|------------------------|---------------------------|------------------------------------|
| Unit Number: | Street Number: 110 | Street Name: Hillbicks Road |
| Town: Trafalgar | Postcode: 3825 | |

FORMAL LAND DESCRIPTION (Please complete either A or B – this information can be found on the Certificate of Title)

Option A:

| | | | |
|-----------------------------|-------------------------------------|-------------------------------------|---|
| Lot No: | 1 | | |
| Type of Plan: Please tick ✓ | Lodge Plan <input type="checkbox"/> | Title Plan <input type="checkbox"/> | Plan of Subdivision <input checked="" type="checkbox"/> |
| Plan Number: | 636153C | | |

Option B:

| | |
|-------------------------|--|
| Crown Allotment Number: | |
| Section Number: | |
| Parish/Township Name: | |

Section 2: PERMIT APPLICANT

| | | | | |
|-------------------|--|-----|-----------|-------------|
| Name: | Joey Whitehead on behalf of Geoff Battley | | | |
| Business: | Beveridge Williams P/L | | | |
| Postal Address: | PO Box 58 | | | |
| | Warragul | | Postcode: | 3820 |
| Telephone No. (H) | | (W) | | (M) |
| Email Address: | whiteheadj@bevwill.com.au | | | |

Section 3: OWNER DETAILS (If different to the Applicant)

| | | | | |
|-------------------|-----------------------------------|-----|-----------|-------------|
| Name(s): | HALLMONT PTY LTD | | | |
| Postal Address: | 1/4 MONASH ROAD NEWBOROUGH | | | |
| | | | Postcode: | 3825 |
| Telephone No. (H) | | (W) | | (M) |
| Email Address: | battley@dcsl.net.au | | | |

Section 4: DEVELOPMENT COST - Estimated Cost of development for which the permit is required

| |
|------------------|
| \$438,000 |
|------------------|

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Section 5: PROPOSAL You must give full details of the proposal being applied for. Insufficient or unclear information will delay your application..

Advertised

For what use, development or other matter do you require a permit?

Development:

| | |
|--|--|
| <input type="checkbox"/> Advertising Signage | <input type="checkbox"/> Development of 2 or more dwellings Qty: <input style="width: 50px;" type="text"/> |
| <input type="checkbox"/> Agricultural Outbuildings | <input type="checkbox"/> Mixed Use Development and Reduction of Carparking |
| <input type="checkbox"/> Buildings and Works and Reduction in Carparking | <input type="checkbox"/> Residential Outbuildings |
| <input type="checkbox"/> Commercial or Industrial Buildings and Works | <input type="checkbox"/> Single Dwelling |
| <input type="checkbox"/> Extension / Alteration to Dwelling | <input type="checkbox"/> Telecommunications |

Use:

| | |
|---|---|
| <input type="checkbox"/> Buildings and Works and Change of Use | <input type="checkbox"/> Home Based Business |
| <input type="checkbox"/> Change of Use | <input type="checkbox"/> Sale and Consumption of Liquor |
| <input checked="" type="checkbox"/> Change of Use and Single Dwelling | |

Subdivision:

| | |
|--|---|
| <input type="checkbox"/> Boundary Realignment | <input type="checkbox"/> 3 or more Lot Subdivision Qty: <input style="width: 50px;" type="text"/> |
| <input type="checkbox"/> Variation/ Removal of Restriction | <input type="checkbox"/> Create an easement |
| <input type="checkbox"/> 2 Lot Subdivision | <input type="checkbox"/> 100 or more Lot Subdivision Qty: <input style="width: 50px;" type="text"/> |

Subdivision / Vegetation Removal:

| | |
|---|--|
| <input type="checkbox"/> Native Vegetation Removal or Lopping | <input type="checkbox"/> Non Native Vegetation Removal or Lopping (ESO4) |
| <input type="checkbox"/> Subdivision Qty: <input style="width: 50px;" type="text"/> | <input type="checkbox"/> Alteration of access RDZ1 |

Other:

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, Section 173 agreement or other obligation such as an easement or building envelope?

- Yes No Not Applicable (no such covenant, section 173 agreement or restriction applies)

If yes, you should contact Council for advice as to how to proceed with the application.

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FURTHER DETAILS OF PROPOSAL (optional)

| | |
|---|---|
| Use and develop the land for a dwelling | <p style="color: red; font-weight: bold;">The information must not be used for any other purpose.</p> <p style="color: red; font-weight: bold;">By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p> |
|---|---|

Section 6: EXISTING CONDITIONS Describe how the land is used and developed now.

Advertised

Provide a plan of the existing conditions. Photos are also helpful.

Land containing a disused dwelling and concrete tank

Section 7: PRE-APPLICATION MEETING Has there been a Pre-Application meeting with a Council Planning Officer?

| | | |
|-----|-------------------------------------|----------------------|
| No | <input checked="" type="checkbox"/> | |
| Yes | <input type="checkbox"/> | If yes, with whom? |
| | | Date of this meeting |

Section 8: DECLARATION This form must be signed. Complete box A or B

| | | |
|---|--|-------------------|
| A. I declare that I am the Applicant and all information given is true and correct. | Applicant signature: <i>J Whitehead</i> | 29-06-21 Date: |
| B. I/We the Applicant declare that I/We have notified the owner about this application and that all information given is true and correct. | Applicant Signature: <i>J Whitehead</i> | 29-06-21 Date: |

CHECK LIST Please ensure you have included the following items with your application form. *Failure to provide all the information above may result in a delay in the processing of the application.*

- A fully completed and signed copy of this form.
- The application fee (if not already paid). Most applications require a fee to be paid.
- Contact Council to determine the appropriate fee.
- Full and current copy of title and title plan (no older than 60 days) for each individual parcel of land forming the subject site. The title includes: the covering register search statement, the title plan and the associated title documents (known as instruments).
- Provided plans showing the layout and details of the proposal
- Provided any information required by the planning scheme, requested by Council
- Provided a description of the likely effect of the proposal (if required)
- Completed the declaration in Section 8
- Provided a contact phone number and e-mail address

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PLEASE FORWARD THIS APPLICATION TO

| | | | |
|-------------------|---------------------------------|------------------------|---|
| E-mail: | planning@bawbawshire.vic.gov.au | Mail: | Planning Department, Baw Baw Shire Council PO Box 304 Warragul VIC 3820 |
| Phone: | 5624 2411 | | |
| In Person: | Customer Service Centres | 1 Civic Place Warragul | OR 33 Young Street Drouin |

The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application.

These third parties generally include, but are not limited to:

Transport Infrastructure Agencies such as VicRoads and VLine

Energy/Utilities Providers

Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

All information collected and held by Council is managed in accordance with Councils Privacy Policy which is available on our website. If you choose not to supply the requested information it may impair the ability of Council to consider your application or prevent Council from communicating with you in relation to your application.

If you have any concerns or require access to the information held by Council, please contact us on 5624 2411.

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GENERAL NOTES:

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER PLANS, ENGINEERING, STANDARD INCLUSIONS, SPECIFICATIONS, COMPUTATIONS, SOIL REPORTS AND LOCAL COUNCIL CONDITIONS OR LOCAL LAWS. ANY DISCREPANCY SHALL BE REFERRED TO THE BUILDER BEFORE PROCEEDING WITH WORKS.

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY SCALED PLAN. PLANS MUST NOT BE SCALED OFF.

THE OWNER/BUILDER/CONTRACTOR SHALL VERIFY ALL DIMENSIONS & SPECIFICATIONS PRIOR TO THE COMMENCEMENT OF WORKS.

THE BUILDER/CONTRACTOR SHALL VERIFY ALL LEVELS, SETBACKS & SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO NATIONAL CONSTRUCTION CODE OF AUSTRALIA (NCC 2019), CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS. ANY DISCREPANCY SHALL BE CONFIRMED WITH BUILDING SURVEYOR.

NOTE: THE GARAGE OF THIS HOUSE HAS AN 86mm STEPDOWN. LANA/C.O.A. & PORCH HAVE A 172mm STEPDOWN. (REFER TO FLOOR PLAN).

THESE AREA/S NEED TO BE CUT INTO THE BUILDING PLATFORM APPROX 100mm TO ACHIEVE THE STEPDOWN AND 150mm MINIMUM FREEBOARD.

- AGGIE PIPE
- SP SILT PIT
- LPOD LEGAL POINT OF STORMWATER DISCHARGE
- 90mm DIA UPVC S.W.D. LAID AT 1:100 (100mm DIA UNDER SLAB AND/OR PAVED AREAS)
- BUILDING ENVELOPE
- STORMWATER PIPE
- SEWER PIPE

NOTE: CONTOURS SHOWN AT 200MM INTERVALS

NOTE: PROVIDE CUT OFF DRAIN AT BASE OF EXCAVATION TO BECONNECTED TO STORMWATER DRAIN SYSTEM VIA SILT PIT.

CLEAN SITE - PRIOR TO COMMENCEMENT
NOTE: OWNER IS TO PROVIDE A BUILDING SITE CLEAR OF ALL OBSTRUCTIONS, INCLUDING LONG GRASS, MOUNDS OF SOIL, DEBRIS ETC PRIOR TO COMMENCEMENT OF CONSTRUCTION. SHOULD ADDITIONAL WORKS BE REQUIRED BY BUILDER TO CLEAR THE SITE, ANY ASSOCIATED COST WILL BE CHARGED TO THE OWNER BY POST CONTRACT VARIATION.

TREE ROOT BARRIERS
NOTE: IT IS THE OWNERS RESPONSIBILITY (AND NOT FAIRHAVEN HOMES PTY LTD) TO MONITOR TREES AS THEY DEVELOP AND WHERE NECESSARY EITHER REMOVE TREES OR PLACE TREE ROOT BARRIERS WHERE THE TREE HEIGHT IS GREATER THAN 0.75 X THE DISTANCE BETWEEN THE TREE AND THE HOUSE. FAIRHAVEN RECOMMENDS THAT THE OWNER CONSULT AN ARBORIST TO APPROPRIATELY CLASSIFY EACH TREE, DETERMINE ITS ROOT STRUCTURE, AND DETERMINE IF THE HOUSE FOUNDATIONS ARE AT RISK. PLEASE ALSO REFER TO THE CSIRO "FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE: A HOMEOWNER'S GUIDE" PROVIDED AS PART OF YOUR CONTRACT DOCUMENTATION.

SOIL:

THE BUILDER/CONTRACTOR SHALL ENSURE THE SOIL CLASSIFICATION AS SPECIFIED IN THE SOIL REPORT IS PRESENT ONSITE DURING EXCAVATIONS. ANY VARIATIONS SHALL BE NOTIFIED TO THE DESIGNER AND/OR TO THE SOIL ENGINEER.

CONCRETE:

CONCRETE SHALL BE AS NOMINATED ON ENGINEERING PLANS & SPECIFICATIONS. ALL WORKMANSHIP SHALL BE IN ACCORDANCE WITH AS3600, ENGINEERING DOCUMENTATION TAKES PRIORITY OVER ANY DETAILED/DRAWN FOUNDATIONS ON ARCHITECTURAL PLANS. FOOTINGS ARE NOT TO ENCROUGH TITLE BOUNDARIES OR EASEMENT. A TITLE RE-ESTABLISHMENT SURVEY MAY BE NEEDED FOR WORKS NEAR EXISTING STRUCTURES ON THE BOUNDARY.

ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEERS OFFICE FOR CLARIFICATION TO ENSURE ITS ACCURACY AND ANY REVISIONS OR RECTIFICATION WORKS CAN BE COMPLETED PRIOR TO THE POURING OF THE CONCRETE SLAB.

DRAINAGE:

ALL STORMWATER DRAINAGE SHALL DISCHARGE TO THE LEGAL POINT OF DISCHARGE AS SPECIFIED BY LOCAL COUNCIL BUILDING AUTHORITY OR THE DRAINAGE AUTHORITY. ALL WATER SHALL BE DIRECTED AWAY FROM FOUNDATIONS AT A MINIMUM 50mm FALL OVER 1M IN ACCORDANCE WITH AS2870-2011.

TIMBER:

ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF AS1684-2010 RESIDENTIAL TIMBER FRAMED CONSTRUCTION. CURRENT VICTORIAN MANUALS AND OTHER DESIGN TABLES DEEMED TO COMPLY WITH THE NCC. ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2018, THE NATIONAL CONSTRUCTION CODE AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.

WATERPROOFING:

WATERPROOFING SHALL BE INSTALLED IN ACCORDANCE WITH AS3740 & CERTIFICATE PROVIDED TO BUILDER UPON COMPLETION.

BRICKWORK:

BRICKWORK LINTELS TO SUPPORT EXTERNAL BRICK SKINS OF WALLS TO THE BUILDING. LINTELS TO BE PLACED WITH THE LARGER SIDE VERTICAL AND SHALL BE FULLY SUPPORTED UNTIL MORTAR HAS SET. ALL STEELWORK IN MASONRY TO BE HOT DIPPED GALVANISED. WALL TIES ARE TO BE INSTALLED AT 300mm SPACINGS BOTH HORIZONTAL & VERTICAL AND WITHIN 300mm OF ARTICULATION JOINTS

ARTICULATION JOINTS:

ARTICULATION (EXPANSION) JOINT SPACING SHALL BE IN ACCORDANCE WITH AS4773.1-2015, AS4773.2-2015 & INSTALLED AS DESIGNED & DOCUMENTED BY THE ENGINEER

TERMITE TREATMENT:

ALL PROPOSED BUILDINGS AND WORKS SHALL BE PROTECTED FROM TERMITE ATTACK IN ACCORDANCE WITH AS 3660.1. A DURABLE NOTICE SHALL BE PLACED IN THE METERBOX INDICATING THE TREATMENT METHOD USED, INSPECTION PERIODS & CONTINUED TREATMENT REQUIREMENTS.

SERVICES:

ELECTRICAL, GAS & WATER SHALL BE PROVIDED IN ACCORDANCE WITH THE RELEVANT SUPPLY AUTHORITY. ALL SERVICES TO COMPLY WITH NCC 2019 PART 3.12.5.

SMOKE ALARMS:

PROVIDE INTERCONNECTED CEILING MOUNTED SMOKE DETECTORS DIRECT WIRED TO MAINS POWER 0.3M CLEAR OF CORNERS OR WALL AND CEILING JUNCTIONS IN ACCORDANCE WITH AS3786. SELF CONTAINED SMOKE ALARMS MUST COMPLY WITH NCC 2019 PART 3.7.5.2.

COASTAL AREAS:

ALL CONSTRUCTION MATERIALS SUPPLIED MUST TAKE INTO ACCOUNT PROXIMITY TO COASTAL OR INDUSTRIAL ENVIRONMENTS. IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. MATERIALS MAY NEED TO BE UPGRADED AT OWNERS COST TO COMPLY PROXIMITY GUIDELINES. INCLUDING AND NOT LIMITED TO THE SEALING OF EXPOSED STEELWORK PREVENTING OF CORROSION OR RUST. UPGRADED BRICK-TIES AND ADDITIONAL SEALANTS TO PREVENT INGRESS.

WINDOWS:

PROVIDE PROTECTION OF OPENABLE WINDOWS WHERE REQUIRED TO COMPLY WITH N.C.C. 3.9.2.6 UPPER FLOOR HABITABLE ROOM WINDOWS TO BE RESTRICTED TO 125mm MAX. OPENABLE

PROVIDE GRADE 'A' SAFETY GLAZING TO THE FOLLOWING AREAS:
-ALL ROOMS WITHIN 500mm VERTICAL THE FLOOR
-BATHROOMS WITHIN 2m OF BATH BASE
-FULLY GLAZED DOORS
-SHOWER SCREENS
-WITHIN 300mm OF A DOOR <1200mm ABOVE FLOOR LEVEL
-WINDOW SIZES ARE NOMINAL ONLY ACTUAL SIZES WILL VARY

GUTTERS & DOWNPIPES:

GUTTERS & DRAINAGE TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS3500.3. SPREADERS ARE TO COLLECT A MAX. 15SQM OF ROOF SPACE IN ACCORDANCE WITH SA HB 39:2015 PART 5.7.7. STANDARD PROFILE FASCIA & GUTTER AS PER BUILDERS STANDARD INCLUSIONS AND SPECIFICATION UNLESS UPGRADED OTHERWISE.

STAIRS/STEPS:

GOING = 240mm MIN. & 355mm MAX.
RISER = 115mm MIN. & 190mm MAX.
HANDRAIL HEIGHT = 865MM ABOVE NOSINGS AND = 1000MM ABOVE LANDING

BALUSTRADING REQUIRED WHERE LANDING EXCEEDS 1000MM ABOVE ADJACENT FINISHED GROUND SURFACE
BALUSTERS - 125MM MAX GAPS
STAIR CONSTRUCTION TO COMPLY WITH NCC PART 3.9.1. ALL STAIR TREADS TO HAVE SLIP RESISTANT FINISH IN ACCORDANCE WITH NCC 3.9.1.4

PROVIDE LOCALISED BACKFILL TO POINTS OF EGRESS WHERE REQUIRED TO ACHIEVE REQUIRED STEP HEIGHT (MAX RISE 190MM)

ENERGY EFFICIENCY:

THERMAL WALL, CEILING & UPPER FLOOR INSULATION TO BE INSTALLED AS REQUIRED BY ENERGY RATING. DWELLING MUST ACHIEVE A MINIMUM OF 6 STAR RATING & MUST INCORPORATE A SOLAR HOT WATER SERVICES OR WATER TANK (AS DETERMINED BY BUILDER) TO COMPLY.

WET AREAS:

ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 AND AS3740. SPLASHBACKS SHALL BE IMPERVIOUS FOR A MINIMUM OF 150mm ABOVE SINKS, TROUGHS & BASINS WITHIN 75mm OF A WALL.

EXPOSED STEEL:

ALL EXTERNAL STEEL TO BE HOT DIP GALVANISED. EXPOSED STEEL WITHIN A SURF COAST ENVIRONMENT TO BE TREATED WITH REQUIREMENT OUTLINED AS PER SECTION 5 DESIGN FOR DURABILITY OF AS3700-2018.

PLIABLE BUILDING MEMBRANE:

WALL SISALATION TO BE A VAPOUR PERMEABLE MEMBRANE TO COMPLY WITH AS4200.1 AND INSTALLED PURSUANT TO AS4200.2

EXHAUST FANS:

ALL EXHAUST FANS TO HAVE A MINIMUM FLOW RATE OF 40L/s. EXHAUST FANS TO BE DUCTED TO THE EXTERNAL WALL OR THROUGH THE ROOF SPACE DIRECTLY TO A ROOF VENT. NO FANS TO DISCHARGE DIRECTLY INTO THE ROOF SPACE. (APPLICABLE TO JOBS ISSUED UNDER NCC 2019)

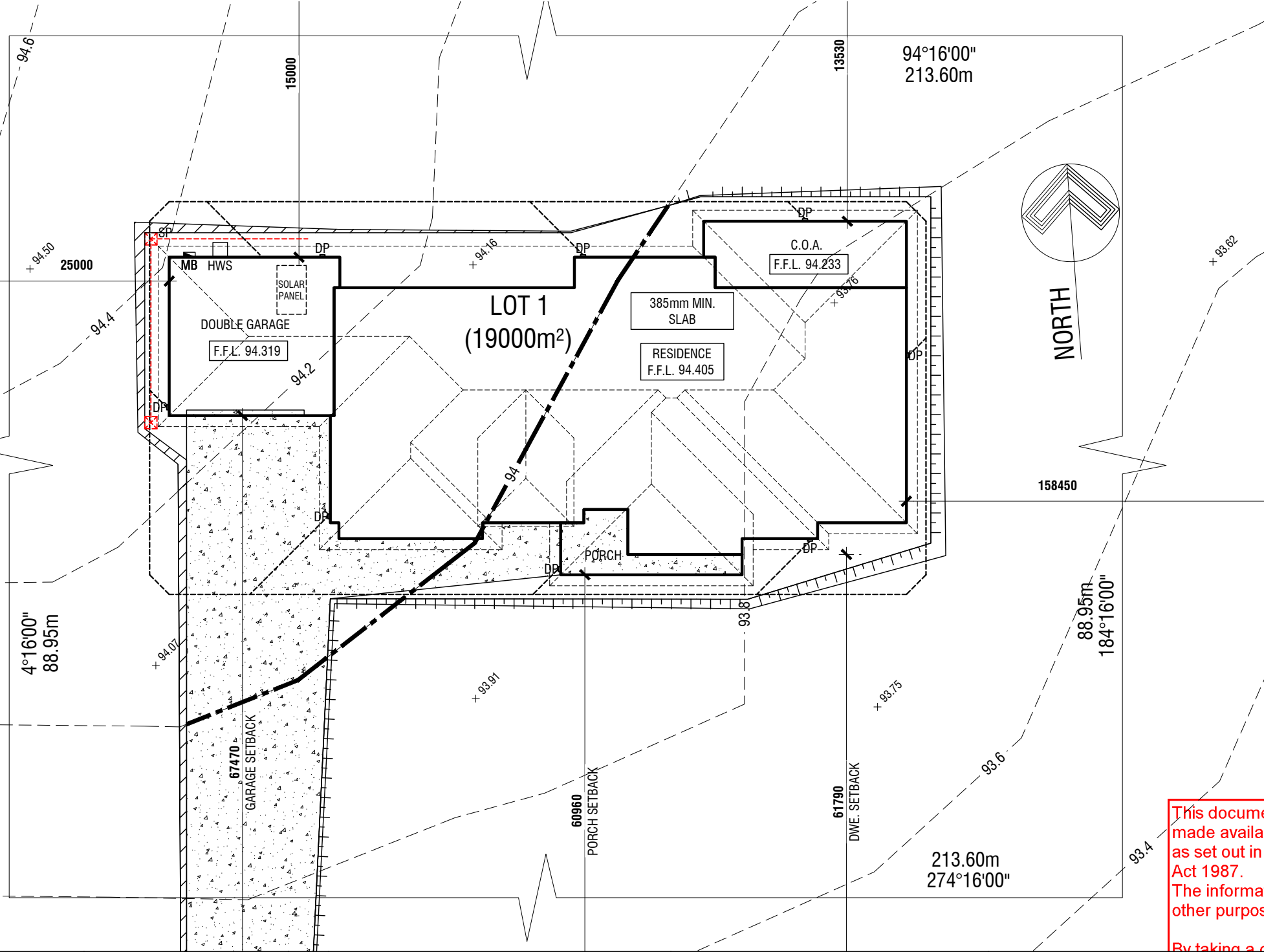
ANTI-PONDING DEVICE/BOARDS:

ANTI-PONDING DEVICE/BOARDS TO BE INSTALLED PURSUANT TO CLAUSE 3.5.2.5 NCC 2019. ALTERNATIVELY, AN ANTI-PONDING DEVICE/BOARD MUST BE PROVIDED -

- (A) ON SARKED ROOFS WITH A PITCH LESS THAN 20 DEGREES; AND
- (B) ON ALL ROOF PITCHES WHERE THERE IS NO EAVES OVERHANG, REGARDLESS OF WHETHER SARKING IS REQUIRED.

DOWNPIPES:

LOCATION OF DOWNPIPES ARE INDICATIVE ONLY.



SOAKAGE PIT & SEWER TREATMENT
SOAKAGE PIT & SEWER TREATMENT TO BE DESIGNED BY ENGINEER.

CUT AND FILL BUILDING AREA TO: RL 94.00

| SITE ANALYSIS | |
|--|------------------------------------|
| WIND CLASSIFICATION N2 | SOIL CLASSIFICATION M |
| MAX. BATTER SLOPE RATIO (HEIGHT : LENGTH) | |
| SITE CUT - EXCAVATION 1:1 (45°) | COMPACTED FILL 1:2 (27°) |
| ZONING | |
| BAL CLASSIFICATION 12.5 | TERMITE PRONE YES |
| FLOOD PRONE NO | ALPINE AREA NO |
| AREA ANALYSIS | |
| BUILDINGS 320.39m² | PERMEABLE 18679.61m² |
| TOTAL AREA 19000m² | |
| GARDEN AREA ANALYSIS | |
| 400-500m² min. 25% | 501-650m² min. 30% |
| NOTE: GARDEN AREA DOES NOT INCLUDE DRIVEWAYS, AREAS SET ASIDE FOR CAR PARKING, OR ANY BUILDING OR ROOFED AREAS, OR ANY PATH LESS THAN 1M WIDE | |

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SITE PLAN

elegance |

Fairhaven Homes Pty Ltd - 12 Wheeler St, Berwick VIC 3806
T: (03) 9704 4000 F: (03) 9796 2033

BL No. CDB-U 48497 - ACN 149 914 750

HASTINGS 341
Retreat
LH Garage

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DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

| REV | DATE | AMENDMENT | BY |
|-----|----------|-----------------------------|------|
| A | 27/11/20 | COLOUR DRAWINGS - R6 | KIET |
| B | 19/04/21 | PRELIM. DRAWINGS - TENDER 5 | KIET |

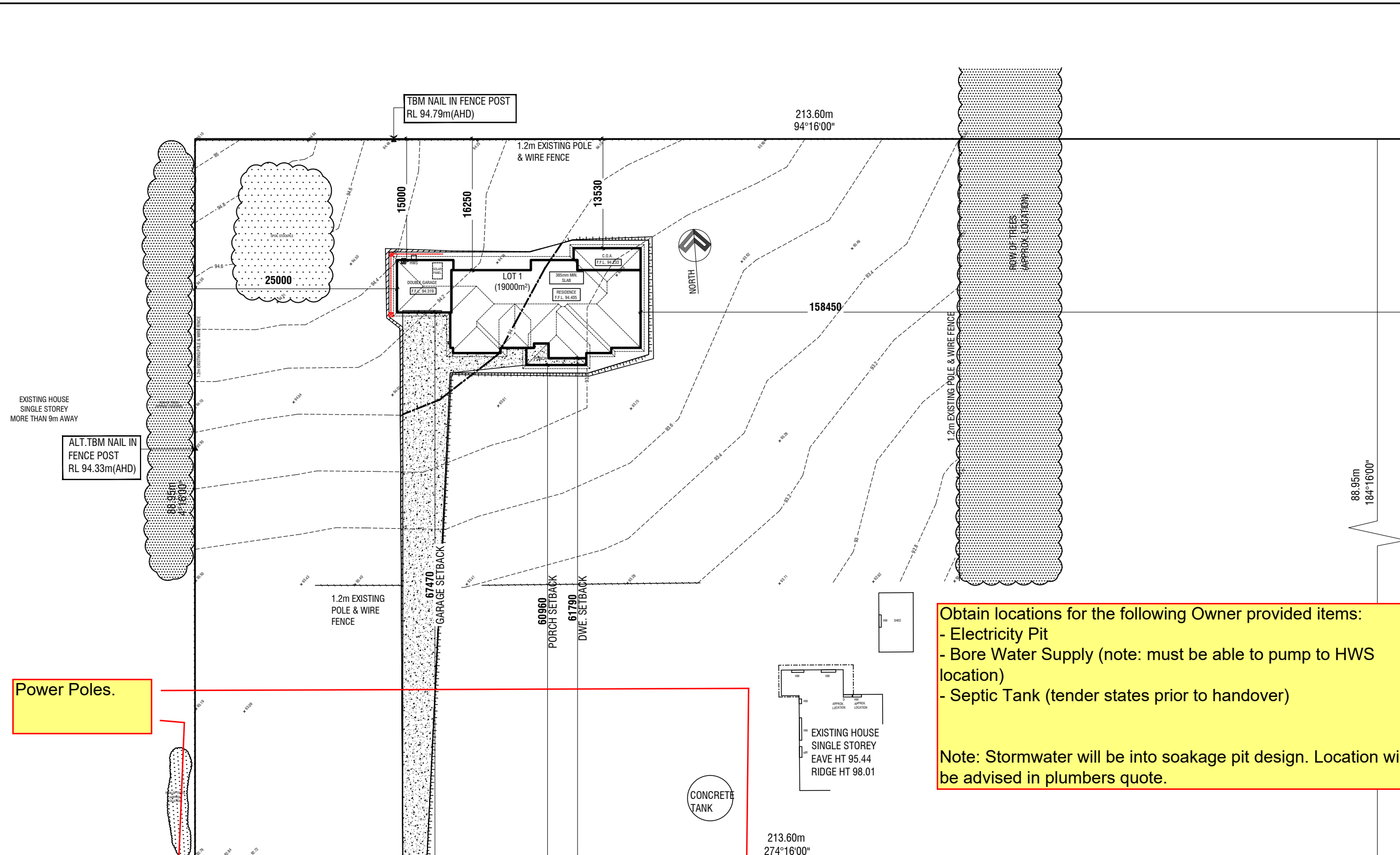
Signed BUILDER
Signed OWNER
Date:

CLIENT:
HALLMONT PTY LTD
(GEOFF BATTLE AND DIANNE KENT)

SITE ADDRESS:
LOT 1, No.110
HILLBRICKS ROAD
TRAFALGAR VIC 3824

PRELIM. DRAWINGS

| | |
|-------------------|---------------------|
| DRAWN BY KIET | DATE: 19/04/2021 |
| SCALE: | SHEET 1 OF 19 |
| JOB No: 210012 | REV: B |



Power Poles.

Obtain locations for the following Owner provided items:
 - Electricity Pit
 - Bore Water Supply (note: must be able to pump to HWS location)
 - Septic Tank (tender states prior to handover)
 Note: Stormwater will be into soakage pit design. Location will be advised in plumbers quote.

Advise Owner of possible protection works required to enable access below overhead cables.
 Note: access is almost at lowest hanging point of the overheads cables. \$TBA Less than \$3,000.
 Advised after Site Supervisor Pre-Site Inspection.

| CUT AND FILL BUILDING AREA TO: RL 94.00 | |
|---|------------------------------------|
| SITE ANALYSIS | |
| WIND CLASSIFICATION N2 | SOIL CLASSIFICATION M |
| MAX. BATTER SLOPE RATIO (HEIGHT : LENGTH) | |
| SITE CUT - EXCAVATION 1:1 (45°) | COMPACTED FILL 1:2 (27°) |
| ZONING | |
| BAL CLASSIFICATION 12.5 | TERMITE PRONE YES |
| FLOOD PRONE NO | ALPINE AREA NO |

| AREA ANALYSIS | |
|---|--------------------------------|
| BUILDINGS 320.39m² | PERMEABLE 18679.61m² |
| TOTAL AREA FOR OPENING PROPOSED 19000m² | |
| GARDEN AREA ANALYSIS | |
| 400-500m² | min. 25% |
| 501-650m² | min. 30% |
| 651-800m² | min. 35% |
| 801-950m² | min. 40% |
| 951-1100m² | min. 45% |
| 1101-1250m² | min. 50% |
| 1251-1400m² | min. 55% |
| 1401-1550m² | min. 60% |
| 1551-1700m² | min. 65% |
| 1701-1850m² | min. 70% |
| 1851-2000m² | min. 75% |

SITE PLAN

Fairhaven Homes Pty Ltd - 12 Wheeler St, Berwick VIC 3806
 T: (03) 9704 4000 F: (03) 9796 2033

| REV | DATE | AMENDMENT | BY |
|-----|----------|-----------------------------|------|
| A | 27/11/20 | COLOUR DRAWINGS - R6 | KIET |
| B | 19/04/21 | PRELIM. DRAWINGS - TENDER 5 | KIET |

| | |
|----------------|---|
| Signed BUILDER | HALLMONT PTY LTD (GEOFF BATTLE AND DIANNE KENT) |
| Signed OWNER | |
| Date: | |

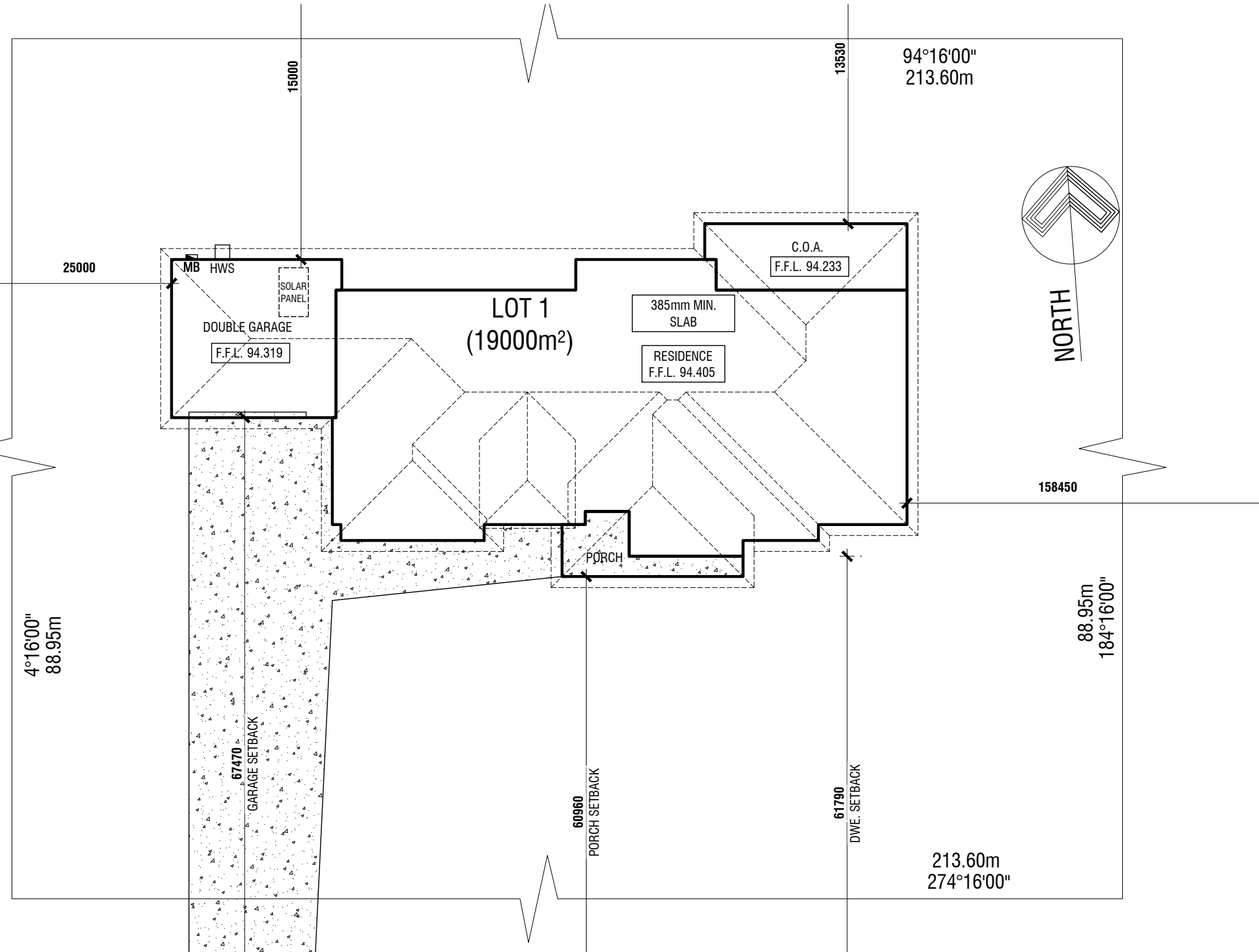
PRELIM. DRAWINGS
 DRAWN: KIET DATE: 19/04/2021
 SCALE: 1:1 SHEET: 1 OF 19
 JOB No: 210012 REV: B

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NBN PACKAGE
 PROVIDE "NBN" PACKAGE INCLUDING 1 PHONE POINT, 1 DATA OUTLET, 1 DATA POINT WITH 1 BROADCAST POINT AND ALL UNDERGROUND REQUIREMENTS.

DRIVEWAY
 OWNER TO PROVIDE 'CHARCOAL' COLOURED CONCRETE TO DRIVEWAY AND PORCH WITH 25710mm LANDSCAPE STRIP.

FENCE NOTE
 OWNER IS TO PROVIDE 1800mm HIGH TIMBER PALING FENCE TO LHS/RHS AND REAR BOUNDARIES.



SETOUT PLAN

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elegance | 

Fairhaven Homes Pty Ltd - 12 Wheeler St, Berwick VIC 3806
 T: (03) 9704 4000 F: (03) 9796 2033

BL No. CDB-U 48497 - ACN 149 914 750

HASTINGS 341
 Retreat
 LH Garage

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 # DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

| REV | DATE | AMENDMENT | BY |
|-----|----------|-----------------------------|------|
| A | 27/11/20 | COLOUR DRAWINGS - R6 | KIET |
| B | 19/04/21 | PRELIM. DRAWINGS - TENDER 5 | KIET |

Signed BUILDER

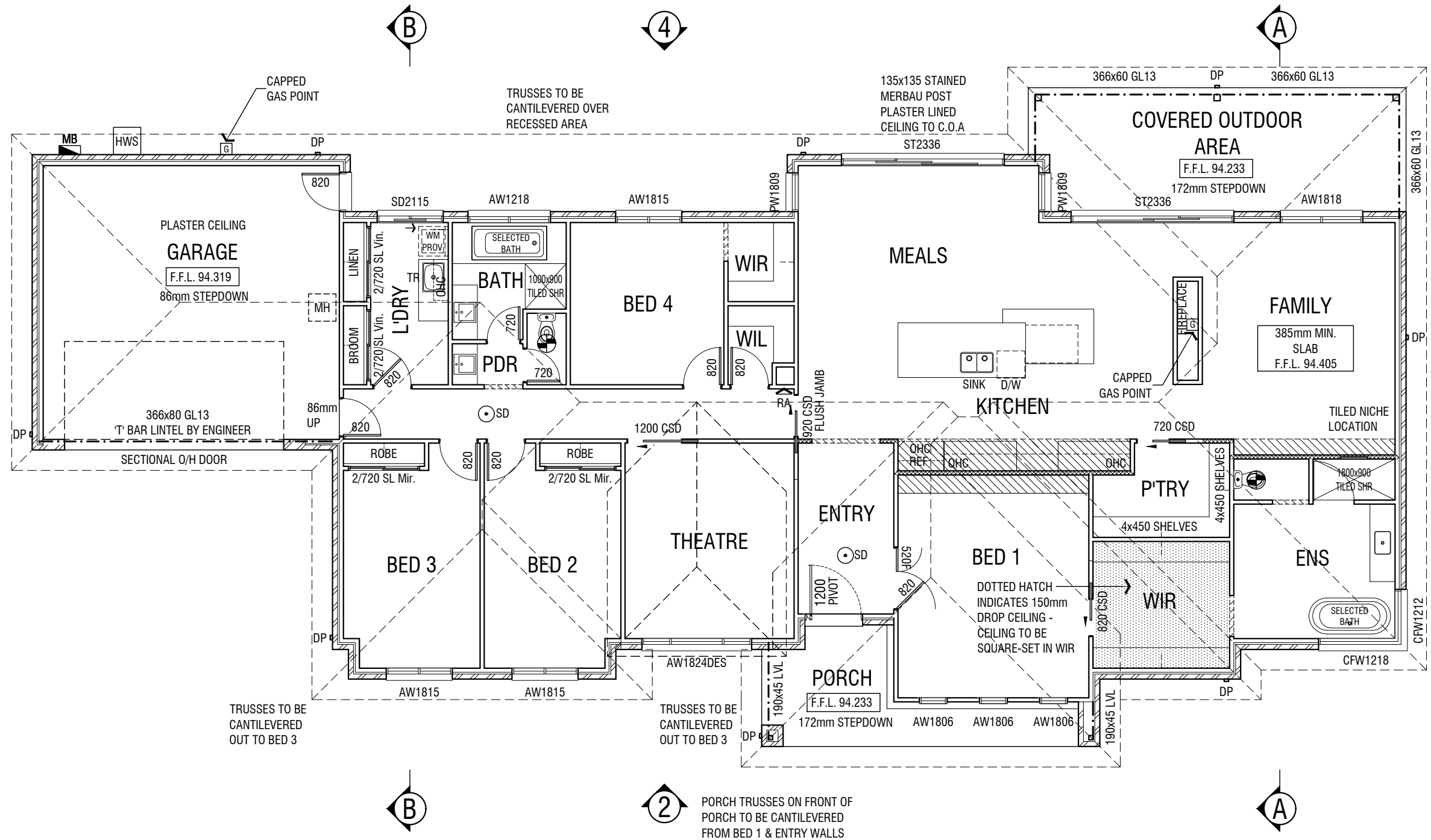
Signed OWNER

Date:

CLIENT: HALLMONT PTY LTD (GEOFF BATTLE AND DIANE KENT)

SITE ADDRESS: LOT 1, No.110 HILLBRICKS ROAD TRAFALGAR VIC 3824

| | | | |
|----------------|--------|------------------|--|
| DRAWN: KIET | | DATE: 19/04/2021 | |
| SCALE: 1:100 | | SHEET: 1B OF 19 | |
| JOB No: 210012 | REV: B | | |




GROUND FLOOR PLAN

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| | | | | | | |
|---|--|---|-----------------------------------|--|--|---|
|  | HASTINGS 341 Retreat LH Garage © ALL RIGHTS RESERVED This plan is the property of FAIRHAVEN HOMES P/L Any copying or altering of the drawing shall not be undertaken without written permission from FAIRHAVEN HOMES P/L # DIMENSIONS TO BE READ IN PREFERENCE TO SCALING | REV A DATE 27/11/20 AMENDMENT COLOUR DRAWINGS - R6 | BY KIET KIET | Signed BUILDER Signed OWNER Date: | CLIENT: HALLMONT PTY LTD (GEOFF BATTLE AND DIANNE KENT) SITE ADDRESS: LOT 1, No.110 HILLBRICKS ROAD TRAFALGAR VIC 3824 | PRELIM. DRAWINGS DRAWN BY: KIET DATE: 19/04/2021 SCALE: 1:50 SHEET: 2 OF 19 JOB No: 210012 REV: B |
| | | REV B DATE 19/04/21 AMENDMENT PRELIM. DRAWINGS - TENDER 5 | Signed OWNER Date: | CLIENT: HALLMONT PTY LTD (GEOFF BATTLE AND DIANNE KENT) SITE ADDRESS: LOT 1, No.110 HILLBRICKS ROAD TRAFALGAR VIC 3824 | PRELIM. DRAWINGS DRAWN BY: KIET DATE: 19/04/2021 SCALE: 1:50 SHEET: 2 OF 19 JOB No: 210012 REV: B | |

LEGEND

- SD INTERCONNECTED DIRECT WIRED SMOKE DETECTOR
- SD CEILING EXHAUST FAN 25L/SEC SWITCHED WITH LIGHT
- ▨ LOAD BEARING WALL
- ▨ 2305H BULKHEADS TO FRAME (REFER TO INTERNALS FOR KITCHEN BULKHEADS)

NOTE: ARTICULATION JOINTS TO BE LOCATED AS PER ENGINEERS NOMINATIONS

NOTE: PROVIDE LPG CONNECTOR KIT TO KITCHEN UPRIGHT COOKER

NOTE: ALL EXTERNAL ALUMINIUM FRAME SLIDING DOORS TO BE 2150mm HIGH (UNLESS OTHERWISE NOTED)

NOTES:

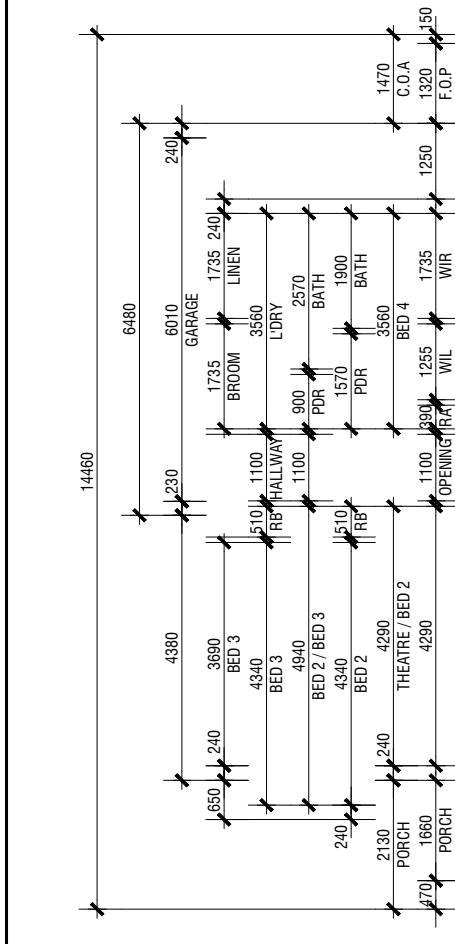
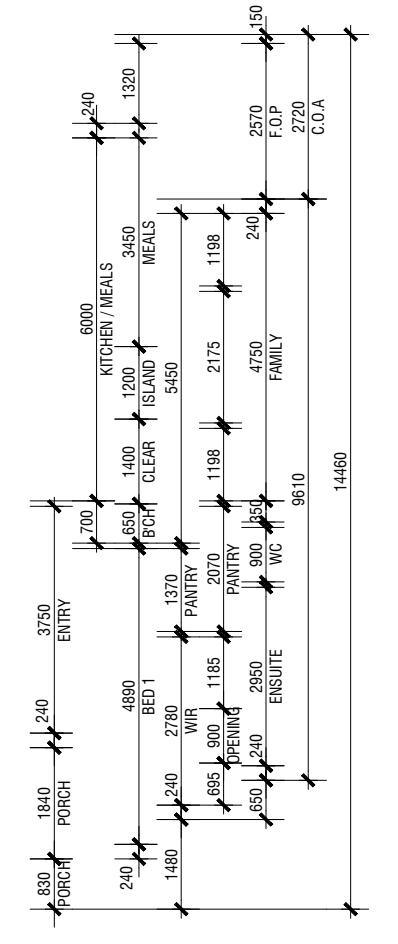
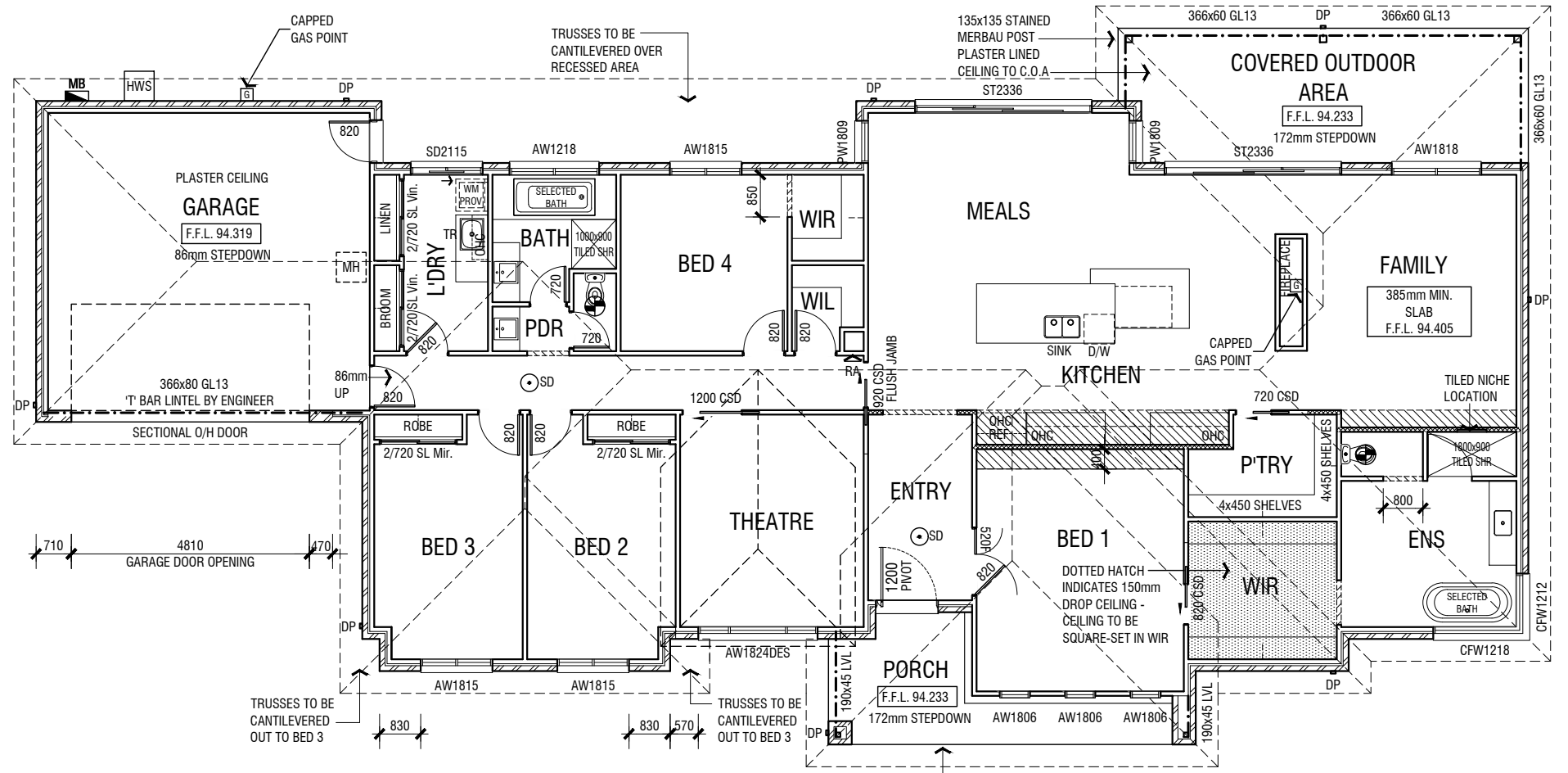
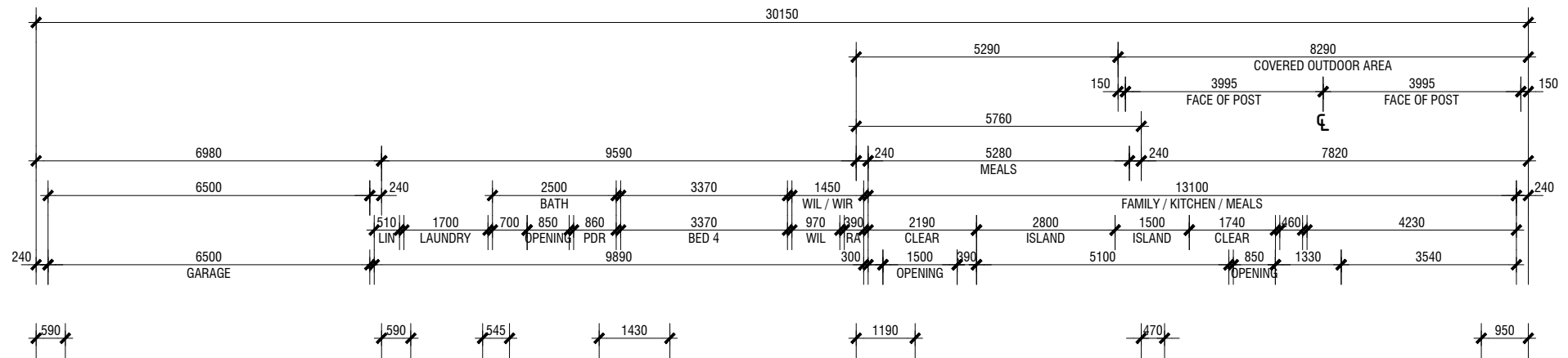
GROUND FLOOR WINDOW HEAD HEIGHTS TO BE 2150 ABOVE F.F.L. UNLESS NOTED OTHERWISE.

WINDOWS LOCATED ON HOBS MAY REQUIRE A TRIM OVER TO U/SIDE OF NEXT BRICK COURSE.

STD 86mm REBATE STEPDOWN TO GARAGE. STD 172mm REBATE STEPDOWN TO PORCH. ALL SPLAYED WALLS ARE ON A 45° ANGLE.

Advertised

NOTE: PROVIDE ALL GAS APPLIANCES AND UNITS TO SUIT LPG. OWNER TO SUPPLY AND FIT GAS BOTTLES AFTER COMPLETION OF CONSTRUCTION WITH THE BUILDER TO PROVIDE CAPPED GAS LINE TO SIDE WALL OF GARAGE



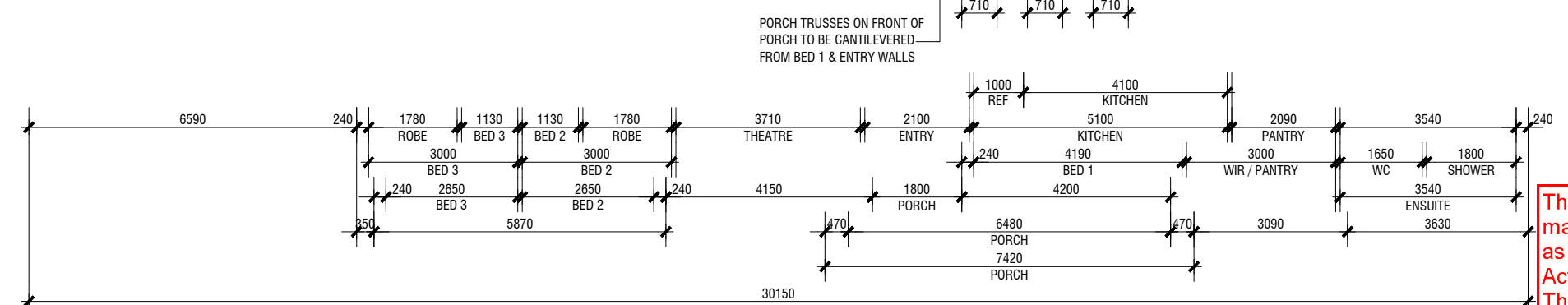
NOTE: PROVIDE STUDS AT 450mm CENTRES TO ENSUITE, PDR AND BATH DUE TO FULL HEIGHT WALL TILES.

PROVIDE SQUARE-SET PLASTER CEILINGS EXCL; ALL BEDROOMS, ROBES & GARAGE

WHERE DISTANCE FROM TOILET PAN TO ANY PART OF DOOR IS LESS THAN 1.2 M THE DOOR IS TO OPEN OUTWARDS, SLIDE OR TO BE READILY REMOVABLE FROM OUTSIDE AS PER N.C.C. PART 3.8.3.3.

MECHANICAL VENTILATION TO BE PROVIDED TO ALL SANITARY COMPARTMENTS WHERE NATURAL VENTILATION CAN NOT BE PROVIDED BY MEANS OF A WINDOW. (VENTING TO COMPLY WITH 3.8.5 NCC).

NOTE: FAIRHAVEN HOMES SUGGEST THAT A HOUSE ON LPG BOTTLES SHOULD BE UPGRADED TO A 6 STAR UNIT OR HAVE THE STANDARD HEATING UNIT DELETED AS THE STANDARD UNIT CAN NOT BE CONVERTED TO LPG BOTTLES AND THE PREVIOUS WOMBAT SERIES IS BEING FADED OUT. CLIENTS COULD GO TO SPLIT SYSTEMS OR AN ELECTRICAL INVERTER UNIT IF PREFERRED.



AREA ANALYSIS

| | | |
|--------------------|----------------------------|----------------|
| LIVING: | 243.75M ² | 26.24SQ |
| GARAGE: | 43.98M ² | 4.73SQ |
| PORCH: | 1.07M ² | 0.11SQ |
| C.O.A.: | 21.96M ² | 2.36SQ |
| TOTAL AREA: | 320.39M² | 34.49SQ |

GROUND FLOOR (NOT TO SCALE)

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LH Garage

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T: (03) 9704 4000 F: (03) 9796 2033

BL No. CDB-U 48497 - ACN 149 914 750

| REV | DATE | AMENDMENT | BY |
|-----|----------|-----------------------------|------|
| A | 27/11/20 | COLOUR DRAWINGS - R6 | KIET |
| B | 19/04/21 | PRELIM. DRAWINGS - TENDER 5 | KIET |

Signed BUILDER

Signed OWNER

Date:

CLIENT: HALLMONT PTY LTD (GEOFF BATTLE AND DIANNE KENT)

SITE ADDRESS: LOT 1, No.110 HILLBRICKS ROAD TRAFALGAR VIC 3824

PRELIM. DRAWINGS

DATE: 19/04/2021

3 OF 19

JOB No: 210012

REV: B

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ENERGY EFFICIENCY REQUIREMENTS

- BUILDING SEALING**
- PROVIDE SEALS TO ALL EXHAUST FANS - (EXCLUDING KITCHEN RANGEHOOD).
 - PROVIDE COMPRESSIBLE SEAL TO HEAD AND JAMB OF EXTERNAL SWINGING DOORS - (EXCLUDING GARAGE).
 - PROVIDE WEATHERSTRIP TO BOTTOM EDGE OF EXTERNAL SWINGING DOORS - (EXCLUDING GARAGE).

- INSULATION**
- WALLS**
- **R2.0** ADDED BULK INSULATION WITH ANTI-GLARE FOIL
 - **R2.0** ADDED BULK INSULATION TO INTERNAL WALLS ADJOINING GARAGE

- CEILING**
- **R3.5** ADDED BULK INSULATION (EXCLUDING GARAGE)
- *NOTE: LED DOWNLIGHTS, IF USED, ARE TO BE IC RATED FIRE RESISTANT TYPE.
*NCC 3.12.1.1b HAS NOT BEEN TRIGGERED

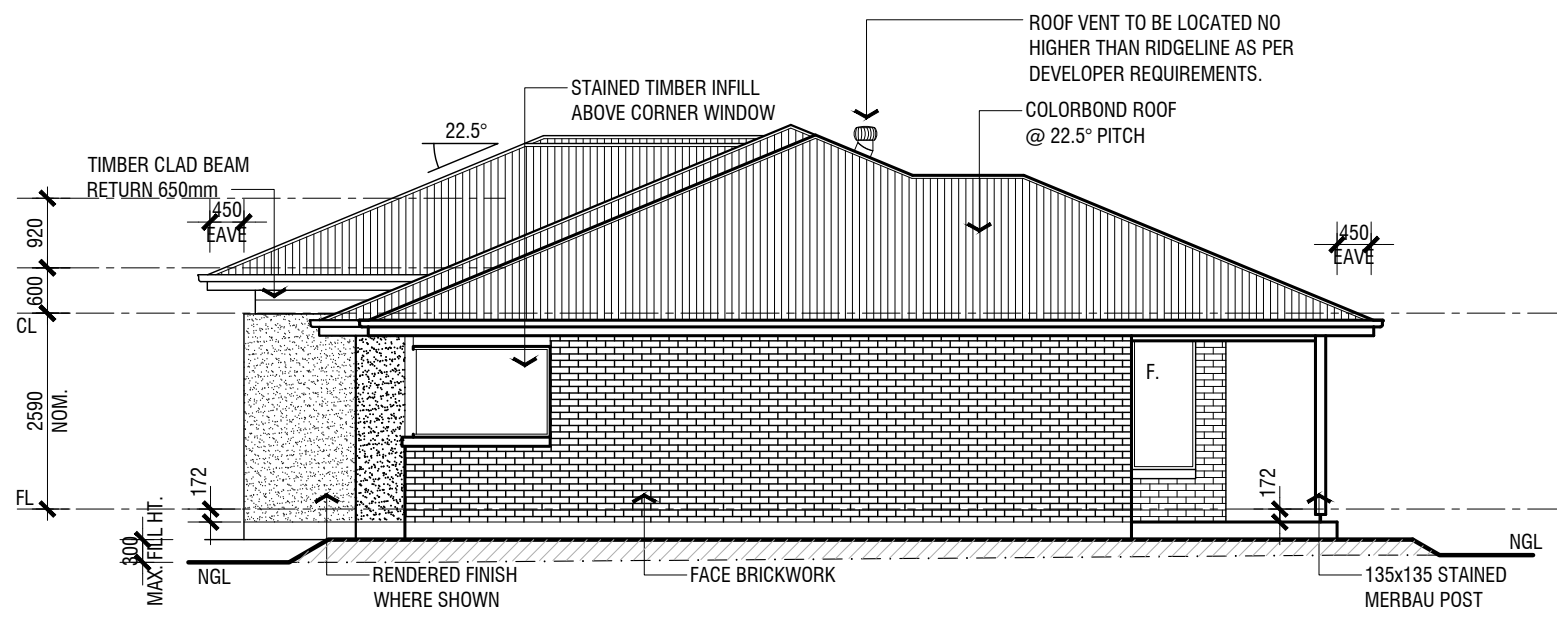
- ROOFS**
- **SARKED FOR BUSHFIRE REQUIREMENTS**

- FLOORS**
- **WAFFLE POD SLAB**

- WINDOWS**
- **ALSPEC** WINDOWS & SLIDING DOORS
- *NOTE: TYPES AND STYLES AS PER PLANS.
*ALL SYSTEM VALUES PUBLISHED ON WWW.WERS.NET

- ADDITIONAL NOTES**
- WHERE REQUIRED, THE FOLLOWING MUST ALSO MEET NCC 2019 VOL 2 PART 3.12
- 3.12.1.1 INSULATION MUST BE INSTALLED AND COMPLY WITH AS/NZ 4859.1
 - 3.12.1.2(b)(c) IS NOT REQUIRED FOR THIS PROJECT
 - 3.12.1.5(c)(d) IS NOT REQUIRED FOR THIS PROJECT
 - 3.12.3 SEAL BUILDING (THE SEALING OF ALL GAPS AND CRACKS)
 - 3.12.5 R1 TO ALL DUCT WORK AND HWS PIPE ENTRY POINTS AS PER THE PLUMBING STANDARDS. HEATING DUCTS R1 INCLUDING INNER AND OUTER FOIL WRAP WITH TONTINE FILLING.

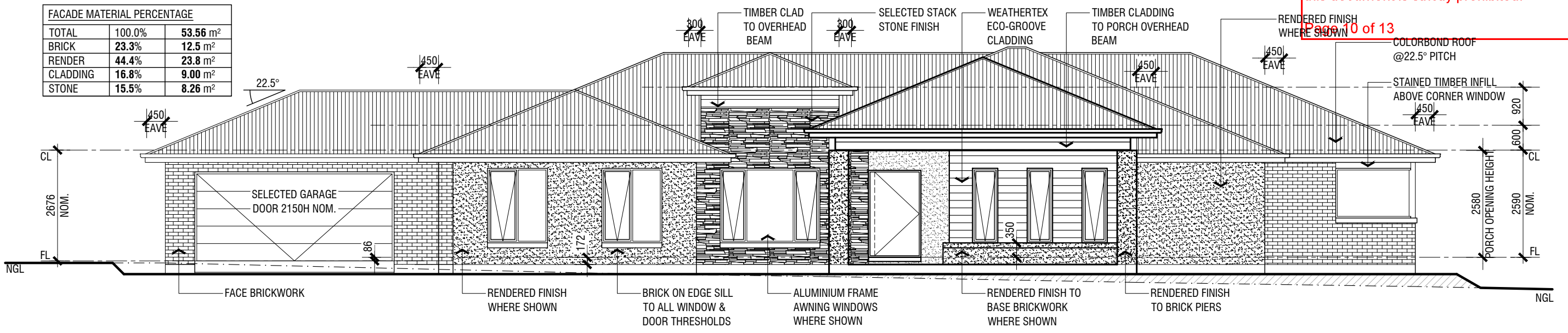
*NOTE: PENETRATIONS TO CEILING ARE LESS THAN 0.5% OF CEILING AREA, THEREFORE NO EXTRA REQUIREMENTS ARE NEEDED TO SATISFY NCC 2019 VOL 2 DTS 3.12.1.1b.
*NOTE: IT IS A REQUIREMENT TO INSTALL EITHER A SOLAR HOT WATER SERVICE OR A BAINWATER TANK CONNECTED TO ALL SANITARY CLOSET PANS.



ELEVATION 1

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| FACADE MATERIAL PERCENTAGE | | |
|----------------------------|--------|----------------------|
| TOTAL | 100.0% | 53.56 m ² |
| BRICK | 23.3% | 12.5 m ² |
| RENDER | 44.4% | 23.8 m ² |
| CLADDING | 16.8% | 9.00 m ² |
| STONE | 15.5% | 8.26 m ² |



ELEVATIONS **ELEVATION 2**

Fairhaven Homes Pty Ltd - 12 Wheeler St, Berwick VIC 3806
T: (03) 9704 4000 F: (03) 9796 2033

BL No. CDB-U 48497 - ACN 149 914 750

HASTINGS 341
Retreat
LH Garage

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DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

| REV | DATE | AMENDMENT | BY |
|-----|----------|-----------------------------|------|
| A | 27/11/20 | COLOUR DRAWINGS - R6 | KIET |
| B | 19/04/21 | PRELIM. DRAWINGS - TENDER 5 | KIET |

Signed BUILDER

Signed OWNER

Date:

CLIENT:
HALLMONT PTY LTD
(GEOFF BATTLE AND DIANNE KENT)

SITE ADDRESS:
LOT 1, No.110
HILLBRICKS ROAD
TRAFALGAR VIC 3824

| PRELIM. DRAWINGS | | | |
|------------------|--------|--------|------------|
| DRAWN: | KIET | DATE: | 19/04/2021 |
| SCALE: | 1:100 | SHEET: | 4 OF 19 |
| JOB No: | 210012 | REV: | B |

Advertised

ENERGY EFFICIENCY REQUIREMENTS

BUILDING SEALING

- PROVIDE SEALS TO ALL EXHAUST FANS - (EXCLUDING KITCHEN RANGEHOOD).
- PROVIDE COMPRESSIBLE SEAL TO HEAD AND JAMB OF EXTERNAL SWINGING DOORS - (EXCLUDING GARAGE).
- PROVIDE WEATHERSTRIP TO BOTTOM EDGE OF EXTERNAL SWINGING DOORS - (EXCLUDING GARAGE).

INSULATION

- WALLS**
- R2.0 ADDED BULK INSULATION WITH ANTI-GLARE FOIL
 - R2.0 ADDED BULK INSULATION TO INTERNAL WALLS ADJOINING GARAGE

CEILING

- R3.5 ADDED BULK INSULATION (EXCLUDING GARAGE)
- *NOTE: LED DOWNLIGHTS, IF USED, ARE TO BE IC RATED FIRE RESISTANT TYPE.
*NCC 3.12.1.1b HAS NOT BEEN TRIGGERED

ROOFS

- SARKED FOR BUSHFIRE REQUIREMENTS

FLOORS

- WAFFLE POD SLAB

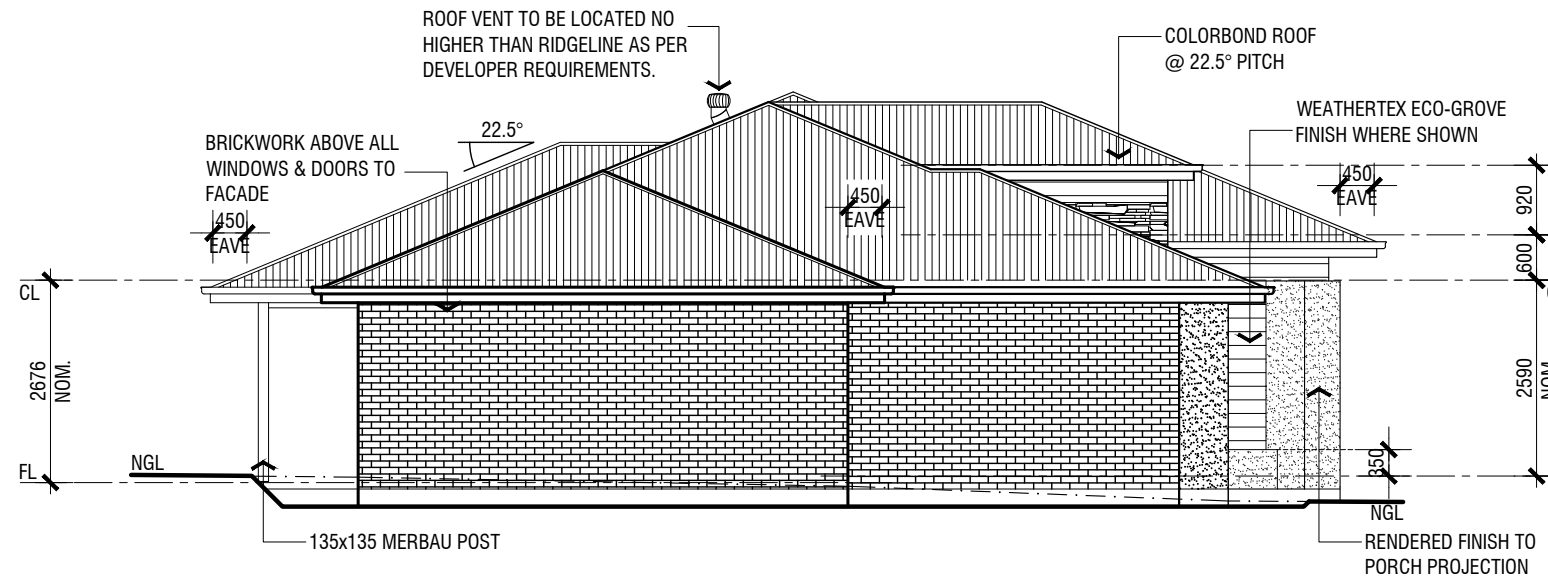
WINDOWS

- ALSPEC WINDOWS & SLIDING DOORS
- *NOTE: TYPES AND STYLES AS PER PLANS.
*ALL SYSTEM VALUES PUBLISHED ON WWW.WERS.NET

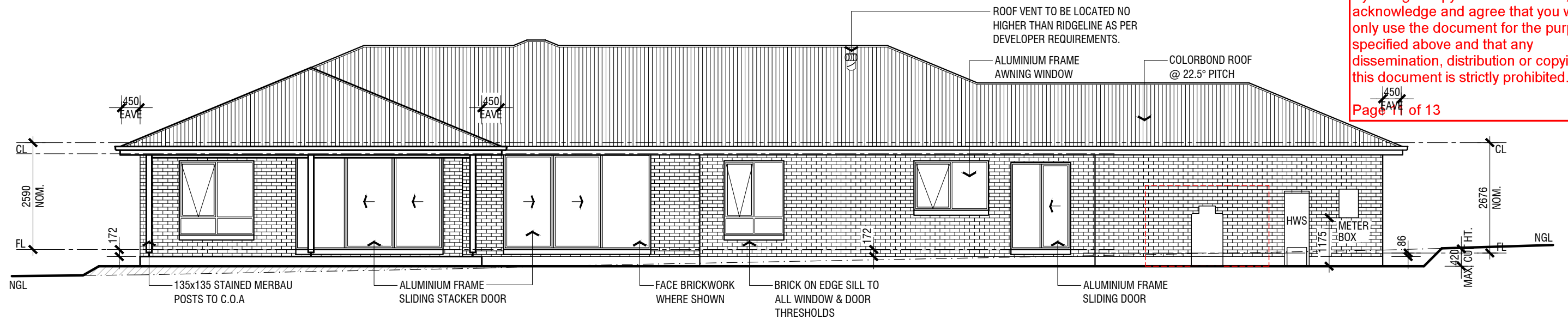
ADDITIONAL NOTES

- WHERE REQUIRED, THE FOLLOWING MUST ALSO MEET NCC 2019 VOL 2 PART 3.12
- 3.12.1.1 INSULATION MUST BE INSTALLED AND COMPLY WITH AS/NZ 4859.1
 - 3.12.1.2(b)(c) IS NOT REQUIRED FOR THIS PROJECT
 - 3.12.1.5(c)(d) IS NOT REQUIRED FOR THIS PROJECT
 - 3.12.3 SEAL BUILDING (THE SEALING OF ALL GAPS AND CRACKS)
 - 3.12.5 R1 TO ALL DUCT WORK AND HWS PIPE ENTRY POINTS AS PER THE PLUMBING STANDARDS. HEATING DUCTS R1 INCLUDING INNER AND OUTER FOIL WRAP WITH TONTINE FILLING.

*NOTE: PENETRATIONS TO CEILING ARE LESS THAN 0.5% OF CEILING AREA, THEREFORE NO EXTRA REQUIREMENTS ARE NEEDED TO SATISFY NCC 2019 VOL 2 DTS 3.12.1.1b.
*NOTE: IT IS A REQUIREMENT TO INSTALL EITHER A SOLAR HOT WATER SERVICE OR A RAINWATER TANK CONNECTED TO ALL SANITARY CLOSET PANS.



ELEVATION 3



ELEVATION 4



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ELEVATIONS

| | | | | | | | |
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| | | | Fairhaven Homes Pty Ltd - 12 Wheeler St, Berwick VIC 3806 T: (03) 9704 4000 F: (03) 9796 2033 | BL No. CDB-U 48497 - ACN 149 914 750 | | | |

Advertised

TIMBER SCHEDULE TO AS 1684

| | | | |
|---------------|---|---------------|--------------------------|
| STUMPS: | CONCRETE SLAB | C/JOISTS: | |
| BEARERS: | | H/BEAMS: | |
| FLOOR JOISTS: | | RAFTERS: | |
| TOP PLATE: | 90 x 35 PINE MGP10 | HIP/VALLEY: | TRUSS ROOF |
| BOTTOM PLATE: | 90 x 35 PINE MGP10 | UNDERPURLINS: | |
| STUDS: | 90 x 35 PINE F5 OR BETTER @ 600 CTRS | STRUTS: | |
| | | COLLAR TIES: | |
| NOGGINGS: | 70 x 35 MERCH PINE | ROOF BATTENS: | METAL BATTENS @ 900 CTRS |

LINTELS (R.L.W. 6000) - SINGLE OR UPPER STOREY WALLS

| LINTEL SIZE | METAL ROOF | | TILED ROOF | |
|---------------------|--------------------|--------------|--------------------|--------------|
| | OPENING WIDTH (mm) | JAMB STUDS | OPENING WIDTH (mm) | JAMB STUDS |
| 90 x 45 F17 KDHW | UP TO 1200 | 2/90 x 35 F5 | UP TO 900 | 2/90 x 35 F5 |
| 140 x 45 F17 KDHW | UP TO 1800 | 2/90 x 35 F5 | UP TO 1200 | 2/90 x 35 F5 |
| 190 x 45 F17 KDHW | UP TO 2400 | 3/90 x 35 F5 | UP TO 1800 | 3/90 x 35 F5 |
| 240 x 45 F17 KDHW | UP TO 2700 | 3/90 x 35 F5 | UP TO 2400 | 3/90 x 35 F5 |
| 2/240 x 45 F17 KDHW | UP TO 3600 | 3/90 x 35 F5 | UP TO 2700 | 4/90 x 35 F5 |

NOTES:

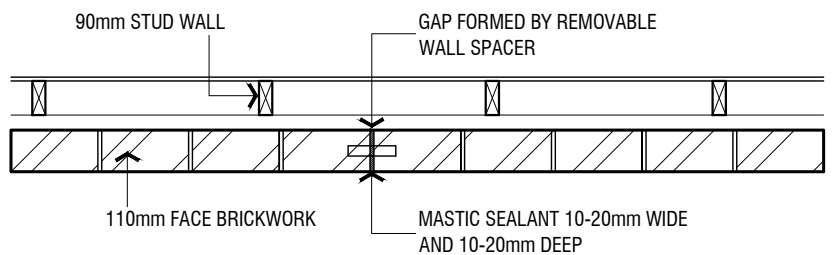
- STEEL LINTELS SHALL BE GALVANISED OR PAINTED WITH ANTI RUST COMPOUND.
- 10MM PLASTERBOARD WALL LINING AND 10MM CEILING LINING THROUGHOUT.
- WR BLUEBOARD OR HARDIES VILLABOARD WALL LINING TO ALL WET AREA WALLS (TILED AREAS ONLY). SEAL ALL JOINTS TO MANUFACTURERS SPECIFICATIONS.
- REFER TO FRAMING & LINTEL SCHEDULE FOR ALL TIMBER MEMBERS & LINTEL SIZES.
- REFER TO ENGINEERS SOIL REPORT FOR SOIL CLASSIFICATION.
- ALL EXTERNAL LOAD-BEARING WALLS ARE TO BE POINT LOADED.

WIND CLASSIFICATION N2 AS PER AS4055

BRICKWORK LINTELS

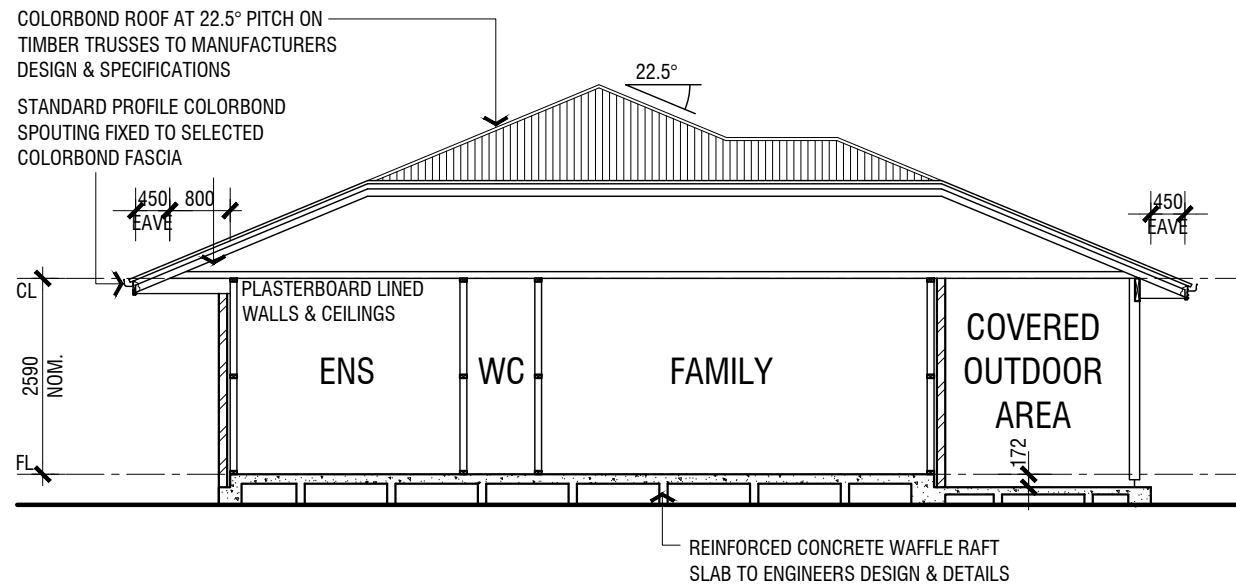
NOTE: ALL LINTELS ONLY APPLICABLE TO SINGLE STOREY DWELLINGS & UPPER FLOOR WINDOWS. REFER TO ENGINEERING FOR GROUND FLOOR WINDOW LINTELS ON DOUBLE STOREY

| OPENING WIDTH (mm) | MAX. 500 BWK HEIGHT OVER LINTEL | MAX. 1500 BWK HEIGHT OVER LINTEL | MAX. 2500 BWK HEIGHT OVER LINTEL |
|--------------------|---------------------------------|----------------------------------|----------------------------------|
| LINTEL SIZE | | | |
| UP TO 1650 | 110 x 110 x 7 EA | 110 x 110 x 7 EA | 110 x 110 x 7 EA |
| UP TO 1950 | 110 x 110 x 7 EA | 110 x 110 x 7 EA | 150(V) x 100(H) x 10 UA |
| UP TO 2400 | 110 x 110 x 7 EA | 150(V) x 100(H) x 10 UA | 150(V) x 100(H) x 10 UA |
| UP TO 2700 | 150(V) x 100(H) x 10 UA | 150(V) x 100(H) x 10 UA | REFER TO ENGINEERING |
| UP TO 2850 | 150(V) x 100(H) x 10 UA | REFER TO ENGINEERING | REFER TO ENGINEERING |
| UP TO 3950 | 150(V) x 100(H) x 10 UA | REFER TO ENGINEERING | REFER TO ENGINEERING |



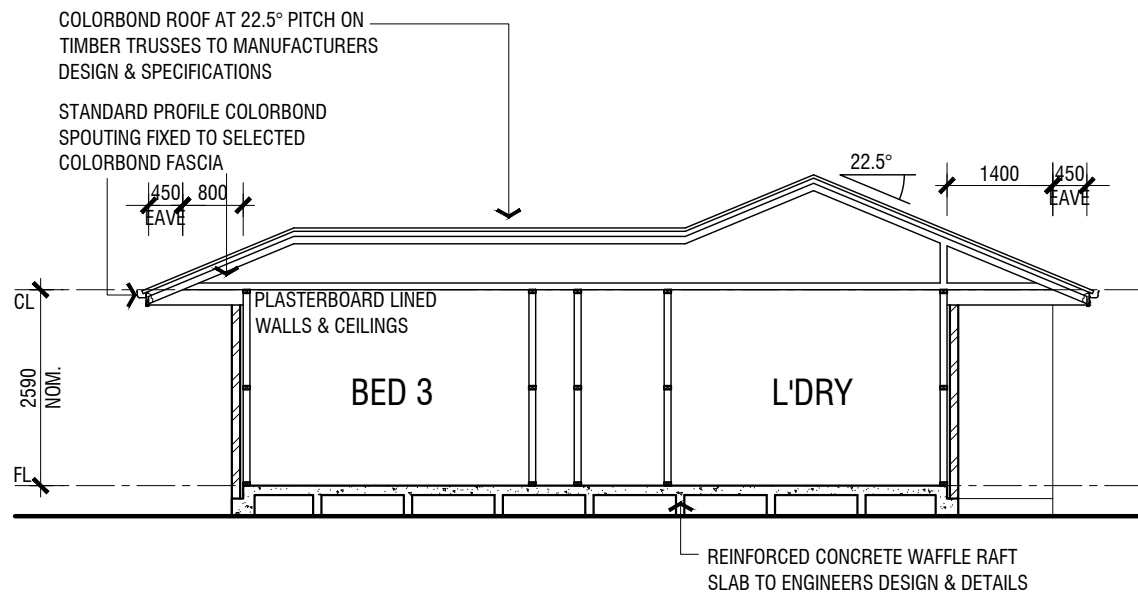
BRICK JOINT DETAIL

SCALE: 1:20



SECTION A-A

SCALE: 1:100



SECTION B-B

SCALE: 1:100

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SECTION



HASTINGS 341

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| | |
|----------------------|---|
| Signed BUILDER | CLIENT: HALLMONT PTY LTD (GEOFF BATTLE AND DIANNE KENT) |
| Signed OWNER | SITE ADDRESS: LOT 1, No.110 HILLBRICKS ROAD TRAFALGAR VIC 3824 |
| Date: | |

| | |
|-------------------|---------------------|
| PRELIM. DRAWINGS | |
| DRAWN: KIET | DATE: 19/04/2021 |
| SCALE: 1:100 | SHEET: 6 OF 19 |
| JOB No: 210012 | REV: B |

PLAN # 1 - PROPOSED SEPTIC SYSTEM PLAN

Permit No:

Job Location: **110 HILLBRICKS ROAD, TRAFALGAR 3824**

APPROX. NORTH



Owners: **Geoff BATTLEY**

Contractor: **VALLEY SEPTICS - NICK BALDASSA**

Licence No: **51567**

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Plan is indicative only – location of components may vary slightly to accommodate contours of land

SEWER INLET DRAIN FROM BUILDINGS TO SEPTIC TANK BY OTHERS

Endorsement of Plumber

SB

Signature:

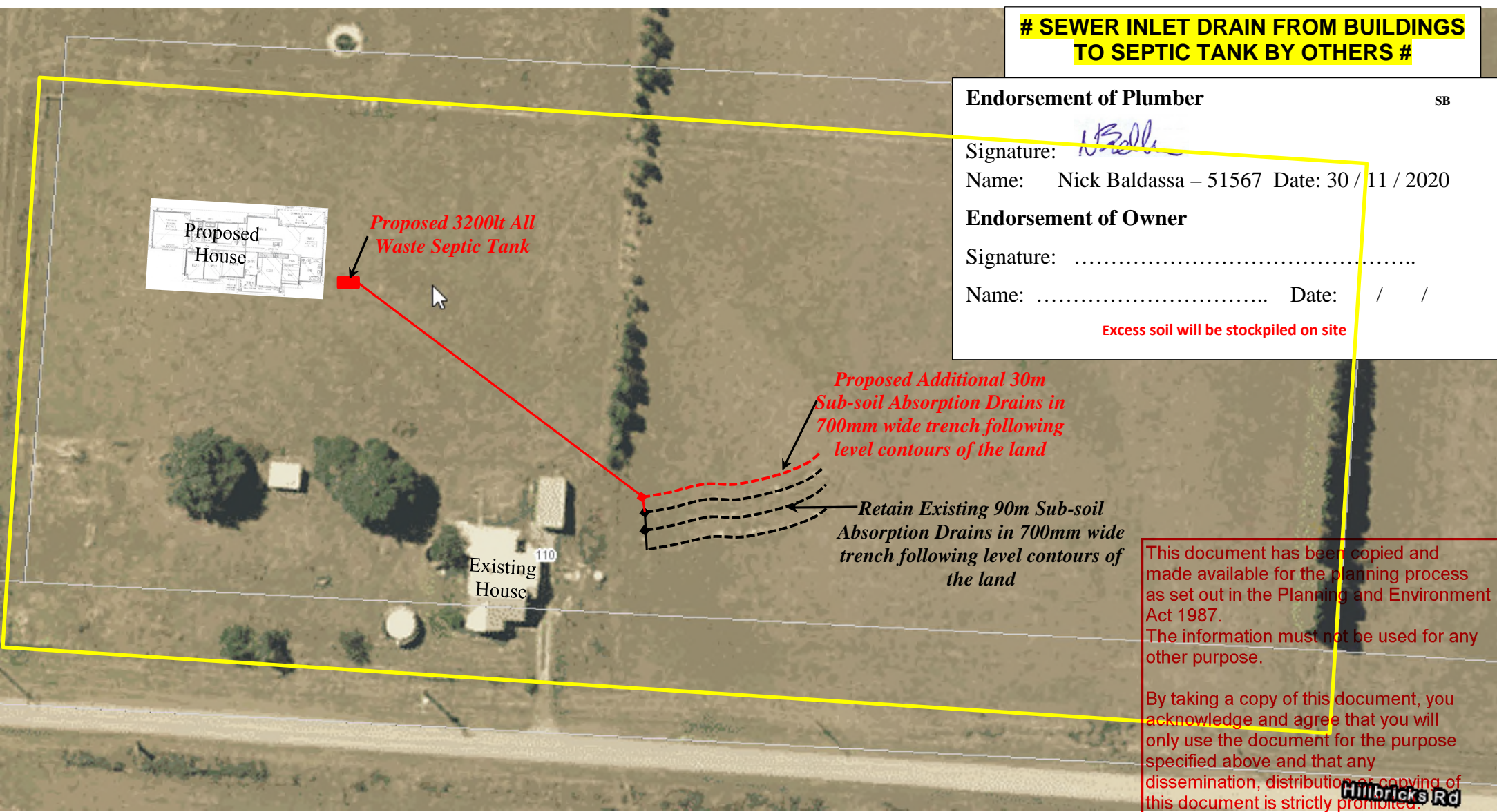
Name: Nick Baldassa – 51567 Date: 30 / 11 / 2020

Endorsement of Owner

Signature:

Name: Date: / /

Excess soil will be stockpiled on site



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