



# Application for a Planning Permit

## Section 1: LAND DETAILS

Unit Number:	Street Number:	Street Name:
Town:	Postcode:	

## FORMAL LAND DESCRIPTION (Please complete either A or B – this information can be found on the Certificate of Title)

### Option A:

Lot No:	
Type of Plan: Please tick ✓	Lodge Plan <input type="checkbox"/> Title Plan <input type="checkbox"/> Plan of Subdivision <input type="checkbox"/>
Plan Number:	

### Option B:

Crown Allotment Number:	
Section Number:	
Parish/Township Name:	

## Section 2: PERMIT APPLICANT

Name:					
Business:					
Postal Address:				Postcode:	
	Telephone No. (H)	(W)	(M)		
Email Address:					

## Section 3: OWNER DETAILS (If different to the Applicant)

Name(s):					
Postal Address:				Postcode:	
	Telephone No. (H)	(W)	(M)		
Email Address:					

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

## Section 4: DEVELOPMENT COST - Estimated Cost of development for which the permit is required

--

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

**Section 5: PROPOSAL** You must give full details of the proposal being applied for. Insufficient or unclear information will delay your application..

**Advertised**

For what use, development or other matter do you require a permit?

**Development:**

<input type="checkbox"/> Advertising Signage	<input type="checkbox"/> Development of 2 or more dwellings Qty: <input style="width: 50px;" type="text"/>
<input type="checkbox"/> Agricultural Outbuildings	<input type="checkbox"/> Mixed Use Development and Reduction of Carparking
<input type="checkbox"/> Buildings and Works and Reduction in Carparking	<input type="checkbox"/> Residential Outbuildings
<input type="checkbox"/> Commercial or Industrial Buildings and Works	<input type="checkbox"/> Single Dwelling
<input type="checkbox"/> Extension / Alteration to Dwelling	<input type="checkbox"/> Telecommunications

**Use:**

<input type="checkbox"/> Buildings and Works and Change of Use	<input type="checkbox"/> Home Based Business
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Sale and Consumption of Liquor
<input type="checkbox"/> Change of Use and Single Dwelling	

**Subdivision:**

<input type="checkbox"/> Boundary Realignment	<input type="checkbox"/> 3 or more Lot Subdivision Qty: <input style="width: 50px;" type="text"/>
<input type="checkbox"/> Variation/ Removal of Restriction	<input type="checkbox"/> Create an easement
<input type="checkbox"/> 2 Lot Subdivision	<input type="checkbox"/> 100 or more Lot Subdivision Qty: <input style="width: 50px;" type="text"/>

**Subdivision / Vegetation Removal:**

<input type="checkbox"/> Native Vegetation Removal or Lopping	<input type="checkbox"/> Non Native Vegetation Removal or Lopping (ESO4)
<input type="checkbox"/> Subdivision Qty: <input style="width: 50px;" type="text"/>	<input type="checkbox"/> Alteration of access RDZ1

**Other:**

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, Section 173 agreement or other obligation such as an easement or building envelope?

Yes     No     Not Applicable (no such covenant, section 173 agreement or restriction applies)

If yes, you should contact Council for advice as to how to proceed with the application.

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.

**FURTHER DETAILS OF PROPOSAL** (optional)

The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

**Section 6: EXISTING CONDITIONS** Describe how the land is used and developed now.


Advertised

Provide a plan of the existing conditions. Photos are also helpful.

**Section 7: PRE-APPLICATION MEETING** Has there been a Pre-Application meeting with a Council Planning Officer?

No <input type="checkbox"/>		
Yes <input type="checkbox"/>	If yes, with whom?	
	Date of this meeting	

**Section 8: DECLARATION** This form must be signed. Complete box A or B

<b>A.</b> I declare that I am the Applicant and all information given is true and correct.	Applicant signat 	Date:
<b>B.</b> I/We the Applicant declare that I/We have notified the owner about this application and that all information given is true and correct.	Applicant Signature:	Date:

**CHECK LIST** Please ensure you have included the following items with your application form. *Failure to provide all the information above may result in a delay in the processing of the application.*

- A fully completed and signed copy of this form.
- The application fee (if not already paid). Most applications require a fee to be paid.
- Contact Council to determine the appropriate fee.
- Full and current copy of title and title plan (no older than 60 days) for each individual parcel of land forming the subject site. The title includes: the covering register search statement, the title plan and the associated title documents (known as instruments).
- Provided plans showing the layout and details of the proposal
- Provided any information required by the planning scheme, requested by Council
- Provided a description of the likely effect of the proposal (if required)
- Completed the declaration in Section 8
- Provided a contact phone number and e-mail address

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Page 3 of 22

**PLEASE FORWARD THIS APPLICATION TO**

**Advertised**

<b>E-mail:</b>	planning@bawbawshire.vic.gov.au	<b>Mail:</b>	Planning Department, Baw Baw Shire Council PO Box 304 Warragul VIC 3820
<b>Phone:</b>	5624 2411		
<b>In Person:</b>	Customer Service Centres	1 Civic Place Warragul	OR 33 Young Street Drouin

The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application.

These third parties generally include, but are not limited to:

Transport Infrastructure Agencies such as VicRoads and VLine

Energy/Utilities Providers

Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

All information collected and held by Council is managed in accordance with Councils Privacy Policy which is available on our website. If you choose not to supply the requested information it may impair the ability of Council to consider your application or prevent Council from communicating with you in relation to your application.

If you have any concerns or require access to the information held by Council, please contact us on 5624 2411.

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.

The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958**

VOLUME 12237 FOLIO 379

Security no : 124085840631U  
Produced 02/10/2020 09:57 AM

**LAND DESCRIPTION**

Lot 1 on Plan of Subdivision 826753S.  
PARENT TITLES :  
Volume 07872 Folio 132      Volume 08983 Folio 707  
Created by instrument PS826753S 01/08/2020

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor  
BRETT LLEWELLYN LLOYD YOUNG of 475 LONGWARRY-DROUIN ROAD DROUIN VIC 3818  
PS826753S 01/08/2020

**ENCUMBRANCES, CAVEATS AND NOTICES**

MORTGAGE as to part AS044918R 28/03/2019  
AFSH NOMINEES PTY LTD  
  
MORTGAGE as to part AS044927Q 28/03/2019  
AFSH NOMINEES PTY LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE PS826753S FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NUMBER	PLAN OF SUBDIVISION	STATUS	DATE
PS826753S (B)	PLAN OF SUBDIVISION	Registered	01/08/2020

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

**ADMINISTRATIVE NOTICES**

NIL  
  
eCT Control      18440T MSA NATIONAL  
Effective from 01/08/2020  
  
DOCUMENT END

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.  
The information must not be used for any other purpose.  
  
By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Page 5 of 22

The document following this cover sheet is an imaged document supplied by LANDATA®, Victorian Land Registry Services.

Document Type	<b>Plan</b>
Document Identification	<b>PS826753S</b>
Number of Pages (excluding this cover sheet)	<b>2</b>
Document Assembled	<b>02/10/2020 09:58</b>

**Copyright and disclaimer notice:**

© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act 1968 (Cth) and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. None of the State of Victoria, LANDATA®, Victorian Land Registry Services Pty. Ltd. ABN 86 627 986 396 as trustee for the Victorian Land Registry Services Trust ABN 83 206 746 897 accept responsibility for any subsequent release, publication or reproduction of the information.

The document is invalid if this cover sheet is removed or altered.

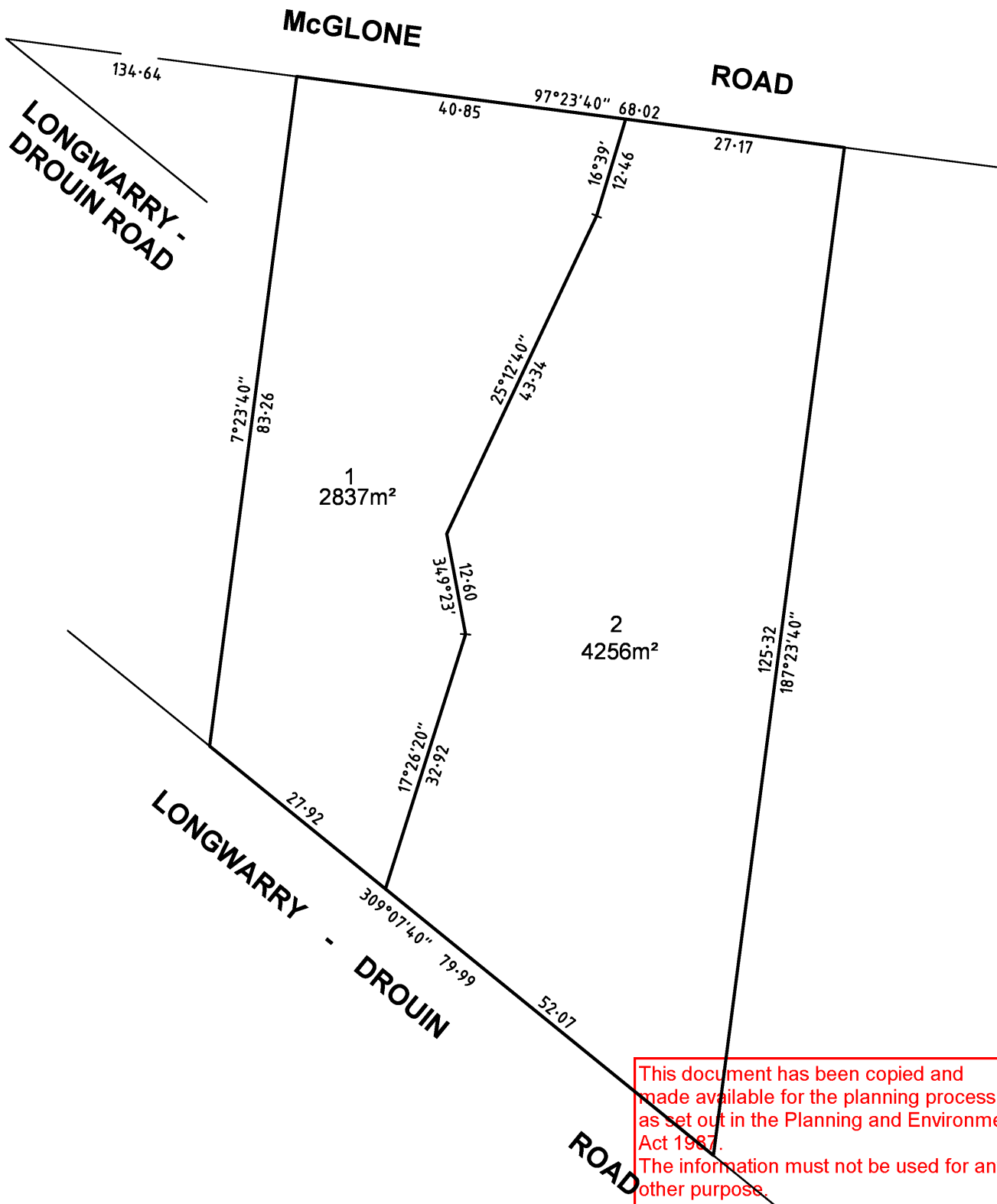
This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.  
The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



PS 826753S Advertised

MGA 94  
ZONE 55



This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



**CARSON DEVELOPMENT CONSULTANTS Pty. Ltd.**  
Land & Engineering Surveyors  
Planning Consultants  
SUITE 6, 6 - 8 HIGH STREET,  
P.O. Box 1056, CRANBOURNE 3977  
Tel. 03 5995 1860  
Email: info@cdcsurvey.com.au

SCALE 1:500  
5 0 5 10 15 20  
LENGTHS ARE IN METRES  
Digitally signed by: Clifford Carson, Licensed Surveyor  
Surveyor's Plan Version (03),  
29/01/2020, SPEAR Ref: S131844M

ORIGINAL SHEET: 1  
SIZE: A3  
Digitally signed by:  
Baw Baw Shire Council,  
20/09/2020,  
SPEAR Ref: S131844M



From [www.planning.vic.gov.au](http://www.planning.vic.gov.au) at 18 August 2020 09:19 AM

## PROPERTY DETAILS

Address: **475 LONGWARRY-DROUIN ROAD DROUIN 3818**  
 Lot and Plan Number: **More than one parcel - see link below**  
 Standard Parcel Identifier (SPI): **More than one parcel - see link below**  
 Local Government Area (Council): **BAW BAW**  
 Council Property Number: **18040**  
 Planning Scheme: **Baw Baw**  
 Directory Reference: **Vicroads 96 F3**

[www.bawbawshire.vic.gov.au](http://www.bawbawshire.vic.gov.au)

[Planning Scheme - Baw Baw](#)

This property has 2 parcels. For full parcel details get the free Property report at [Property Reports](#)

## UTILITIES

Rural Water Corporation: **Southern Rural Water**  
 Urban Water Corporation: **Gippsland Water**  
 Melbourne Water: **Inside drainage boundary**  
 Power Distributor: **AUSNET**

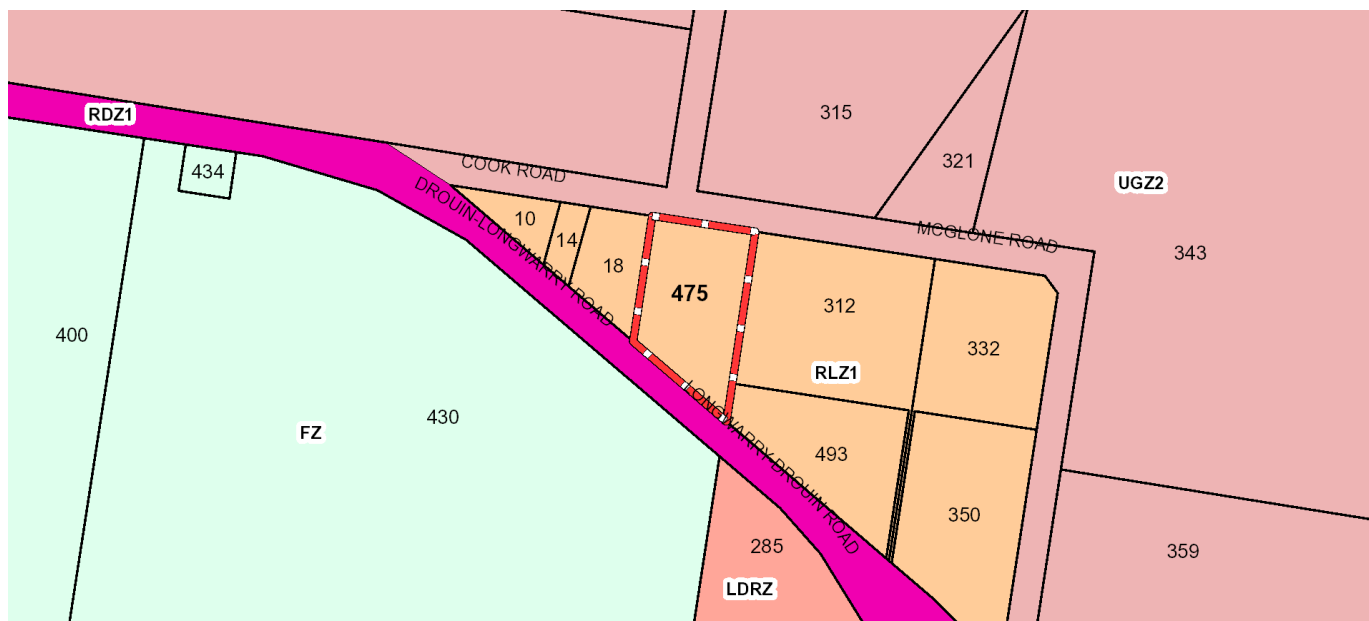
[View location in VicPlan](#)

## STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**  
 Legislative Assembly: **NARRACAN**

## Planning Zones

[RURAL LIVING ZONE \(RLZ\)](#)  
[RURAL LIVING ZONE - SCHEDULE 1 \(RLZ1\)](#)



- |  |                           |   |                                       |
|--|---------------------------|---|---------------------------------------|
|  | <b>FZ - Farming</b>       |  | <b>LDRZ - Low Density Residential</b> |
|  | <b>RLZ - Rural Living</b> |  | <b>UGZ - Urban Growth</b>             |

Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Page 9 of 22

## Planning Overlays

[DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY \(DCPO\)](#)  
[DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY - SCHEDULE 1 \(DCPO1\)](#)



 **DCPO - Development Contributions Plan**

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

### OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

[FLOODWAY OVERLAY \(FO\)](#)



 **FO - Floodway**

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

## Further Planning Information

Planning scheme data last updated on 12 August 2020.

A **planning scheme** sets out policies and requirements for the use, development and protection of land.

This report provides information about the zone and overlay provisions that apply to the selected land.

Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council

or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**.

It does not include information about exhibited planning scheme amendments, or zonings that may affect the land.

To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit

<https://mapshare.maps.vic.gov.au/vicplan>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.

The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

## Designated Bushfire Prone Areas

**This property is in a designated bushfire prone area.**  
**Special bushfire construction requirements apply. Planning provisions may apply.**



Designated bushfire prone areas as determined by the Minister for Planning are in effect from 8 September 2011 and amended from time to time.

The Building Regulations 2018 through application of the Building Code of Australia, apply bushfire protection standards for building works in designated bushfire prone areas.

Designated bushfire prone areas maps can be viewed on VicPlan at <https://mapshare.maps.vic.gov.au/vicplan> or at the relevant local council.

Note: prior to 8 September 2011, the whole of Victoria was designated as bushfire prone area for the purposes of the building control system.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>

Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>

For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.  
The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



DP-AD1559  
M.A. Winterton



# DROUIN DRAFTING SERVICE

## Building Designers

### Townplanning Submissions

**\* Residential \* Commercial \* Industrial\***

**36 Weebar Rd. Drouin 3818**

**Ph (03) 5625 1383**

**DDS**

Visit Our Web Site At [members.dcsi.net.au/dds](http://members.dcsi.net.au/dds)

Email :- [dds@dcsi.net.au](mailto:dds@dcsi.net.au)



**Design Matters Member**

By making a copy of this document, you acknowledge that you agree to use the document for the purpose of building design and that any dissemination, distribution or copying of this document is strictly prohibited.



## STRUCTURAL NOTES

The builder is responsible for engaging professional site supervision for all structural works . Any discrepancies on site and or drawings should be reported to the Engineer or Designer before proceeding subject to written instructions.

### TIMBER

- All bolts through timber to be M10 min. unless otherwise noted.
- All structural timber to be OB green HW to F8 or better or as noted.
- Washers min. dimension of 3 x the bolt diam. and 3mm thick are to be fitted where nuts bear on timber.
- All bolts through green timber to be periodically tightened up to 12 months after erection.
- All fasteners exposed to weather to be galvanised or finished with an approved corrosion resistant treatment.
- all timber to timber connection to be formed using 1 Pryda triple grip or equivalent fastener, fitted in accordance with the manufactures specifications unless noted otherwise.
- All floor joists to be blocked at 1800 max. c.c. as required by AS1684, The Light Timber Framing Code.
- Bolt holes to be the same size as the bolt diameter. DO NOT USE coach bolts unless noted on the drawings.
- Timber sizes not shown are to comply with AS1684 The Light Timber Framing Code.

### STEELWORK

- All steelwork to be Grade 250 unless noted otherwise. Square and rectangular hollow sections to be Grade 350.
- Fabrication and erection generally to comply with AS1250 "Steel Structures Code.
- All welds to be 5mm fillet or full strength butt welds unless otherwise noted.
- Provide all cleats, brackets, holes etc. necessary to complete the work.
- All steel gusset plates to be 6mm thick with hole centres 2 diameters from edges O.N.O. All holes to be drilled or punched 2mm oversize U.N.O.
- All steelwork to be prime painted prior to erection except steelwork which is to be embedded in concrete which is to be free from all grease, paint etc.
- All bolts connecting steel to steel to be M12 min. U.N.O.
- Provide all necessary bracing during erection.

### FOOTINGS

- Concrete strength to be 25 MPa min. U.N.O. (except binding conc. min. 15 MPa)
- All footing pads are to be founded on soil of 100 KPa min. and must be of the min. size shown on the working drawings. If 100 KPa bearing capacity cannot be achieved, consult with the engineer before proceeding.
- All excavations to be clean and dry before pouring concrete and approval of Building Authority obtained.

### CONCRETE

- All concrete to be accurately formed to the dimensions shown on the drawings with no allowance for finishes. Reinforcement should be inspected by the engineer as arranged by the builder. Formwork is to remain in place for a minimum of seven (7) days.
- The properties of the concrete at 28 days to be as follows :-
 

Footing : 20 MPa	75 mm slump	20 mm aggregate
Slab : 25 MPa	75 mm slump	14 mm aggregate
- Concrete is to be mechanical vibrated free of air voids during placement taking care not to displace the reinforcement.
- Continuously cure concrete by ponding or other approved method for 7 days after the pouring.

### REINFORCEMENT

- All reinforcement to be accurately placed and wired into position, taking care not to puncture the waterproof membrane where specified.
- Support all reinforcement on bar chairs at 800 mm c/c.
- Wire fabric to comply with AS 1304 with minimum laps of 225 mm.
- Laps at splices to be 500 mm minimum unless specified otherwise.

### SOIL REPORT / SITE CONDITIONS

- SITE PREPARATION  
The slab subgrade must be scalped clear of all grass and organic matter.
- SITE DRAINAGE  
The area within 2 meters of the strip footing of slab must be graded such that water will not pond against the footing system.

### -- LEVELLING FILL

Up to 600 mm of clean granular fill or 300 mm of site derived fill may be placed under the slab panel, providing that this filling is track rolled in layers not exceeding 300 mm loose depth for sand and 150 mm loose depth for clays. Filling must be inspected by the design Engineer prior to placement of concrete.

### -- VAPOUR BARRIER

A 0.2 mm thick durable polythene sheet shall be laid beneath all slabs. Overlaps must be 200 mm or greater. At penetrations and joints, taping of the membrane must occur.

### -- CONCRETE

Unless specified otherwise, all concrete shall be 25 MPa and 80 mm Max slump, except that within 1 KM of the sea shall be 32 MPa.

### -- CURING

All concrete shall be cured for 7 days by ponding or other approved method.

### -- CONCENTRATED LOADS

A point load of up to 10 kN may be applied directly on the slab. Loads up to 25 kN must be applied over edge or interior beams. Where point loads exceed 25 kN engineering advice must be sought.

### -- SPECIAL REQUIREMENTS

The owners attention is drawn to Appendix "A" of AS 2780 - Residential slabs and footings - "Performance requirements and foundation maintenance". These Drawings must be read in conjunction with the Soil Report.

Comply with AS/NZS 4680-1999 Hot-Dip Galvanized (Zinc) Coatings on Fabricated Ferrous Articles.

Note : As this slab design meets or exceeds the minimum requirements of AS 2780 it shall be deemed to be monolithic and hence meets the requirements of the BCA for termite proofing.

Batten Size Depth x Breadth (mm)	Sheet Roofing			Tile Roofing	
	Batten Spacing (mm)				
	450	600	900	1200	330
	Spacing of Rafters or Trusses (mm)				
35 x 70 MPP10	1050	800	600	600	1200
35 x 90 MGP10	1200	1000	800	800	1200
45 x 70 MGP10	1200	1200	1200	1200	1200
45 x 90 MGP10	1200	1200	1200	1200	1200

NS = Not Suitable Tie down every 2nd batten & rafter/truss junction with approved method

## Stormwater Disposal Notes

- \* Downpipes :- 100x75 mm or 90 mm diameter.
- \* Stormwater pipes :- 90 mm diameter PVC at minimum 1 : 100 gradient.
- \* All stormwater to comply with the provisions of Australian Standard AS 3500.
- \* Inspection openings to be provided every 9 m or change of direction or as specified on plans.
- \* Discharge point to be to the back of the existing kerb, or as shown on plans. ( Note :- prior to commencement of works builder to verify with local engineering department their approval of the discharge point. )
- \* Spacing of downpipes is not to exceed 12m & if not located within 1.2m of valleys a overflow to be supplied

## Termite Protection

Under the provisions of the Building Code Of Australia all new buildings must be provided termite protection as specified in area's specified by the controlling Council in which the proposed buildings and works is to be constructed, all termite protection shall be in accordance with AS 3660.

### CONCRETE FLOOR SLAB

#### Option 1.

Spray the ground with ' Dursban by " DowElanco " to a standard that will provide a 10 year warranty. and provide a copy of all relevant documents from installer including copy of warranty to Building Surveyor, or other relevant building practitioner prior to the occupancy certificate being issued for the buildings and works.

#### Option 2.

Provide " Termimesh " to all penetrations through the floor slab and in the external wall cavity, 10 year warranty structural timbers and 5 year warranty on fixtures.

#### Option 3.

Provide " Granitgard " around service pipes and penetrations through the floor slab, across all slab construction joints and form a barrier around the perimeter of the slab with 30 year warranty.

### TIMBER FLOOR CONSTRUCTION

#### Option 4.

Provide ant caps to all stumps to the specification of AS 3660, and the external brick piers, any isolated brick piers and base structure of the building. Where ant caps and metal stripping is provided the min. clearance of 400 mm to the underside of the bearer must be provided to allow for inspection of the termite barriers.

As an option spray could be provided around the stumps and brick base structure and footings with " Dursban " 10 year warranty.

### WARRANTY

The warranty applies only when the system that has been provided to the building has been installed by licenced operators in strict accordance with the manufactures specifications, and the provisions of AS 3660 and the Building Code Of Austalia.

..... Owner to Sign

As the Owner of the Building I understand the abilities and limitations of the products specified. I understand also that the onus to maintain the system to the manufactures requirements as well as to carry out periodical inspections of the termite protection system that has been provided / incorporated in the building.

## Bracing Notes

- \* Bracing to Engineers or frame Manufactures design or as per attached details in accordance with AS 1684
- \* Wind classification to be deemed as N2 unless Engineer specifies otherwise.
- \* 60% of bracing to be structural & installed to support structure during construction.
- \* Bracing shall be provided in both directions & shall initially be placed in external walls & where possible at corners. Then evenly distributed throughout the internal walls
- \* Internal bracing walls to be fixed to ceiling or roof frame &/ or to external wall frame with structural connections (refer AS 1684) Bottom plate of timber framed braced walls to be fixed at ends of bracing panel to floor frame/slab with appropriate structural connection ( refer AS 1684)
- \* If brick base to be used as bracing for subfloor, brick piers to be engaged (Not wire ties)

## Neighbours Privacy Protection

- \* Any habitable room window, balcony, terrace, deck or patio, with a direct view into existing dwellings habitable room window (not offset by 1.5m min) or secluded private open space, measured within 9m radius, & 45d from window edge or deck etc perimeter, to be protected with :-
- \* Obscure glazing fitted below 1.7m above floor level or
- \* Permanently fixed external screens to 1.7m above floor level, of perforated panels or trellis with 25% max. openings or solid translucent panels.
- \* Have a floor level less than 0.8m & a visual barrier (fence) 1.8m high

## General Notes

- \* All relevant works shall comply, but not be limited to The National Construction Code of Australia, The Building Regulations & the following Australian Standards :-

- \* AS 1684 - 2010 National Timber Framing Code
- \* AS 1288 - 2006 Glass in Buildings - Selection and Installation
- \* AS 2047 - Selection and installation of windows.
- \* AS 1562 - 1999 Design and Installation of Metal Sheet Roofing and Wall Cladding
- \* AS 2050 - 2002 Fixing of Roofing Tiles
- \* AS 2870 - 2011 Residential Slabs and Footings Construction
- \* AS 2918 - 2001 Domestic Solid Fuel Burning Appliances Installation
- \* AS 3600 - 2009 Concrete Structures
- \* AS 3660 - 2014 Protection of Buildings from Subterranean Termites
- \* AS 3700 - 2011 Masonry in Buildings & AS 4773
- \* AS 4100 - 1998 Steel Structures
- \* AS 3786 - 2014 Smoke Alarms
- \* AS 1170.1 - 1989 & Timber Promotion Councils "Carports and Pergolas"
- \* AS 3740 - 2010 Waterproofing of Wet Areas within Residential Buildings

- \* Glazing, including safety glazing, shall be installed to a size, type and thickness so as to comply with BCA Part 3.6

- \* Safety glazing to be used in the following cases :-

- All rooms within 500 mm vertical of floor level.
- Bathrooms within 2000 mm vertical from bath bases, within 500 mm horizontal from bath and showers, To shower doors, shower screens and bath enclosures
- Laundry within 1200 mm vertical from floor level, and / or within 300 mm vertical of trough.
- Doorways within 300 mm horizontal from all doors.
- Ensuite as for 2. (Bathrooms)

- \* Provide an impervious substate and select surface finish to floors within 1500 mm of an unenclosed shower and same to walls at 1800 mm above floors and 150 mm above bath, basin, sink and trough splashbacks.

- \* Steps to be in accordance with the B.C.A. (Part 3.9.1) & Slip Resistance Table D2.4 complying with AS 4586

- Risers (R) 190 mm max., 115 mm min. (2m min. ceiling height measured from nosing)
- Going (G) 355 mm max., 240 mm min. (250mm min. commercial) (750mm min. Landings)
- (2R+1G) = 700 mm max 550 mm min (Landing is required at external door if height is more than 570mm or 3 risers)

- \* Provide balustrades in accordance with the B.C.A. (Part 3.9.2) where change in level exceeds 1000mm

- Balustrades to be :- 1000 mm above balconies.
- 865 mm above stair nosing and landings.
- Vertical with a 125 mm max. gap between .
- Handrails to be 865 mm min. above stair nosing and landings.

- \* Window sizes indicated are nominal only unless nominated otherwise.

- \* Area to underside of building and perimeter to be treated against termite infestation as nominated in attached note in accordance with AS 3660

- \* All stormwater to be taken to legal point of discharge to the relevant authorities approval. (See attached note detailing standards where applicable)

- \* These drawings and specification are to be read in conjunction with engineers structural computations and drawings, and all other consultants details, written instructions issued in the course of the contract are also relevant.

- \* All measurements are in millimeters unless otherwise noted, and figured dimensions take precedence over scaled dimensions.

- \* The builder & subcontractors shall check and verify all dimensions and levels prior to the commencement of any works.

- \* Installation of all services shall comply with the respective supply authorities requirements.

- \* Subfloor vents at 1500 mm max. centres and to provide a rate of 6000 sq. mm clear ventilation per 1000 mm run of external wall & 600 from corners. Otherwise H5 Treated timber in ground H3 above ground Subfloor

- \* Concrete stumps :- 100x100 mm (1 No. HD wire) up to 1400 mm long.
- 100x100 mm (2 No. HD wires) 1400 mm to 1800 mm long.
- 125x125 mm (2 No. HD wires) 1800 mm to 3000 mm long.
- Note 100x100 mm stumps exceeding 1200 mm above ground level to be braced.

- \* Provide smoke alarms to AS3786 to proposed and existing structures (hard wired and to be interconnected).

- \* Construction of buildings of class 1, 2 and 3 occupancies in designated bushfire prone areas to be in accordance with AS 3959 - 1999 "Construction of buildings in bushfire prone areas"

- \* Brickwork :-

- Provide brickwork articulated joints every 6000 mm run of brickwork
- Provide wall ties to brickwork at maximum 600mm Ctrs in each direction and within 300mm of articulation joints.
- Spacing of wall ties to top and sides of opening to be halved.
- In areas less than 1 km from the sea or in heavy Industrial areas in bushfire prone areas Galv. sheet steel min. Z 600, or Galv. wire min. 470g/m2, or Galv. stainless steel, or Engineered polymer ties.

- \* Provide ground clearance to underside of bearer of 150mm where strip flooring or 200mm for particle board floors

Steel Lintels to each 110 brick skin over all openings not otherwise specified (see attached notes that you will be provided)

OOPENING	SIZE	MATERIAL
Up to 950	75x10	MS Flat
950 to 1200	75x80 (horiz x 8)	MS Angle
1200 to 1650	90x90 (horiz x 8)	MS Angle
1650 to 2400	100x100 (horiz x 8)	MS Angle
2400 to 3000	150x90 (horiz x 8)	MA Angle

Provide 150mm end bearing to all Lintels

Revised  
29/09/2020

Advertised

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. This document must not be used for any other purpose. By taking a copy of this document, you are deemed to agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Page 14 of 22





\* Minimum Thermal insulation for "Climate Zone 7" to be provided and comply with AS/NZS 4859.1 as follows unless Energy Report or Drawings specify otherwise :-

- For external walls (Total R value of 2.8 required for Climate Zone 7, Structure values BV R0.56 WB R 0.48). Unless otherwise specified on plans provide R2.5 bulk Bradford Soundscreen insulation & sisalation Total R2.85 + structure
- For Suspended Timber Floors (Climate Zone 7 Total R2.75 value required), for enclosed perimeter structure value R0.79 & unenclosed perimeter structure R0.51, provide (R2.2 Aircell) or (R2.6, 15mm Foilboard to underside joists), block between end joists to enclose perimeter) or Wren Industrys concertina foil batts R3.1
- A Roof must achieve Total R5.1 value for Climate Zone 7. Unless specified otherwise on plans provide R4.0 bulk insulation & sarking to roof or ceiling.
- Conc slab floors with in-slab heating or cooling system to be R1.0 insulated to verticle edge as per BCA Part 3.12.1.5 suspended conc slabs R1.0 insulated to underside as well (Note :- Sisalation to have a flammability index not exceeding 5

**BUILDING SEALING (BCA 3.12.3)**

- \* Chimneys or flues to solid fuel burning appliances must be fitted with a damper or flap for closure
- \* Habitable Rooms fitted with the following need to be sealed to minimise air leakage:-
  - Roof lights with imperforated diffuser, weather proof seal or shutter system.
  - External windows & doors to be fitted with edge seals which comply with AS2047.
  - Exhaust fans to be self sealing & kitchen rangehoods fitted with filters.
  - Building fabric ie roofs, external walls & floors to be sealed to minimise leakage.
  - Evaporative coolers to be fitted with self closing dampers.

**SERVICES (BCA Part 3.12.5)**

- \* Thermal insulation for piping & ductwork must withstand temperatures to which it is exposed and be protected from deterioration of weather & sunlight.

**Central Heating Water Piping (BCA 3.12.5.2)**

- \* Internal piping located within an unventilated space, internal floors between storeys or between ceiling & ceiling insulation and encase in concrete to be 9mm of closed cell polymer R0.2 or equivalent.
- \* Piping located within ventilated wall space, and enclosed building subfloor or roof space to be 19mm closed cell polymer R0.45 or equivalent.
- \* Piping located outside the building or unenclosed subfloor or roof space to be 25mm of closed cell polymer R0.6 or equivalent.
- \* Refer BCA Table 3.12.5.1 for details

**Heating & Cooling Ductwork (BCA 3.12.5.3)**

- \* Heating-Only or Refrigerated Cooling-Only system ductwork to have minimum R1.0 (70mm polyester fibre insulation 450g/m<sup>2</sup> or equivalent.
- \* Combined Heating and Refrigerated Cooling system ductwork R1.5 (90mm polyester fibre insulation 800g/m<sup>2</sup> or equivalent. Note maybe reduced to R1.0 if ducts are located under suspended floor within enclosed perimeter or roof space with R0.5 insulation under roofing.
- \* Fittings to have minimum R0.4 total value.

**EXTERNAL GLAZING (BCA Part 3.12.2)**

- \* Refer ABCB Glazing Calculator document for determined values
- \* Refer BCA Figure 3.12.2.2 for shading assessment criteria Note:- if "G" exceeds 500mm "P" must be halved

**ROOF LIGHTS (BCA Part 3.12.1.3)**

- Roof lights serving habitable rooms, passages & stairways:-
- \* If total area is more than 1.5% but less than 10% of floor area of room, they must comply with BCA Table 3.12.1.2
- \* If total area of roof lights is more than 10% of floor area of room, transparent elements including defuser must achieve:-
  - SHGC of no more than 0.25
  - Total U value of no more than 1.3

Table 3.9.2.1 WIRE BALUSTRADE CONSTRUCTION - REQUIRED WIRE TENSION (T) AND MAXIMUM PERMISSIBLE DEFLECTION (D)

Support (post or rail) Spacing (mm)	Stainless Steel Wire												Galvanised Steel Wire						
	Wire Diameter (mm) and Lay																		
	2.5	2.5	3.0	4.0	4.0	4.0	4.0	3.25											
	7x7	1 x19	1 x19	7x7	7x7	7x19	1 x19	1 x6											
	Wire Spacing (mm)																		
	60	60	80	100	60	80	100	60	60	80	100	60	60	80	100				
600	T	6	35	420	1140	25	325	1090	81	29	155	394	1038	6	45	240	1060		
	D	20	20	9	2	19	8	2	19	18	18	8	3	18	30	10	3		
800	T	198	218	630	1565	183	555	1500	242	213	290	654	1412	127	140	537	1540		
	D	13	13	7	2	16	6	2	16	14	14	7	3	14	23	7	3		
900	T	294	310	735	N/A	261	670	1705	323	242	358	785	1598	242	188	685	1780		
	D	11	11	5	N/A	13	6	2	13	12	12	6	3	12	20	6	3		
1000	T	390	402	840	N/A	340	785	1910	404	329	425	915	1785	358	235	853	N/A		
	D	10	10	5	N/A	11	6	2	11	10	10	5	3	10	17	6	WA		
1200	T	583	585	1050	N/A	520	1015	N/A	525	519	599	1143	2165	525	435	1190	N/A		
	D	9	9	5	N/A	8	6	N/A	8	8	4	2	8	13	6	N/A			
1500	T	860	810	1400	N/A	790	1330	N/A	681	785	860	1485	2735	785	735	N/A	N/A		
	D	8	8	5	N/A	7	5	N/A	7	8	8	4	2	8	10	N/A	N/A		
1800	T	1100	1125	1750	N/A	1025	1725	N/A	980	1050	1080	1860	N/A	1000	1150	N/A	N/A		
	D	8	8	N/A	N/A	7	5	N/A	7	7	8	4	N/A	8	10	N/A	N/A		
2000	T	1229	1325	N/A	N/A	1180	1980	N/A	1171	1188	1285	2105	N/A	1090	N/A	N/A	N/A		
	D	8	8	N/A	N/A	7	5	N/A	7	7	7	4	N/A	7	N/A	N/A	N/A		
2500	T	1581	N/A	N/A	N/A	N/A	N/A	N/A	1483	1719	1540	2615	N/A	1488	N/A	N/A	N/A		
	D	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	7	7	4	N/A	7	N/A	N/A	N/A		

Notes:  
 1. Tension (T) = when measured with a strain indicator the minimum required tension of the wire balustrades in Newtons (N)  
 2. Deflection (D) = maximum permissible deflection in (mm) of the wire balustrades when a 2 kg mass is suspended mid-span between the posts  
 3. Lay = number of strands by the number of individual wires in each strand. For example 7 x 19 = 7 strands, each with 19 individual wires in each strand  
 4. Galvanised Steel Wire is only to be used in straight run applications  
 5. Where a change of direction is made in the run of a wire, the tensioning device is to be placed at the end of the longest span.  
 6. N/A = wire balustrades not allowed in this situation  
 7. Tension (T) of greater than 1000 Newtons (N) not suitable unless steel post supports

TABLE E2  
SOME TIMBER SPECIES WITH A DENSITY OF 650 kg/m3 OR GREATER

Standard trade name	Botanical name
Ash, alpine	Eucalyptus delegatensis
Ash, Crow's	Flindersia australis
Ash, mountain	Eucalyptus regnans
Ash, silvertop	Eucalyptus sieberi
Balau (selangan batu)	Shorea spp.
Bangkirai	Shorea laevifolia
Beech. myrtle	Nothofagus cunninghamii
Belian	Eusideroxylon zwageri
Blackbutt	Eucalyptus pilularis
Blackbutt, New England	Eucalyptus andrewsii & campanulata
Blackwood	Acacia melanoxylon
Box. brush	Lophostemon confertus
Box, grey	Eucalyptus microcarpa
Box, grey, coast	Eucalyptus bosistoana
Box, white-topped	Eucalyptus quad rangulata
Box, yellow	Eucalyptus melliodora
Brownbarrel	Eucalyptus fastigata
Candlebark	Eucalyptus rubida
Cypress	Callitris glaucophylla
Gum, blue, southern	Eucalyptus globulus
Gum, blue, Sydney	Eucalyptus saligna
Gum, grey	Eucalyptus propinqua
Gum, grey, mountain	Eucalyptus cypellocarpa
Gum, Maiden's	Eucalyptus maidenii
Gum, manna _	Eucalyptus viminalis
Gum, mountain	Eucalyptus dalrympleana
Gum, red. forest	Eucalyptus tereticornis
Gum, red, river	Eucalyptus camaldulensis
Gum, rose	Eucalyptus grandis
Gum, shinning	Eucalyptus nitens
Gum, spotted	Corymbia maculata
Corymbia hen ryi	
Corymbia citriodora	
Gum, sugar	Eucalyptus cladocalyx
Hardwood, Johnstone River	Backhousia bancroftii
Ironbark, grey	Eucalyptus paniculata
Ironbark, red	Eucalyptus sideroxylon

TABLE E2 (continued)

Standard trade name	Botanical name
Jarraah	Eucalyptus marginata
Kapur	Dryobalanops spp.
Karri	Eucalyptus diversicolor
Kempas	Koompassia malaccensis
Keruing	Dipterocarpus spp.
Kwila (Merbau)	Intsia bijuga
Mahogany, Philippine red, dark	Shorea spp.
Mahogany red	Eucalyptus resinifera
Mahogany, southern	Eucalyptus botryoides
Mahogany, white	Eucalyptus acmenoides
Messmate	Eucalyptus obliqua
Messmate, Gympie	Eucalyptus cloeziana
Northern Box (Pelawan)	Tristaniopsis spp.
Oak, American	Quercus spp.
Peppermint, narrow-leaved	Eucalyptus australiana
Pine, celery-top	Phyllocladus asplenifolius
Pine, slash	Pinus elliotii
Ramin	Gonystylus spp.
Rosewood, New Guinea	Pterocarpus indicus
Satinay	Syncarpia hillii
Stringybark, Blackdown	Eucalyptus sphaerocarpa
Stringybark, blue-leaved	Eucalyptus agglomerata
Stringybark, brown	Eucalyptus baxteri
Stringybark, silvertop	Eucalyptus laevopinea
Stringybark, white	Eucalyptus eugeninides
Stringybark, yellow	Eucalyptus muelleriana
Tallowwood	Eucalyptus microcorys
Taun	Pometia pinnata
Turpentine	Syncarpia glomulifera
Vitex, New Guinea	Vitex cofassus
Woollybutt	Eucalyptus longifolia

TABLE E1  
TIMBER SPECIES WITH A DENSITY OF 750 kg/m3 OR GREATER

Standard trade name	Botanical name
Ash, Crow's	Flindersia australis
Ash, silvertop	Eucalyptus sieberi
Balau (selangan batu)	Shorea spp.
Bangkirai	Shorea laevifolia
13elian	Eusideroxylon zwageri
Blackbutt	Eucalyptus pilularis
Blackbutt, New England	Eucalyptus andrewsii & campanulata
Box, brush	Lophostemon confertus
Box, grey	Eucalyptus microcarpa
Box, grey, coast	Eucalyptus bosistoana
Box, white-topped	Eucalyptus quadrangulata
Box, yellow	Eucalyptus melliodora
Brownbarrel	Eucalyptus fastigata
Candlebark	Eucalyptus rubida
Gum, blue, southern	Eucalyptus globulus
Gum, blue, Sydney	Eucalyptus saligna
Gum, grey	Eucalyptus propinqua
Gum, grey, mountain	Eucalyptus cypellocarpa
Gum, Maiden's	Eucalyptus maidenii
Gum, manna	Eucalyptus viminalis
Gum, red, forest	Eucalyptus tereticornis
Gum, red, river	Eucalyptus camaldulensis
Gum, rose	Eucalyptus grandis

TABLE E1 (continued)

Standard trade name	Botanical name
Gum, spotted	Corymbia maculata
Corymbia henryi	
Corymbia citriodora	
Gum, sugar	Eucalyptus cladocalyx
Hardwood, Johnstone River	Backhousia bancroftii
Ironbark, grey	Eucalyptus paniculata
Ironbark, red	Eucalyptus sideroxylon
1 arrah	Eucalyptus marginata
Kapur	Dryobalanops spp.
Karri	Eucalyptus diversicolor
Kempas	Koompassia malaccensis
Keruing	Dipterocarpus spp.
Kwila (Merbau)	Intsia bijuga
Mahogany red	Eucalyptus resinifera
Mahogany, southern	Eucalyptus botryoides
Mahogany, white	Eucalyptus acmenoides
Messmate	Eucalyptus obliqua
Messmate, Gympie	Eucalyptus cloeziana
Northern Box (Pelawan)	Tristaniopsis spp.
Oak, American	Quercus spp.
Peppermint, narrow-leaved	Eucalyptus australiana
Satinay	Syncarpia hillii
Stringybark, Blackdown	Eucalyptus sphaerocarpa
Stringybark, blue-leaved	Eucalyptus agglomerata
Stringybark, brown	Eucalyptus baxteri
Stringybark, silvertop	Eucalyptus laevopinea
Stringybark, white	Eucalyptus eugenoides
Stringybark, yellow	Eucalyptus muelleriana
Tallowwood	Eucalyptus microcorys
Turpentine	Syncarpia glomulifera
Woollybutt	Eucalyptus longifolia

**F4 TESTED SPECIES**

The following species have been tested and have met the requirements of Paragraph F2 Appendix F

Standard trade name	Botanical name
Ash, silvertop	Eucalyptus sieberi
Blackbutt	Eucalyptus pilularis
Gum, red, river	Eucalyptus camaldulensis
Gum, spotted	Corymbia maculata
Corymbia henryi	
Corymbia citriodora	
Iron bark, red	Eucalyptus sideroxylon
Kwila (Merbau)	Intsia bijuga
Turpentine	Syncarpia glomulifera

**Wdow Barriers:-**

For windows generally, where a fall height from the floor to ground below is 4m or greater, there will be no openings greater than 125mm within 865mm of the floor and no horizontal climbing elements between 150mm and 760mm (including sill) unless any opening greater than 125mm is permanently screened

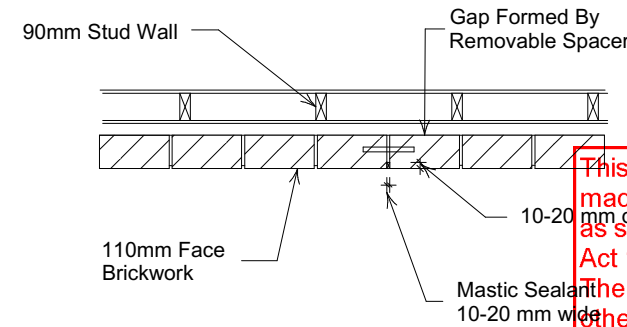
For windows in bedrooms of Class 1, 2 and 3 buildings, Class 4 part of a building or Class 9b Early Childhood Centres, where a fall height from floor to ground below is 2m or greater, all openings within 1700mm of floor shall be fitted with either a device to restrict the opening size, or a screen with secure fittings to restrict openings to 125mm max and resist a outward force of 250N.

The device or screen may be removable but must have a child resistant catch. However, If the device or screen is removable, there will be no openings greater than 125mm within 865mm of the floor and no horizontal climbing elements between 150mm and 760mm (including sill)

Table 3.9.1.1 Slip-Resistance Classification

Application	Surface conditions	
	Dry	Wet
Tread surface	P3 or R10	P4 or R11
Nosing strip	P3	P4

or nosing strip same



**ARTICULATED BRICK JOINT DETAIL**  
Scale 1:20

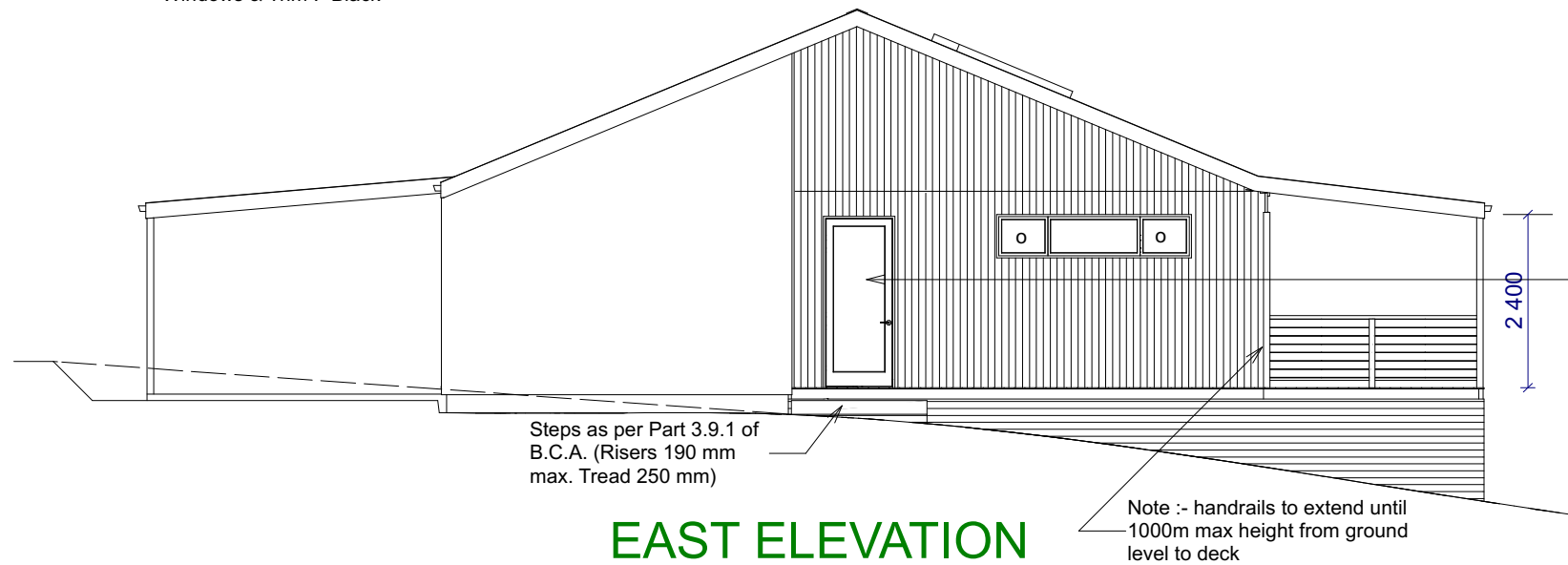
This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By signing a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



**COLOUR SCHEDULE**

Roof :- Colorbond Surf Mist  
Walls :- Shale Grey Render & Timber Cladding  
Windows & Trim :- Black



Steps as per Part 3.9.1 of B.C.A. (Risers 190 mm max. Tread 250 mm)

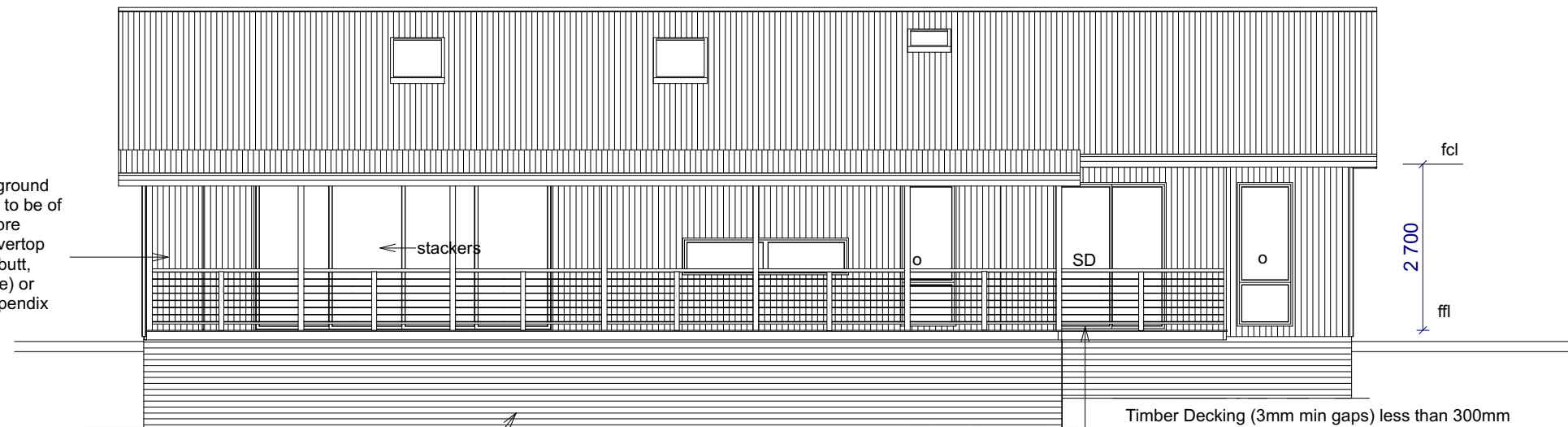
**EAST ELEVATION**

Note :- handrails to extend until 1000mm max height from ground level to deck

AWS or similar tested hinged or sliding door system must be used compliant with AS1530.8.1 2007, there is no requirement to screen the operable part of the door or  
The following deem-to-satisfy approach can be used

- Where glazing is incorporated glass shall be Grade A safety 4mm min toughened in accordance with AS1288 -2006.
- Side-hung doors require draught excluders installed at the sill. Sliding doors to have tight fitting seals.
- No requirement to screen the operable portion of a sliding door.
- Where any part of the door assembly is within 400mm to the ground or other structures (decks), and less than 18 degrees to the horizontal, door frames must be made from:
  - a. Bushfire resistant timber (Appendix F).
  - b. Timber species as listed in Appendix E.
  - c. Metal / Aluminium.
  - d. uPVC with reinforced corrosion resistant steel.

Any part of a external wall 400mm above ground level, decks, carport roofs or similar fittings to be of non combustibile material, 6mm min th'k fibre cement or bushfire resistant timber (ie Silvertop Ash, Red Ironbark, River Red Gum, Blackbutt, Spotted Gum, Kwila (Merbau) & Turpentine) or Timber species listed in AS 3959-2009 Appendix E Table E1



No requirement to enclose Decks, but if done, all materials within 400mm of ground to comply as per wall requirements, any vents or baseboards to perimeter within 400mm of ground for subfloor ventilation as required for BCA (Refer Notes) to be protected with corrosion resistant steel, bronze or aluminum mesh max aperture 2 mm and baseboards to be of bushfire resistant timber (ie Silvertop Ash, Red Ironbark, River Red Gum, Blackbutt, Spotted Gum, Kwila (Merbau) & Turpentine) or Timber species listed in AS 3959-2009 Appendix E Table E1

**NORTH ELEVATION**

Timber Decking (3mm min gaps) less than 300mm horizontally from glazing elements and that are less than 400mm vertically from deck surface to be of non combustibile material or bushfire resistant timber (ie Silvertop Ash, Red Ironbark, River Red Gum, Blackbutt, Spotted Gum, Kwila (Merbau) & Turpentine) or Timber species listed in AS 3959-2009 Appendix E Table E1

**This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.**

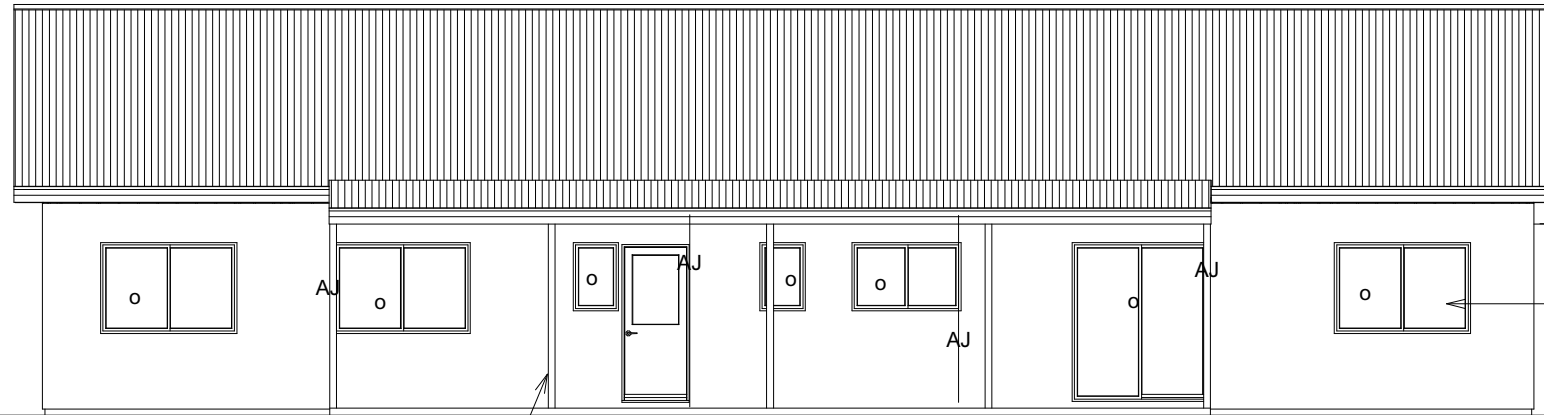
**By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.**

Maurice Winterton  
DMN110/0011  
Address  
475 Longsight Drive Rd  
Dandenong  
VIC 3181  
Phone  
123.4  
Email  
m.winterton@123.4.com.au

Any gaps greater than 3 mm, under corrugations or ribs of sheet roofing and between roof components, sealed at the fascia or wall line and at valleys, hips and ridges by a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or mineral wool or other non-combustible material

Note :- Eave gutters to be provided with overflow provisions along the entire length Refer AS/NZS 3500.3:2015 Plumbing and drainage Part 3: Stormwater drainage Appendix G. ie High front gutters to be installed with a spacer to achieve 10mm gap between fascia and gutter, or be slotted & be provided with a 3mm gap spacer or be provided with flashing

Note:- Windows to be flashed in accordance with BCA Vol 2, Part 3.5.4.6 to be fixed 25mm min under cladding & to extend over ends and edges of the framing of the opening



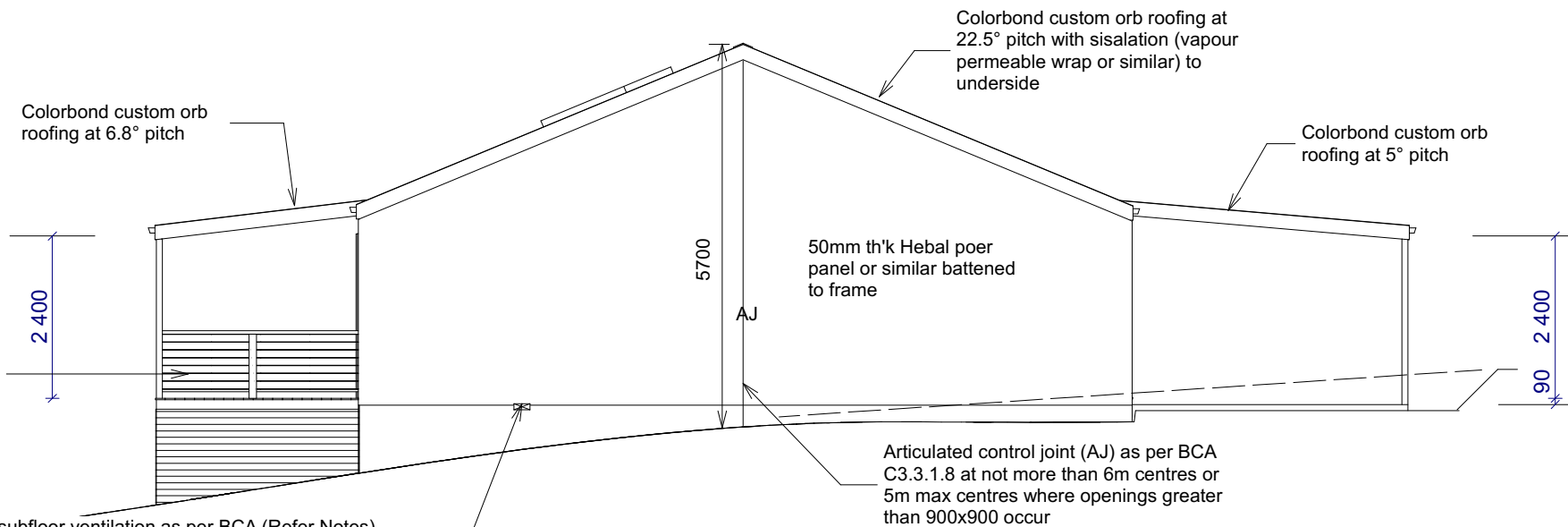
## SOUTH ELEVATION

Verandah Posts must be either timber fixed on a galvanised shoe or stirrup 75mm above the adjacent finished surface or where less than 400mm from the surface of the deck be non-combustible or bushfire resistant timber or a timber species specified in Appendix E.

Water and gas pipes are required to be metal above ground and now the metal pipe must also extend 400mm into the wall and 100mm underground

AWS or similar tested window system must be used compliant with AS1530.8.1 2007, operable portion of the window must be screened internally or externally with metal screens with an aperture of 2mm made from corrosion resistant steel, bronze or aluminum or

- The following deem-to-satisfy approach can be used
- All openings must be screened internally or externally with metal screens with an aperture of 2mm made from corrosion resistant steel, bronze or aluminium.
- Where glazing is less than 400mm from the ground or other structures (decks etc) and less than 18 degrees to the horizontal, Grade A safety glass minimum 4mm must be used.
- If windows incorporate glazing within 400mm to the ground, they must be manufactured from:
  - a. Bushfire resistant timber (Appendix F).
  - b. Timber species as listed in Appendix E.
  - c. Metal / Aluminium.
  - d. uPVC with reinforced corrosion resistant steel.
- Externally fitted hardware that supports the sash in its function must be metal.



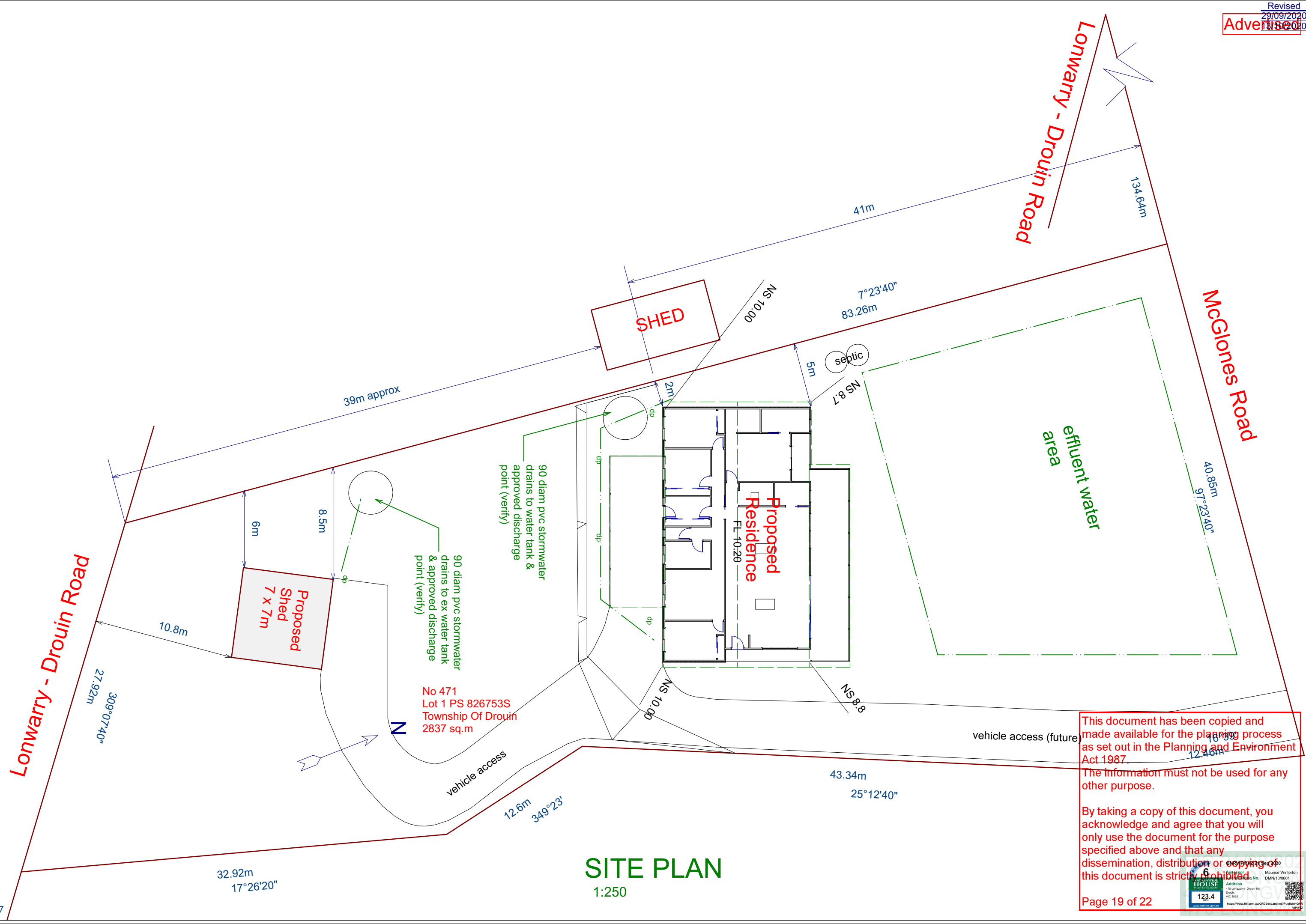
## WEST ELEVATION

1000h balustrade as per Part 3.9.2 of BCA (Refer Notes) 125 max gaps or refer attached Table 3.9.2.1 for tensioned wire or manufacturers specification for glass with interlinking handrail

vents or gap to perimeter for subfloor ventilation as per BCA (Refer Notes) vents to be protected with corrosion resistant steel, bronze or aluminum mesh max aperture 2 mm or baseboards of bushfire resistant timber (ie Silvertop Ash, Red Ironbark, River Red Gum, Blackbutt, Spotted Gum, Kwila (Merbau) & Turpentine) or Timber species listed in AS 3959-2009 Appendix E Table E1 and gaps protected with mesh

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



No 471  
 Lot 1 PS 826753S  
 Township Of Drouin  
 2837 sq.m

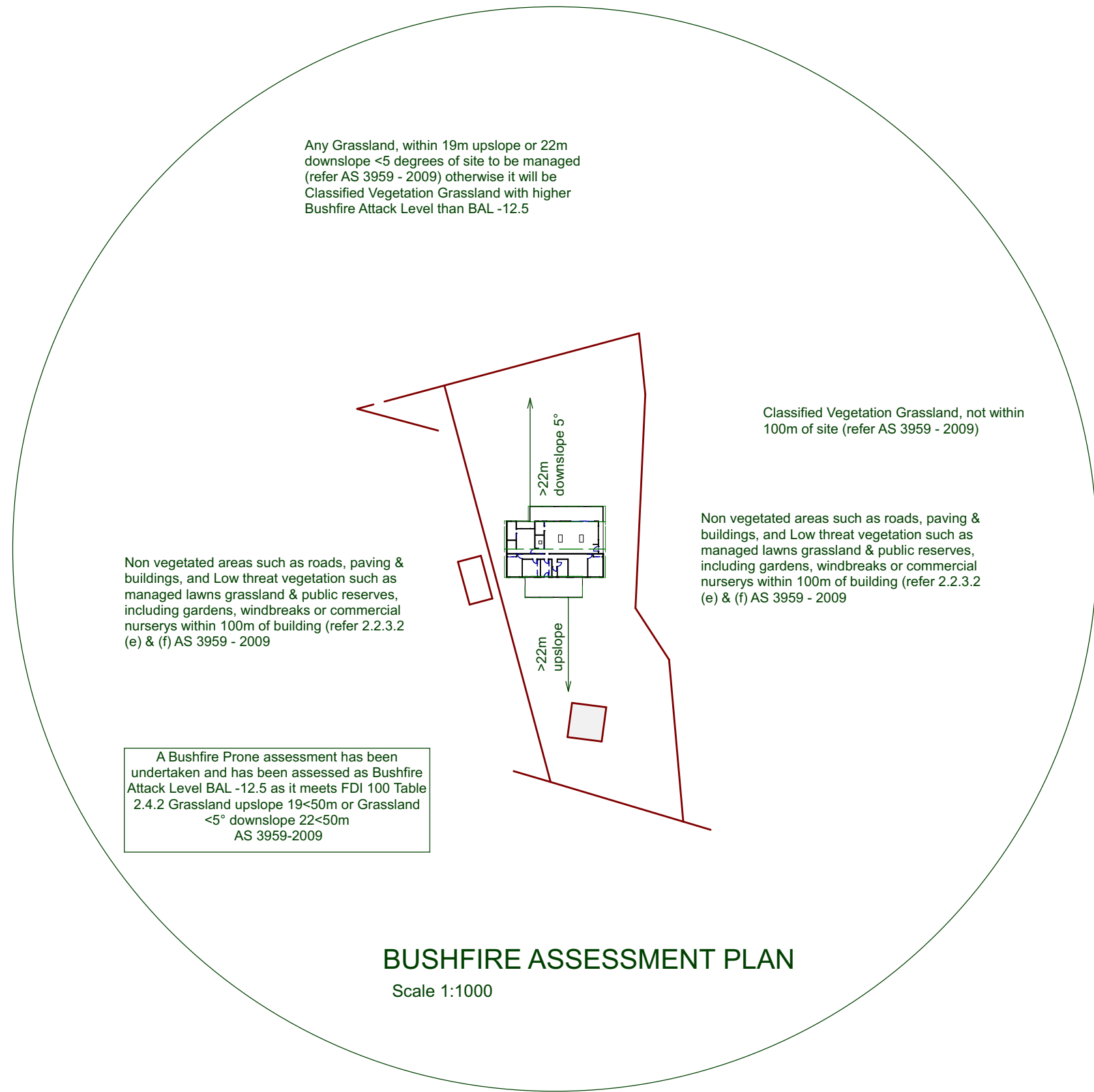
**SITE PLAN**  
 1:250

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.

The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

6  
 HOUSE  
 123.4  
 Maurice Winterton  
 DMN110001  
 Address  
 475 Lonwarry Drouin Rd  
 Drouin  
 VIC 3618  
 Email  
 maurice@winterton.com.au  
 https://www.mw.com.au/QRCode/Listing/Publication/1234



Any Grassland, within 19m upslope or 22m downslope <5 degrees of site to be managed (refer AS 3959 - 2009) otherwise it will be Classified Vegetation Grassland with higher Bushfire Attack Level than BAL -12.5

Classified Vegetation Grassland, not within 100m of site (refer AS 3959 - 2009)

Non vegetated areas such as roads, paving & buildings, and Low threat vegetation such as managed lawns grassland & public reserves, including gardens, windbreaks or commercial nurseries within 100m of building (refer 2.2.3.2 (e) & (f) AS 3959 - 2009)

Non vegetated areas such as roads, paving & buildings, and Low threat vegetation such as managed lawns grassland & public reserves, including gardens, windbreaks or commercial nurseries within 100m of building (refer 2.2.3.2 (e) & (f) AS 3959 - 2009)

A Bushfire Prone assessment has been undertaken and has been assessed as Bushfire Attack Level BAL -12.5 as it meets FDI 100 Table 2.4.2 Grassland upslope 19<50m or Grassland <5° downslope 22<50m AS 3959-2009

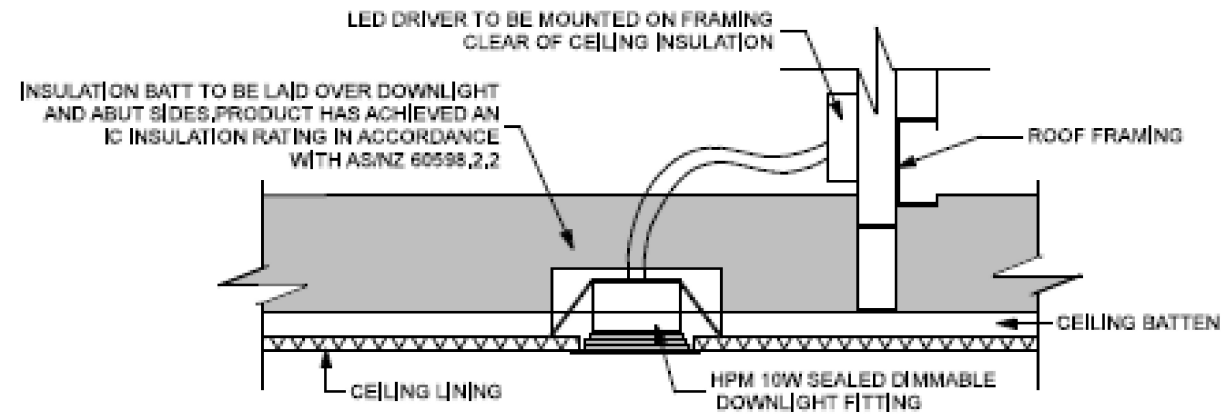
### BUSHFIRE ASSESSMENT PLAN

Scale 1:1000

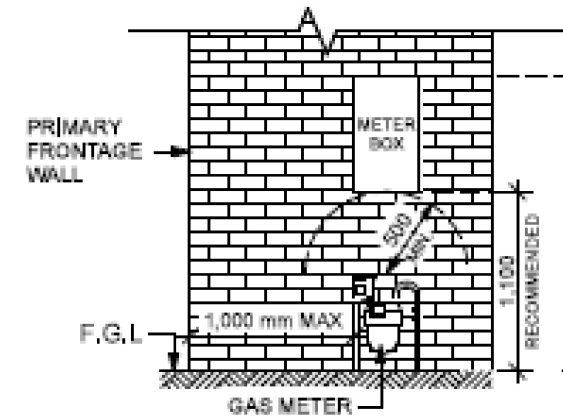
This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Page 20 of 22



**INSULATION TO DOWNLIGHT DETAIL**



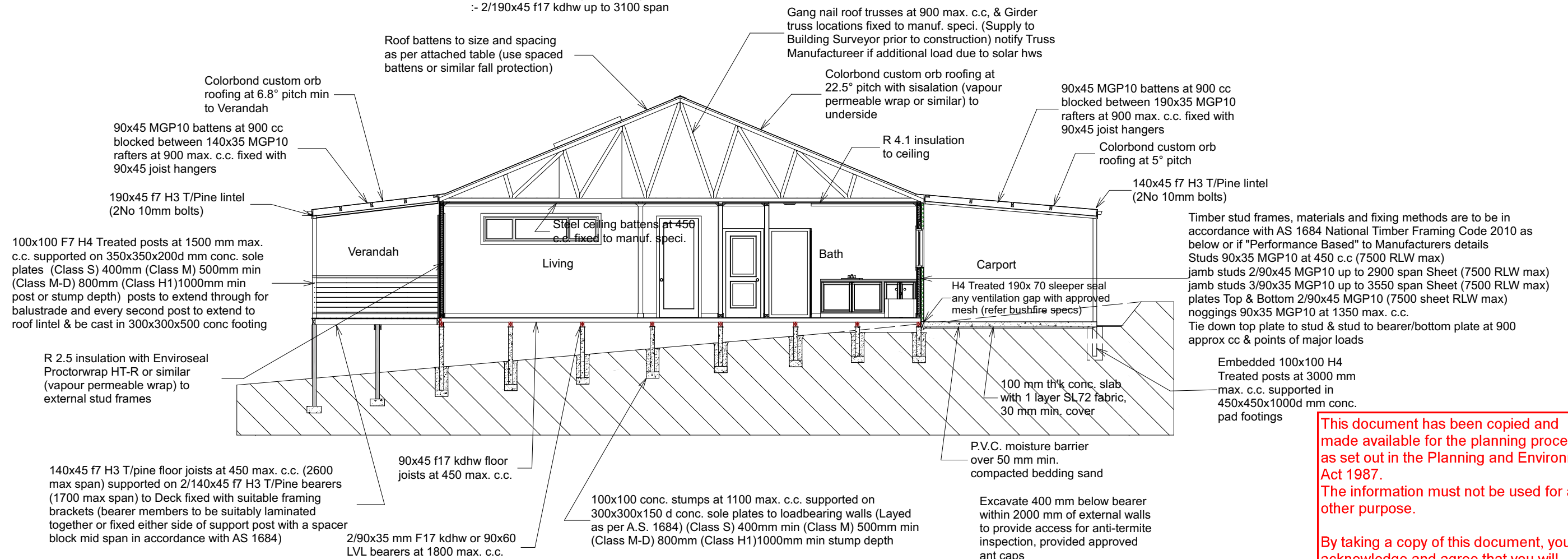
**NOTE:**

1. MINIMUM CLEARANCE BETWEEN ANY PART OF THE ELECTRICAL EQUIPMENT AND THE GAS METER REGULATOR SHALL BE 500mm
2. GAS METERS THAT PROTRUDE MORE THAN 300mm FROM THE WALL SHALL NOT BE INSTALLED BELOW THE ELECTRICITY METER BOX.

**GAS METER LOCATION N.T.S**

Timber Lintel size as follows for RLW 7500 max:-

- 90x45 f17 kdhw up to 1200 span
- 140x45 f17 kdhw up to 1900 span
- 190x45 f17 kdhw up to 2500 span
- 2/190x45 f17 kdhw up to 3100 span

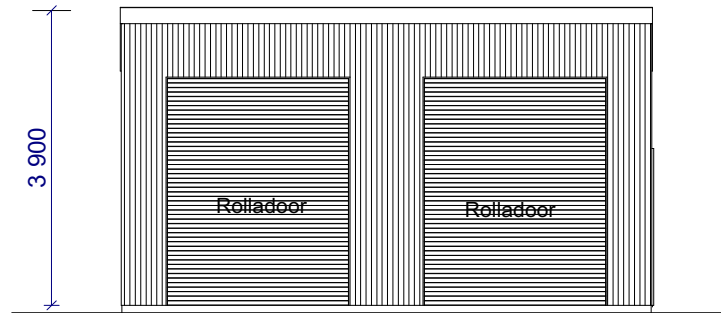


**TYPICAL SECTIONAL ELEVATION**

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

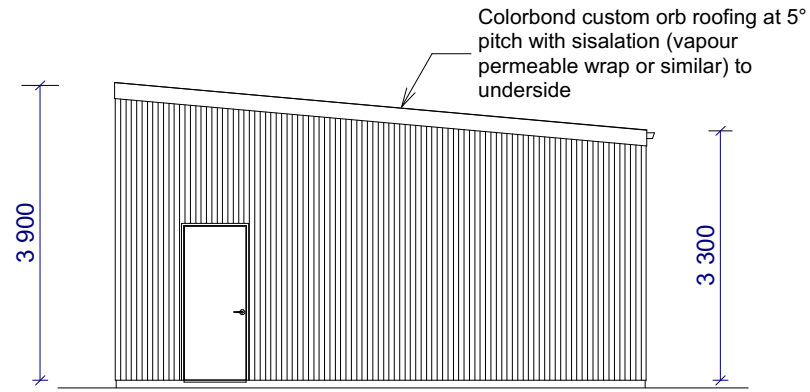
By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.





FRONT ELEVATION

NORTH

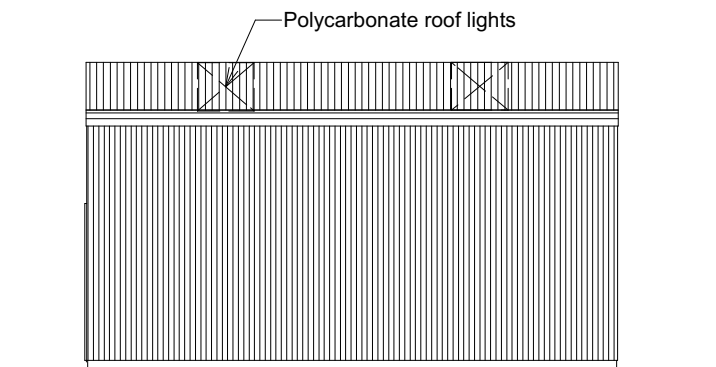


SIDE ELEVATION

EAST

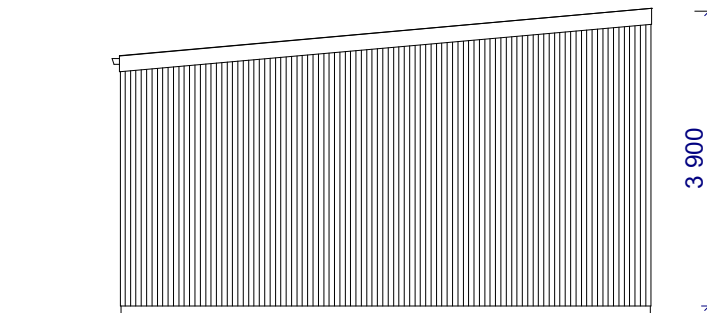
All Colourbond Construction

"Shale Grey"



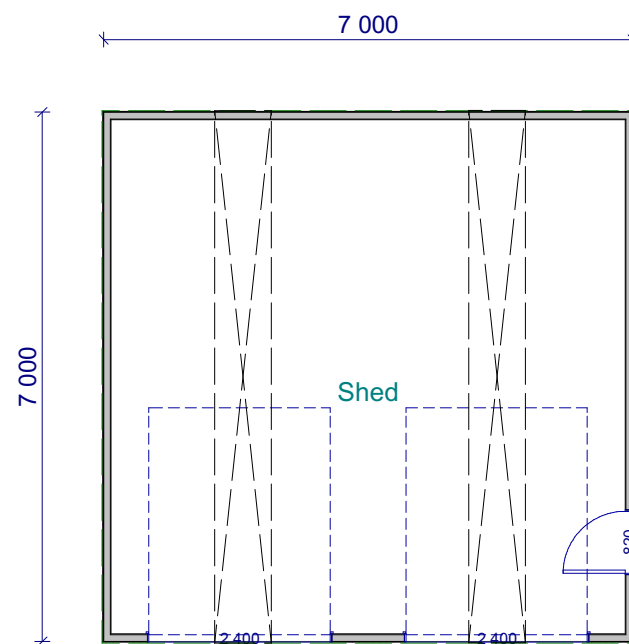
REAR ELEVATION

SOUTH



SIDE ELEVATION

WEST



This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

