



# Application for a Planning Permit

## Section 1: LAND DETAILS

Unit Number:	Street Number: <b>125</b>	Street Name: <b>Rendell Road</b>
Town: <b>Neerim East</b>	Postcode: <b>3831</b>	

**FORMAL LAND DESCRIPTION** (Please complete either A or B – this information can be found on the Certificate of Title)

### Option A:

Lot No:	<b>1</b>		
Type of Plan: Please tick ✓	Lodge Plan <input type="checkbox"/>	Title Plan <input checked="" type="checkbox"/>	Plan of Subdivision <input type="checkbox"/>
Plan Number:	<b>TP290735P</b>		

### Option B:

Crown Allotment Number:	
Section Number:	
Parish/Township Name:	

## Section 2: PERMIT APPLICANT

Name:	<b>Lucy Williams</b>		
Business:	<b>Lucy Williams Architect</b>		
Postal Address:	<b>1/6 Macaulay Crt</b>		
	<b>Eltham</b>	Postcode:	<b>3095</b>
Telephone No. (H)	(W)	(M)	<b>0427 133 377</b>
Email Address:	<b>lucy@lucywilliamsarchitect.com.au</b>		

## Section 3: OWNER DETAILS (If different to the Applicant)

Name(s):	[REDACTED]		
Postal Address:	[REDACTED]		
		Postcode:	[REDACTED]
Telephone No. (H)	(W)	(M)	[REDACTED]
Email Address:	[REDACTED]		

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## Section 4: DEVELOPMENT COST - Estimated Cost of development for which the permit is required

<b>\$800,000</b>
------------------

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**Section 5: PROPOSAL** You must give full details of the proposal being applied for. Insufficient or unclear information will delay your application..

**Advertised**

For what use, development or other matter do you require a permit?

**Development:**

<input type="checkbox"/> Advertising Signage	<input type="checkbox"/> Development of 2 or more dwellings Qty: <input style="width: 50px;" type="text"/>
<input type="checkbox"/> Agricultural Outbuildings	<input type="checkbox"/> Mixed Use Development and Reduction of Carparking
<input type="checkbox"/> Buildings and Works and Reduction in Carparking	<input type="checkbox"/> Residential Outbuildings
<input type="checkbox"/> Commercial or Industrial Buildings and Works	<input type="checkbox"/> Single Dwelling
<input type="checkbox"/> Extension / Alteration to Dwelling	<input type="checkbox"/> Telecommunications

**Use:**

<input type="checkbox"/> Buildings and Works and Change of Use	<input type="checkbox"/> Home Based Business
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Sale and Consumption of Liquor
<input type="checkbox"/> Change of Use and Single Dwelling	

**Subdivision:**

<input type="checkbox"/> Boundary Realignment	<input type="checkbox"/> 3 or more Lot Subdivision Qty: <input style="width: 50px;" type="text"/>
<input type="checkbox"/> Variation/ Removal of Restriction	<input type="checkbox"/> Create an easement
<input type="checkbox"/> 2 Lot Subdivision	<input type="checkbox"/> 100 or more Lot Subdivision Qty: <input style="width: 50px;" type="text"/>

**Subdivision / Vegetation Removal:**

<input type="checkbox"/> Native Vegetation Removal or Lopping	<input type="checkbox"/> Non Native Vegetation Removal or Lopping (ESO4)
<input type="checkbox"/> Subdivision Qty: <input style="width: 50px;" type="text"/>	<input type="checkbox"/> Alteration of access RDZ1

**Other:**

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Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, Section 173 agreement or other obligation such as an easement or building envelope?

Yes     No     Not Applicable (no such covenant, section 173 agreement or restriction applies)

If yes, you should contact Council for advice as to how to proceed with the application.

**FURTHER DETAILS OF PROPOSAL** (optional)

**Section 6: EXISTING CONDITIONS** Describe how the land is used and developed now.

Advertised

Provide a plan of the existing conditions. Photos are also helpful.

**Section 7: PRE-APPLICATION MEETING** Has there been a Pre-Application meeting with a Council Planning Officer?

No <input type="checkbox"/>		
Yes <input type="checkbox"/>	If yes, with whom?	
	Date of this meeting	

**Section 8: DECLARATION** This form must be signed. Complete box A or B

<b>A.</b> I declare that I am the Applicant and all information given is true and correct.	Applicant signature: <i>L Williams</i>	Date:
<b>B.</b> I/We the Applicant declare that I/We have notified the owner about this application and that all information given is true and correct.	Applicant Signature:	Date:

**CHECK LIST** Please ensure you have included the following items with your application form. *Failure to provide all the information above may result in a delay in the processing of the application.*

- A fully completed and signed copy of this form.
- The application fee (if not already paid). Most applications require a fee to be paid.
- Contact Council to determine the appropriate fee.
- Full and current copy of title and title plan (no older than 60 days) for each individual parcel of land forming the subject site. The title includes: the covering register search statement, the title plan and the associated title documents (known as instruments).
- Provided plans showing the layout and details of the proposal
- Provided any information required by the planning scheme, requested by Council
- Provided a description of the likely effect of the proposal (if required)
- Completed the declaration in Section 8
- Provided a contact phone number and e-mail address

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**PLEASE FORWARD THIS APPLICATION TO**

**Advertised**

<b>E-mail:</b>	planning@bawbawshire.vic.gov.au	<b>Mail:</b>	Planning Department, Baw Baw Shire Council PO Box 304 Warragul VIC 3820
<b>Phone:</b>	5624 2411		
<b>In Person:</b>	Customer Service Centres	1 Civic Place Warragul	OR 33 Young Street Drouin

The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application.

These third parties generally include, but are not limited to:

Transport Infrastructure Agencies such as VicRoads and VLine

Energy/Utilities Providers

Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

All information collected and held by Council is managed in accordance with Councils Privacy Policy which is available on our website. If you choose not to supply the requested information it may impair the ability of Council to consider your application or prevent Council from communicating with you in relation to your application.

If you have any concerns or require access to the information held by Council, please contact us on 5624 2411.

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Lucy Williams Architect

Lucy Williams – Architect – ARBV 17370

Advertised

mob +61 427 133 377

lucy@lucywilliamsarchitect.com.au

1/6 Macaulay Crt, Eltham 3095

ABN – 22 482 937 703

19<sup>th</sup> August 2021

**Baw Baw Shire Council**

Planning Department

PO Box 304

Warragul VIC 3820

Dear Theresa,

**Re: PLA0186/21**

Thank you for your feedback and request for further information for this application. In response to your request please find attached the following;

1. Section 173 Agreement (AC674643E -17/02/2004) as part of Appendix A in the Town Planning Report.
2. See drawing T104 Development Extents included as part of the drawing package. This drawing demonstrates that the rural dwelling extension, together with its domestic outbuildings, yards, pool, garden, primary and secondary wastewater envelopes are contained within a 2000m<sup>2</sup> envelope pursuant to the requirements of Clause 22.01 Rural Zones Policy of the Scheme.
3. Further clarification and justification of the location and floor area size of the extension as the setback is within 20m of a council road and the proposed floor area is greater than 100m<sup>2</sup>. See section 'Design Response to the Farming Zone' in the Town Planning Report Rev A.
  - A) The proposed plans have been revised which include removal of the kitchenette, reduction in floor area size of the pantry space which has been more appropriately renamed as storage space. The naming of the 'pool table' area changed to recreation area.

Please get in contact if you require any further information regarding the application.

Yours sincerely,

Lucy Williams  
**Architect**  
**ARBV 17370**

encl.

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Advertised

# Off-grid extension

## PLANNING PERMIT

Project Address

125 Rendell Rd, Neerim East  
3831

Client



Project Number

21\_03

Date

18/08/2021 10:20:55 PM

prepared by

**LWA**

Lucy Williams Architect

1/6 Macaulay Crt  
Eltham VIC 3095  
t (04) 2713 3377

lucy@lucywilliamsarchitect.com.au

This set of drawings is for architectural works and is to be read in conjunction with architectural specifications and schedules

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Rendell Rd

Advertised

Rendell Rd

Rendell Rd

Rendell Rd

125 Rendell Rd

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PLANNING PERMIT

rev	date	description
A	19/08/2021	Town Planning RFI

The dimensions and setouts shown on this drawing indicate the design intent. It is the responsibility of the contractor to check setouts and confirm prior to commencement of any works or shop drawings. Discrepancies between existing conditions and drawings must be referred to the architect. These drawings are to be read in conjunction with the architectural specification, schedules and the conditions of contract.



project	Off-grid extension
address	125 Rendell Rd, Neerim East 3831
Lucy Williams ARCHITECT	m +614 2713 3377 lucy@lucywilliamsarchitect.com.au

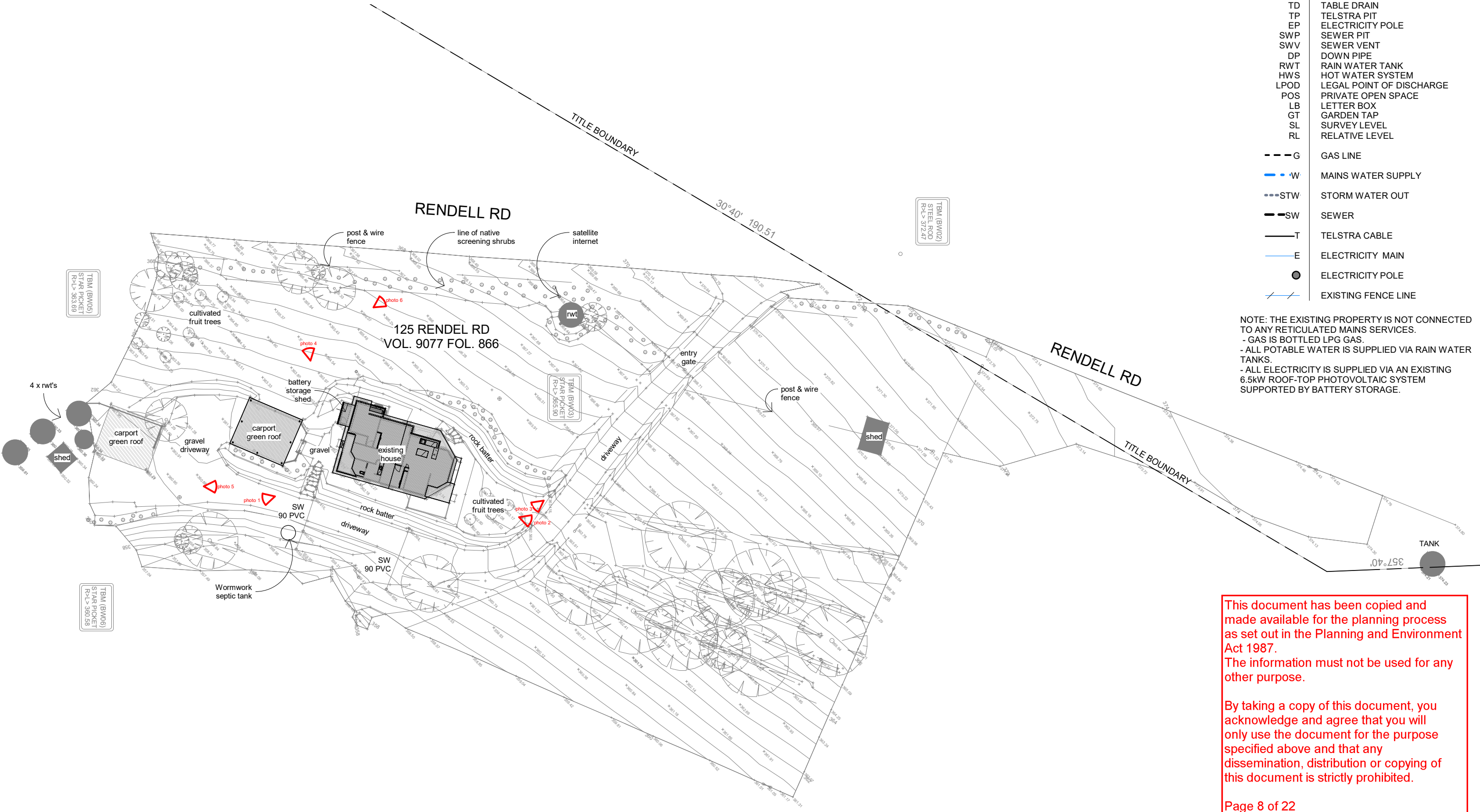
drawing	PLAN - EXISTING SITE LOCALITY						
project no.	pn	drawn	sheet	scale	date	drawing no.	rev.
21_03	LW	LW	A3		19/08/21	T101	A

SITE FEATURES LEGEND

Advertised

- WM WATER METER
  - MP ELECTRICITY METER/PANEL
  - SB SWITCHBOARD
  - GM GAS METER
  - D DRAIN 375MM DIA
  - TD TABLE DRAIN
  - TP TELSTRA PIT
  - EP ELECTRICITY POLE
  - SWP SEWER PIT
  - SWV SEWER VENT
  - DP DOWN PIPE
  - RWT RAIN WATER TANK
  - HWS HOT WATER SYSTEM
  - LPOD LEGAL POINT OF DISCHARGE
  - POS PRIVATE OPEN SPACE
  - LB LETTER BOX
  - GT GARDEN TAP
  - SL SURVEY LEVEL
  - RL RELATIVE LEVEL
- 
- - - G GAS LINE
  - - - W MAINS WATER SUPPLY
  - - - STW STORM WATER OUT
  - - - SW SEWER
  - - - T TELSTRA CABLE
  - - - E ELECTRICITY MAIN
  - ELECTRICITY POLE
  - EXISTING FENCE LINE

NOTE: THE EXISTING PROPERTY IS NOT CONNECTED TO ANY RETICULATED MAINS SERVICES.  
 - GAS IS BOTTLED LPG GAS.  
 - ALL POTABLE WATER IS SUPPLIED VIA RAIN WATER TANKS.  
 - ALL ELECTRICITY IS SUPPLIED VIA AN EXISTING 6.5kW ROOF-TOP PHOTOVOLTAIC SYSTEM SUPPORTED BY BATTERY STORAGE.



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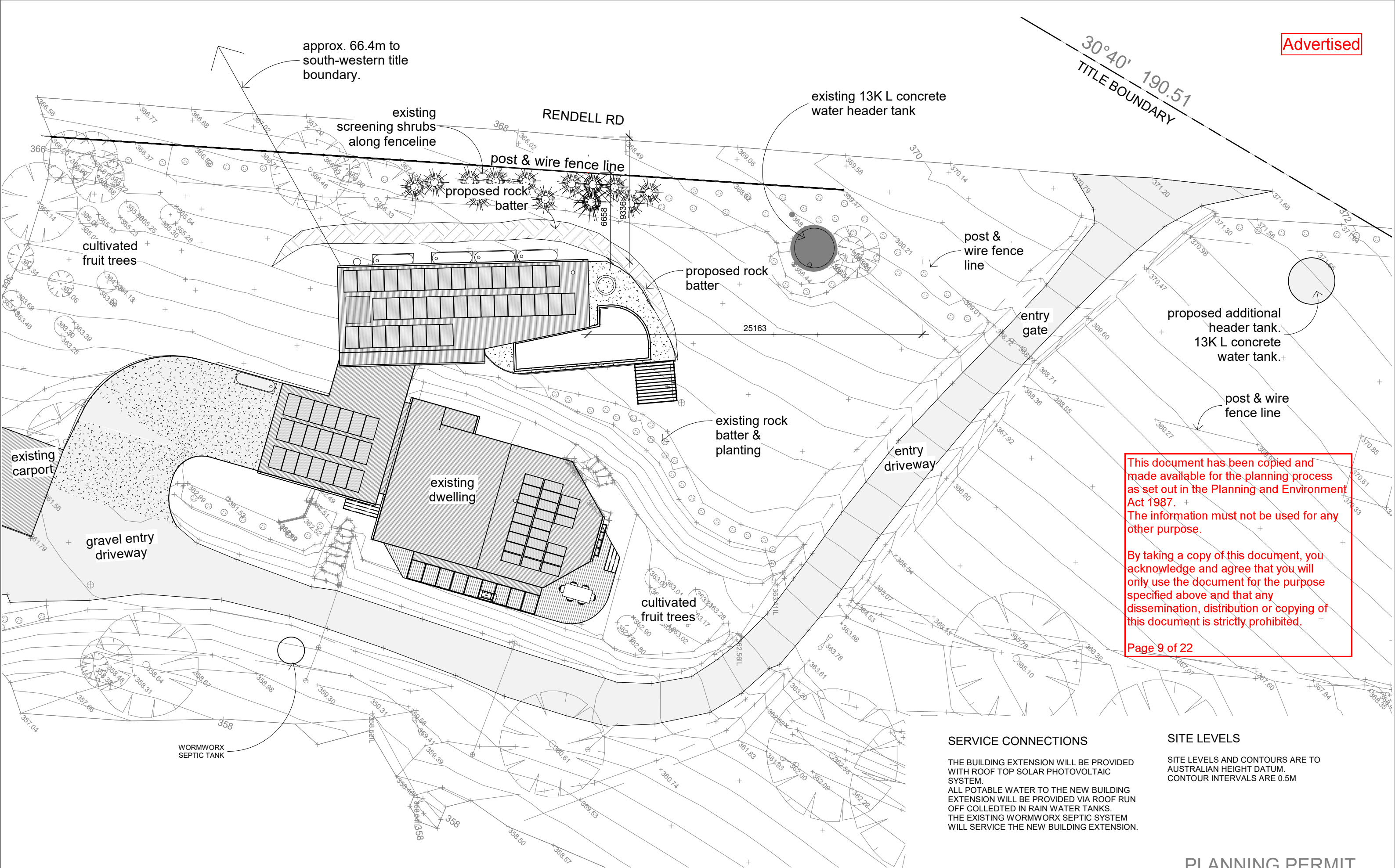
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PLANNING PERMIT

	rev	date	description	The dimensions and setouts shown on this drawing indicate the design intent. It is the responsibility of the contractor to check setouts and confirm prior to commencement of any works or shop drawings. Discrepancies between existing conditions and drawings must be referred to the architect. These drawings are to be read in conjunction with the architectural specification, schedules and the conditions of contract.		project	Off-grid extension	drawing PLAN - SITE LAYOUT/SURVEY
	A	19/08/2021	Town Planning RFI			address	125 Rendell Rd, Neerim East 3831	
						Lucy Williams ARCHITECT	m +614 2713 3377 lucy@lucywilliamsarchitect.com.au	project no. 21_03
								drawing no. T102
								scale 1:500
								date 19/08/21
								drawing no. A





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**SERVICE CONNECTIONS**

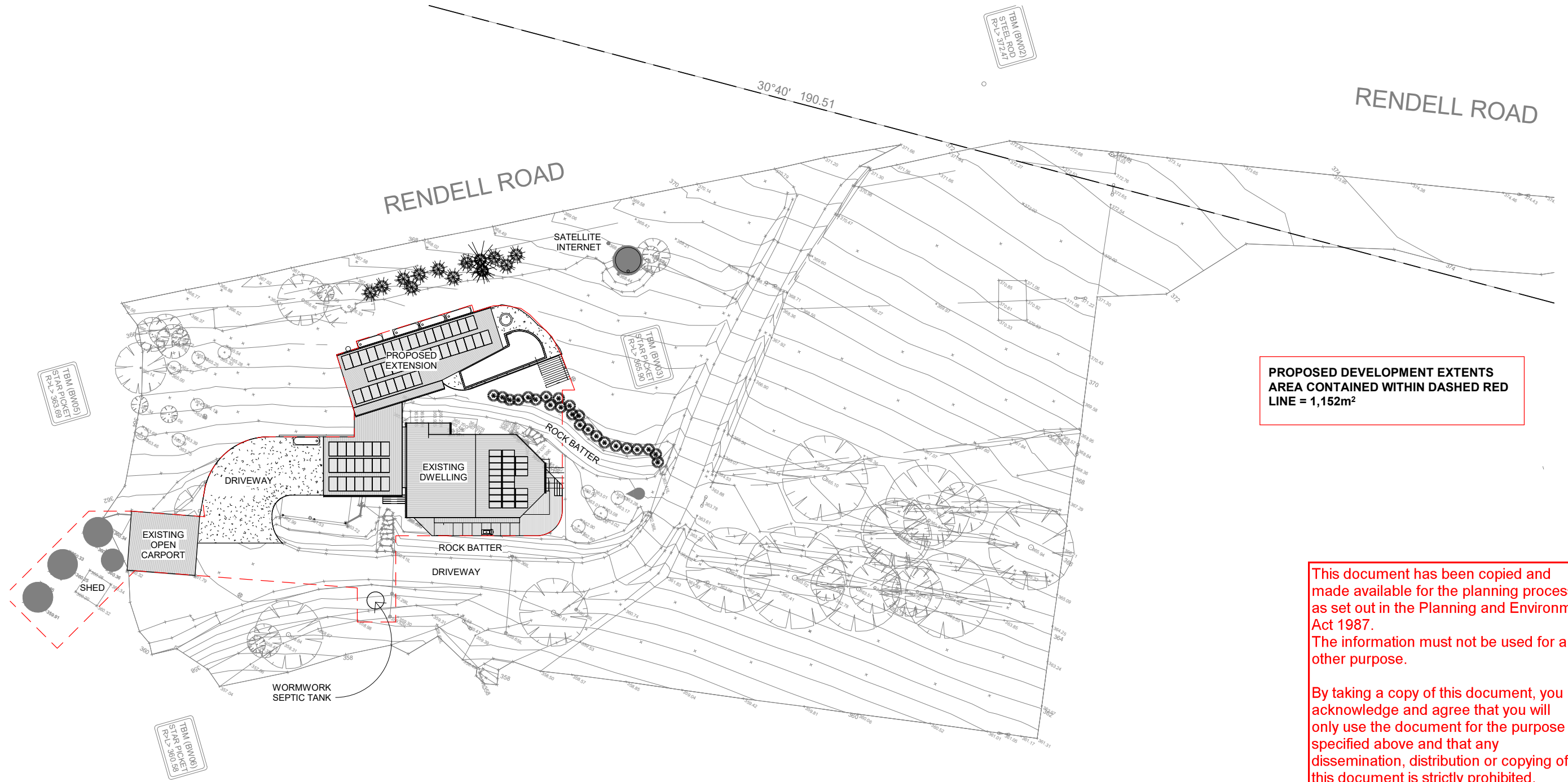
THE BUILDING EXTENSION WILL BE PROVIDED WITH ROOF TOP SOLAR PHOTOVOLTAIC SYSTEM.  
 ALL POTABLE WATER TO THE NEW BUILDING EXTENSION WILL BE PROVIDED VIA ROOF RUN OFF COLLECTED IN RAIN WATER TANKS.  
 THE EXISTING WORMWORX SEPTIC SYSTEM WILL SERVICE THE NEW BUILDING EXTENSION.

**SITE LEVELS**

SITE LEVELS AND CONTOURS ARE TO AUSTRALIAN HEIGHT DATUM.  
 CONTOUR INTERVALS ARE 0.5M

**PLANNING PERMIT**

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	A	19/08/2021	Town Planning RFI			address	125 Rendell Rd, Neerim East 3831		project no.	pm	drawn	sheet	scale	date	drawing no.	rev.
						Lucy Williams ARCHITECT	m +614 2713 3377 lucy@lucywilliamsarchitect.com.au		21_03	LW	LW	A3	1:250	19/08/21	T103	A



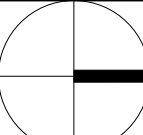

**PROPOSED DEVELOPMENT EXTENTS  
AREA CONTAINED WITHIN DASHED RED  
LINE = 1,152m<sup>2</sup>**

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	A	19/08/2021	Town Planning RFI				address	125 Rendell Rd, Neerim East 3831			project no.	pm	drawn	sheet	scale	date	drawing no.
							Lucy Williams ARCHITECT	m +614 2713 3377 lucy@lucywilliamsarchitect.com.au		21_03	LW	LW	A3	1:500	19/08/21	T104	A

NOTES: DESIGN RESPONSE

**DR 01 - SITE GENERAL**

REFER TO DWG T103 FOR SITE INFORMATION INCLUDING BOUNDARY ORIENTATION, AREA AND CONTOURS.

**DR 02 - NEW CROSSOVER**

EXISTING DRIVEWAY EXTENDED TO PROVIDE ACCESS TO NEW DOUBLE GARAGE. RETAINING ALONG WESTERN EDGE AND 100MM COMPACTED GRAVEL ROAD BASE.

**DR 03 - LANDSCAPING AND VEGETATION MANAGEMENT**

NO EXISTING SIGNIFICANT TREES ON SITE WILL BE REMOVED TO ACCOMMODATE THE NEW EXTENSION. THE PROPOSED NATURAL ROCK RETAINING WALL WILL BE PLANTED OUT WITH NATIVE SPECIES SIMILAR WITH THE EXISTING.

**DR 04 - BUSHFIRE MANAGEMENT OVERLAY RESPONSE**

THE HOUSE SITE IS NOT AFFECTED BY THE BMO. PROPOSED EXTENSION & NEW DECK WITH STEEL PERGOLA HAVE BEEN DESIGNED TO MEET REQUIREMENTS OF BAL 19 AS PER RECOMMENDATIONS OF THE BAL ASSESSMENT.

**DR 05 - SERVICES TO SITE**

THERE ARE NO RETICULATED SERVICES TO THE SITE AND THE EXISTING DWELLING CURRENTLY OPERATES ALL OFF-GRID. ALL NEW ROOF AREAS WILL DRAIN TO NEW RWTS. WATER WILL BE TREATED TO PROVIDE POTABLE WATER TO THE NEW LAUNDRY, BATHROOM AND KITCHENETTE. THE EXISTING ELECTRICITY SUPPLY WILL BE INCREASED VIA ADDITIONAL ROOF TOP PHOTOVOLTAIC PANELS AND ADDITIONAL BATTERY STORAGE. ALL WASTE WATER WILL BE TREATED VIA THE EXISTING WORM SEPTIC SEWERAGE SYSTEM.

**DR 06 - CARPARKING/VEHICLE ACCESS**

ENTRY TO THE SITE WILL BE VIA THE EXISTING GRAVEL DRIVEWAY. THE EXISTING DRIVEWAY WILL BE EXTENDED TO PROVIDE ACCESS TO THE DOUBLE GARAGE. REFER T103 FOR DRIVEWAY LOCATION.

**DR 07 - PEDESTRIAN ACCESS**

LANDSCAPED ACCESS TO THE EXISTING DWELLING WILL BE RETAINED. A NEW SECONDARY ENTRY IS PROPOSED TO THE SOUTH OF THE EXISTING DWELLING.

**DR 08 - AUSTRALIA POST ACCESS**

A LETTER BOX IS LOCATED ON RENDELL'S RD. SIGNAGE AT THIS POINT CAN INDICATE ACCESS TO THE DWELLING FOR PARCEL DELIVERY AND REGISTERED MAIL.

**DR 09 - SITE FACILITIES**

RUBBISH COLLECTION IS CURRENTLY VIA RENDELL'S RD AND WILL REMAIN UNCHANGED.

**DR 10 - BUILDING ENVELOPE/SETBACKS**

THE EXTENSION IS SETBACK FROM RENDELL RD AND THE BUILDING FORM IS SET DOWN INTO THE LANDSCAPE REDUCING THE VISIBILITY FROM THE ROAD.

**DR 11 - SOLAR ACCESS**

GOOD SOLAR ACCESS INTO LIVING SPACES AND STUDY CREATED BY THE NORTH-EAST ORIENTATION AND GLAZED AREAS.

**DR 12 - PRIVATE OPEN SPACE**

**DR 13 - OVERLOOKING**

**PLANNING PERMIT**

**PROPOSED TOTAL AREAS**

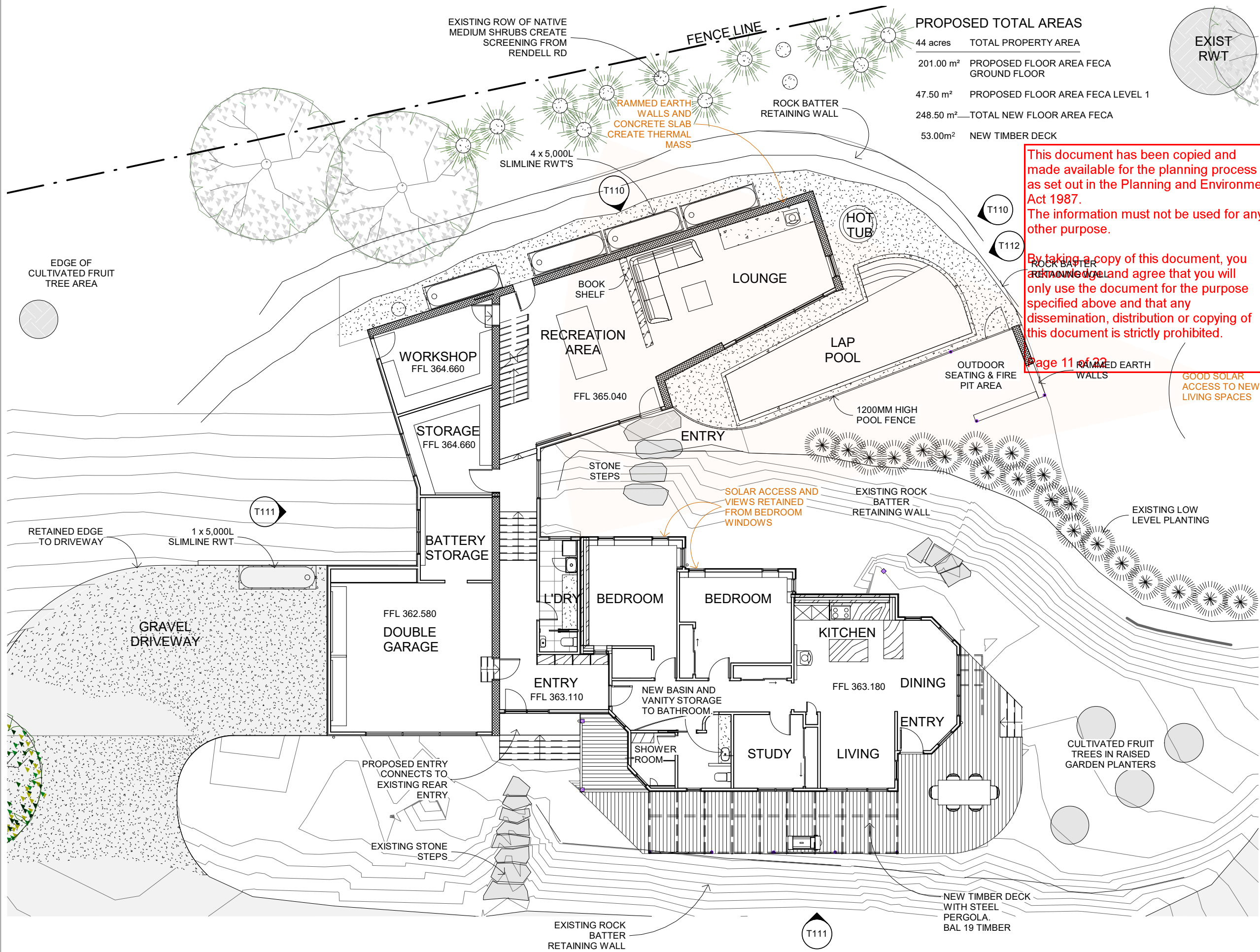
44 acres	TOTAL PROPERTY AREA
201.00 m <sup>2</sup>	PROPOSED FLOOR AREA FECA GROUND FLOOR
47.50 m <sup>2</sup>	PROPOSED FLOOR AREA FECA LEVEL 1
248.50 m <sup>2</sup>	TOTAL NEW FLOOR AREA FECA
53.00 m <sup>2</sup>	NEW TIMBER DECK



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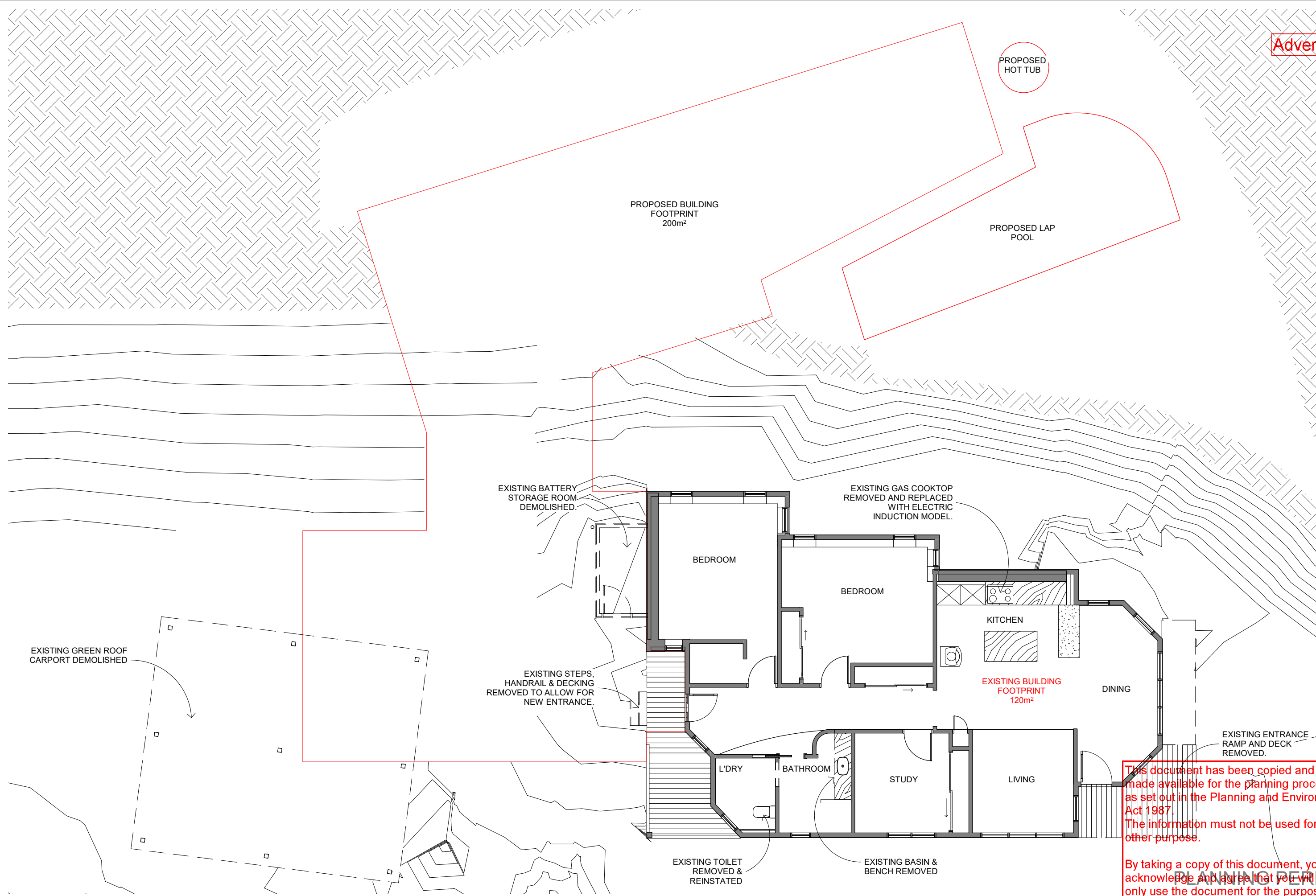
rev	date	description
A	19/08/2021	Town Planning RFI

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project	Off-grid extension
address	125 Rendell Rd, Neerim East 3831
Lucy Williams ARCHITECT	m +614 2713 3377 lucy@lucywilliamsarchitect.com.au

drawing	PLAN - DESIGN RESPONSE						
project no.	pm	drawn	sheet	scale	date	drawing no.	rev.
21_03	LW	LW	A3	1:150	19/08/21	T105	A



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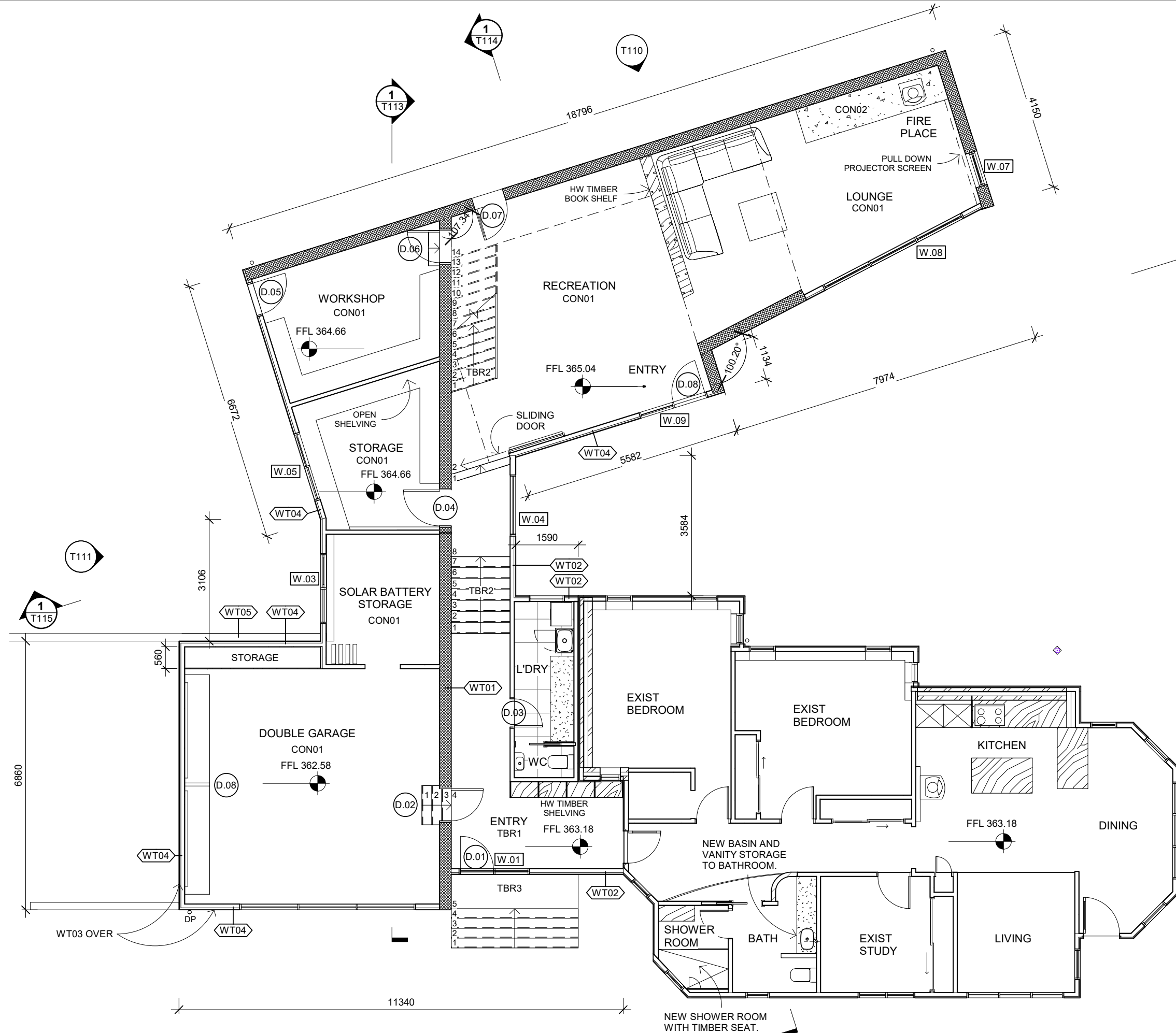
rev	date	description
A	19/08/2021	Town Planning RFI

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Lucy Williams ARCHITECT	m +614 2713 3377 lucy@lucywilliamsarchitect.com.au

drawing	PEAR DEMOLITION
project no.	21_03
drawn	LW
sheet	LW
scale	A3 1:100
date	19/08/21
drawing no.	T106
rev.	A



**WALL TYPE LEGEND**

- WT01 300mm THK RAMMED EARTH WALL  
300mm
- WT02 12MM PLYWOOD CLADDING, SHADOWCLAD ULTRA GROOVE  
150MM, PAINT FINISH  
BAL 19 RATED TIMBER.  
35mm H2 SPACER BATTEN, SARKING  
90mm H2 PINE STRUCTURAL STUD,  
90mm R2.7SHD BULK INSULATION  
10mm INTERNAL WALL LINING AS DETAILED.
- WT03 12MM PLYWOOD CLADDING, SHADOWCLAD ULTRA TEXTURE  
BOARD & BATTEN, PAINT FINISH  
BAL 19 RATED TIMBER.  
35mm H2 SPACER BATTEN, SARKING  
90mm H2 PINE STRUCTURAL STUD,  
90mm R2.7SHD BULK INSULATION  
10mm INTERNAL WALL LINING AS DETAILED.
- WT04 29mm VERTICAL LYSAGHT CUSTOM ORB CLADDING  
35mm H2 SPACER BATTEN, SARKING  
90mm H2 PINE STRUCTURAL STUD,  
90mm R2.7SHD BULK INSULATION  
10mm INTERNAL WALL LINING AS DETAILED.
- WT05 190MM THK CORE FILLED CONCRETE BLOCK RETAINING WALL.
- WT06 90mm H2 PINE STRUCTURAL STUD,  
10mm/13mm P'BOARD CLADDING AS DETAILED.

FENCE TYPE 01 - BY OTHERS

**FLOOR FINISH LEGEND**

- CON01 CONCRETE, EXPOSED AG FINISH, CLEAR SEAL FINISH
- TBR1 RECYCLED HW T&G FLOOR BOARDS, CLEAR SEAL FINISH
- TBR 2 40mm NOM THICK HW TIMBER STEP TREAD, CLEAR SEAL FINISH
- TBR 3 AUSTRALIAN HW DECKING, BAL 19 RATED, CLEAR SEAL FINISH
- CPT01 100% WOOL NATURAL CARPET OVERLAY UNDERLAY OVER TIMBER SUBFLOOR STRUCTURE
- TL-- TILE FINISH, REFER TO SPECIFICATION SCHEDULE

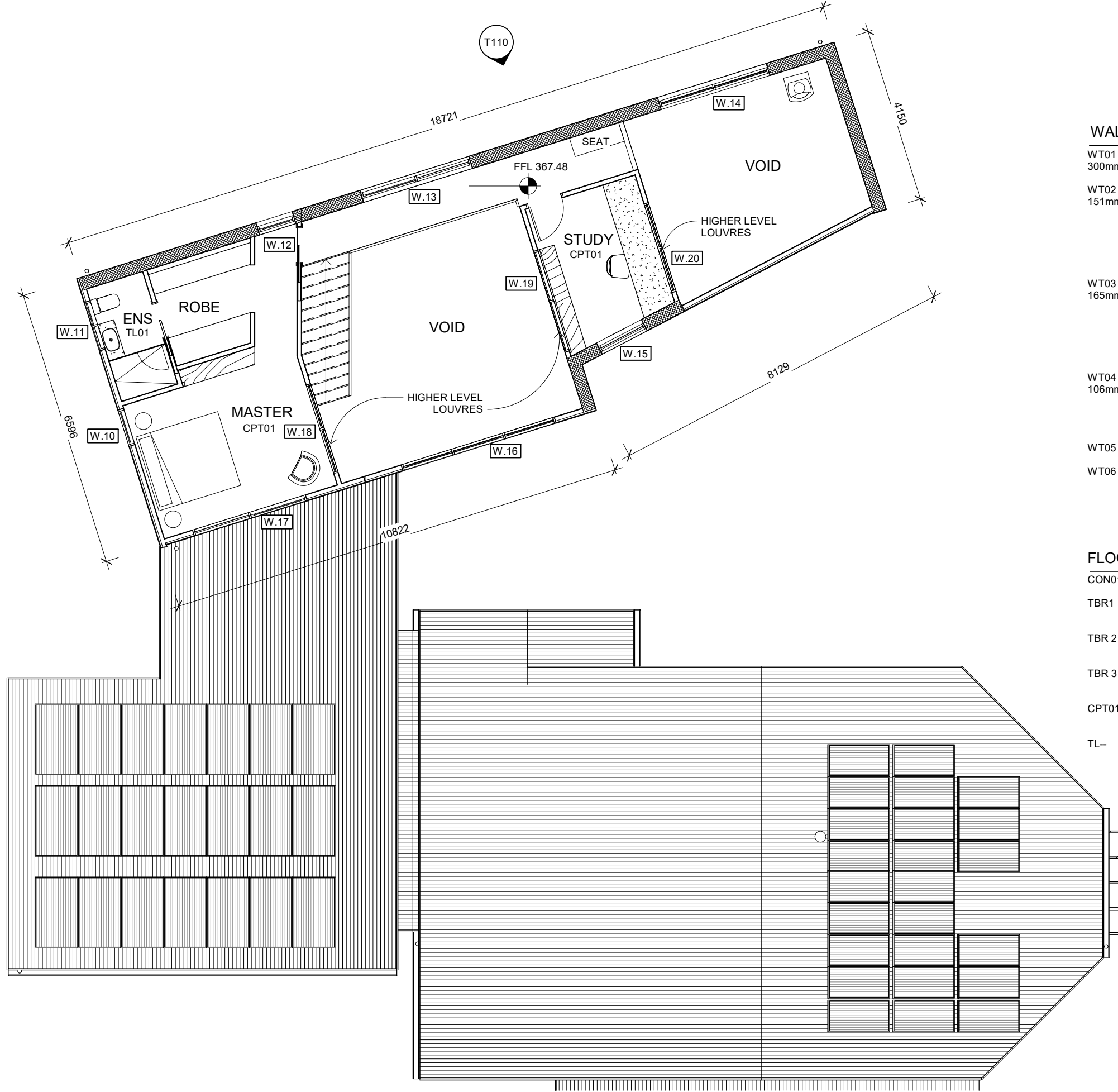
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**PLANNING PERMIT**

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	A	19/08/2021	Town Planning RFI			address	125 Rendell Rd, Neerim East 3831		project no.	pm	drawn	sheet	scale	date	drawing no.	rev.
						Lucy Williams ARCHITECT	m +614 2713 3377 lucy@lucywilliamsarchitect.com.au		21_03	LW	LW	A3	1:100	19/08/21	T107	A



**WALL TYPE LEGEND**

- WT01 300mm THK RAMMED EARTH WALL  
300mm
- WT02 12MM PLYWOOD CLADDING, SHADOWCLAD ULTRA GROOVE  
150MM, PAINT FINISH  
BAL 19 RATED TIMBER.  
35mm H2 SPACER BATTEN, SARKING  
90mm H2 PINE STRUCTURAL STUD,  
90mm R2.7SHD BULK INSULATION  
10mm INTERNAL WALL LINING AS DETAILED.
- WT03 12MM PLYWOOD CLADDING, SHADOWCLAD ULTRA TEXTURE  
BOARD & BATTEN, PAINT FINISH  
BAL 19 RATED TIMBER.  
35mm H2 SPACER BATTEN, SARKING  
90mm H2 PINE STRUCTURAL STUD,  
90mm R2.7SHD BULK INSULATION  
10mm INTERNAL WALL LINING AS DETAILED.
- WT04 29mm VERTICAL LYSAGHT CUSTOM ORB CLADDING  
35mm H2 SPACER BATTEN, SARKING  
90mm H2 PINE STRUCTURAL STUD,  
90mm R2.7SHD BULK INSULATION  
10mm INTERNAL WALL LINING AS DETAILED.
- WT05 190MM THK CORE FILLED CONCRETE BLOCK RETAINING WALL.
- WT06 90mm H2 PINE STRUCTURAL STUD,  
10mm/13mm P'BOARD CLADDING AS DETAILED.

FENCE TYPE 01 - BY OTHERS

**FLOOR FINISH LEGEND**

- CON01 CONCRETE, EXPOSED AG FINISH, CLEAR SEAL FINISH
- TBR1 RECYCLED HW T&G FLOOR BOARDS, CLEAR SEAL FINISH
- TBR 2 40mm NOM THICK HW TIMBER STEP TREAD, CLEAR SEAL FINISH
- TBR 3 AUSTRALIAN HW DECKING, BAL 19 RATED, CLEAR SEAL FINISH
- CPT01 100% WOOL NATURAL CARPET OVERLAY UNDERLAY OVER TIMBER SUBFLOOR STRUCTURE
- TL-- TILE FINISH, REFER TO SPECIFICATION SCHEDULE

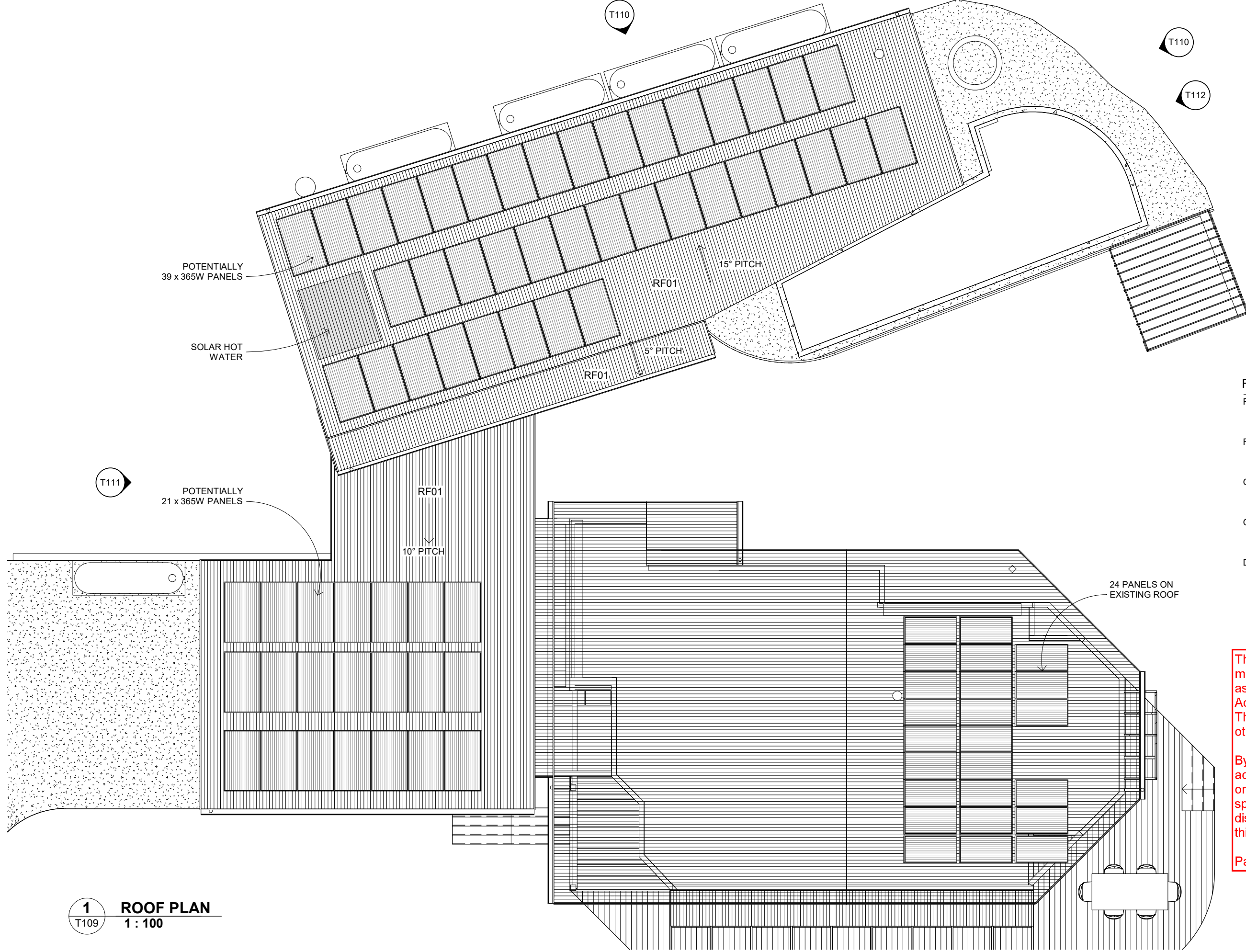
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**PLANNING PERMIT**

	rev	date	description	The dimensions and setouts shown on this drawing indicate the design intent. It is the responsibility of the contractor to check setouts and confirm prior to commencement of any works or shop drawings. Discrepancies between existing conditions and drawings must be referred to the architect. These drawings are to be read in conjunction with the architectural specification, schedules and the conditions of contract.		project	Off-grid extension		drawing <b>PLAN - PROPOSED FIRST FLOOR</b>							
	A	19/08/2021	Town Planning RFI			address	125 Rendell Rd, Neerim East 3831		project no.	pm	drawn	sheet	scale	date	drawing no.	rev.
						Lucy Williams ARCHITECT	m +614 2713 3377 lucy@lucywilliamsarchitect.com.au		21_03	LW	LW	A3	1:100	19/08/21	T108	A



**ROOF FINISH LEGEND**

- RF01 LYSAGHT CUSTOM ORB SHEET, .42 BMT COLORBOND FINISH, MEDIUM COLOUR TBC
- RF02 FOLDED STEEL SHEET CAPPINGS/FLASHINGS .55 BMT, COLORBOND FINISH
- GT01 150MM HALF ROUND PROFILE EAVES GUTTER, GALVANISED FINISH
- GT02 .55 BMT FOLDED STEEL BOX GUTTER, GALVANISED FINISH
- DP01 90MM DIA HDPE DOWNPIPE, GALVANISED STEEL SLEEVE/ OFF-SET BRACKETS

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**1 ROOF PLAN**  
T109 1 : 100

PLANNING PERMIT

	rev	date	description	The dimensions and setouts shown on this drawing indicate the design intent. It is the responsibility of the contractor to check setouts and confirm prior to commencement of any works or shop drawings. Discrepancies between existing conditions and drawings must be referred to the architect. These drawings are to be read in conjunction with the architectural specification, schedules and the conditions of contract.		project	Off-grid extension						
	A	19/08/2021	Town Planning RFI			address	125 Rendell Rd, Neerim East 3831	drawing				PLAN - PROPOSED - ROOF	
						Lucy Williams ARCHITECT	m +614 2713 3377 lucy@lucywilliamsarchitect.com.au	project no.	pm	drawn	sheet	scale	date
						21_03	LW	LW	A3	1:100	19/08/21	T109	A











**EXTERNAL WALL FINISH LEGEND**

EX.TC	EXISTING TIMBER CLADDING
RME	RAMMED EARTH, RAW FINISH
PLW01	12MM PLYWOOD CLADDING WITH BATTEN COVER STRIPS, SHADOWCLAD ULTRA TEXTURE, PAINT FINISH
PLW02	12MM PLYWOOD CLADDING WITH BATTEN COVER STRIPS, SHADOWCLAD ULTRA GROOVE 150MM, PAINT FINISH
CS01	4.5MM CEMENT SHEET SOFFIT, PAINT FINISH
BW01	CONCRETE BLOCKWORK, CLEAR SEAL
MC01	CUSTOM ORB METAL WALL CLADDING, SELECT COLORBOND FNISH.
CON02	EXPOSED FACE OF CONCRETE EDGE BEAM. FACE TO BE SMOOTH, STRAIGHT & WITHOUT POCKETS, CLEAR SEAL FINISH.
RF02	FOLDED STEEL SHEET CAPPINGS/FLASHINGS .55 BMT, COLORBOND FINISH

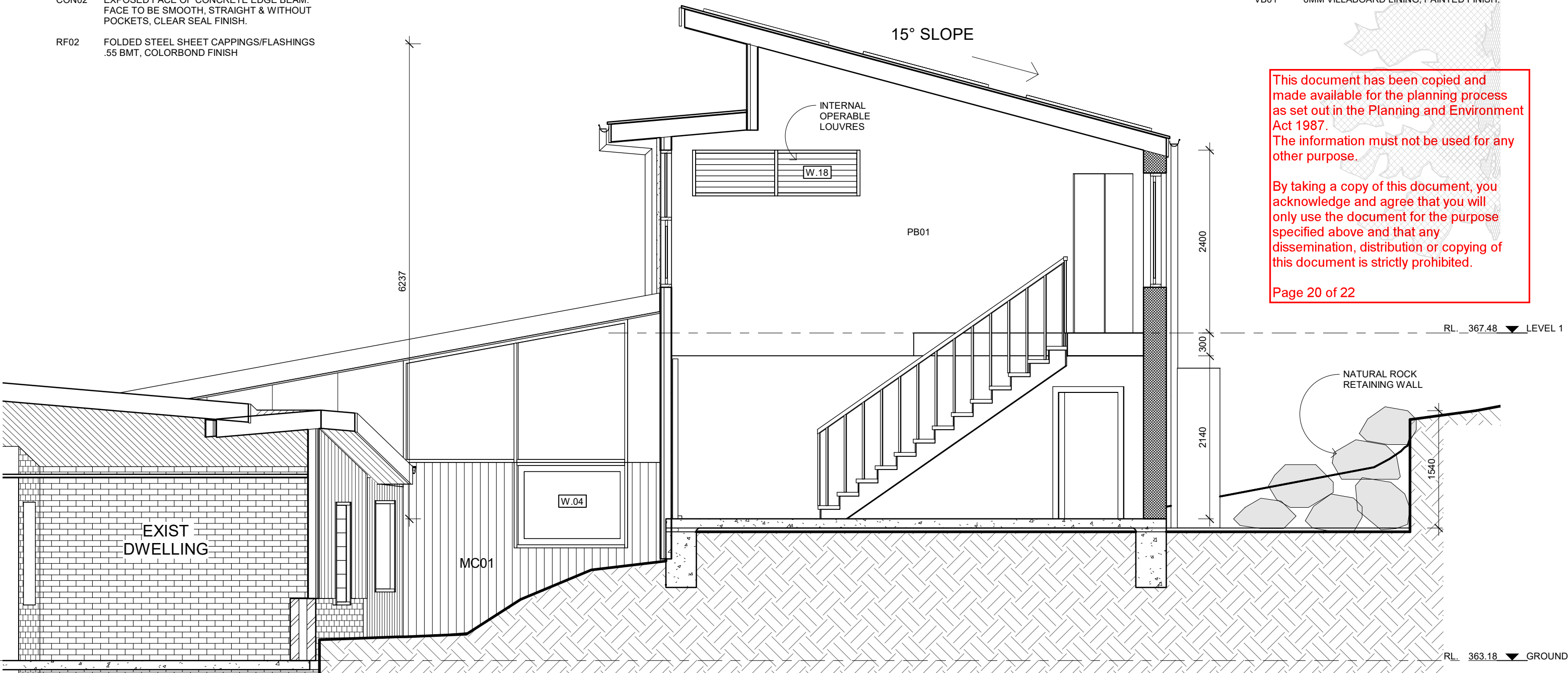
**FLOOR FINISH LEGEND**

CON01	CONCRETE, EXPOSED AG FINISH, CLEAR SEAL FINISH
TBR1	RECYCLED HW T&G FLOOR BOARDS, CLEAR SEAL FINISH
TBR 2	40mm NOM THICK HW TIMBER STEP TREAD, CLEAR SEAL FINISH
TBR 3	AUSTRALIAN HW DECKING, BAL 19 RATED, CLEAR SEAL FINISH
CPT01	100% WOOL NATURAL CARPET OVERLAY UNDERLAY OVER TIMBER SUBFLOOR STRUCTURE
TL--	TILE FINISH, REFER TO SPECIFICATION SCHEDULE

**INTERNAL FINISHES LEGEND**

**Advertised**

PB01	10mm PLASTERBOARD, PAINT FINISH MR TO WET AREAS
TF01	FEATURE PLYWOOD LINING/PARTITION/SHELVING, STAINED FINISH
TF02	GLAZING FRAMING, STAINED FINISH
TF03	FEATURE TIMBER, STAINED FINISH
BW01	BLOCKWORK, SMOOTH FINISH
TL01	SELECT TILE, REFER TO SCHEDULE
TL02	SELECT TILE, REFER TO SCHEDULE
BT01	BENCHTOP, SELECT FINISH
VB01	6MM VILLABOARD LINING, PAINTED FINISH.



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**1 SECTION B**  
T114 1 : 50

PLANNING PERMIT

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	19/08/2021				Town Planning RFI	address	125 Rendell Rd, Neerim East 3831			project no.	pm	drawn	sheet	scale	date
				Lucy Williams ARCHITECT	m +614 2713 3377			21_03	LW	LW	A3	1:50	19/08/21	T114	A

**EXTERNAL WALL FINISH LEGEND** Advertised

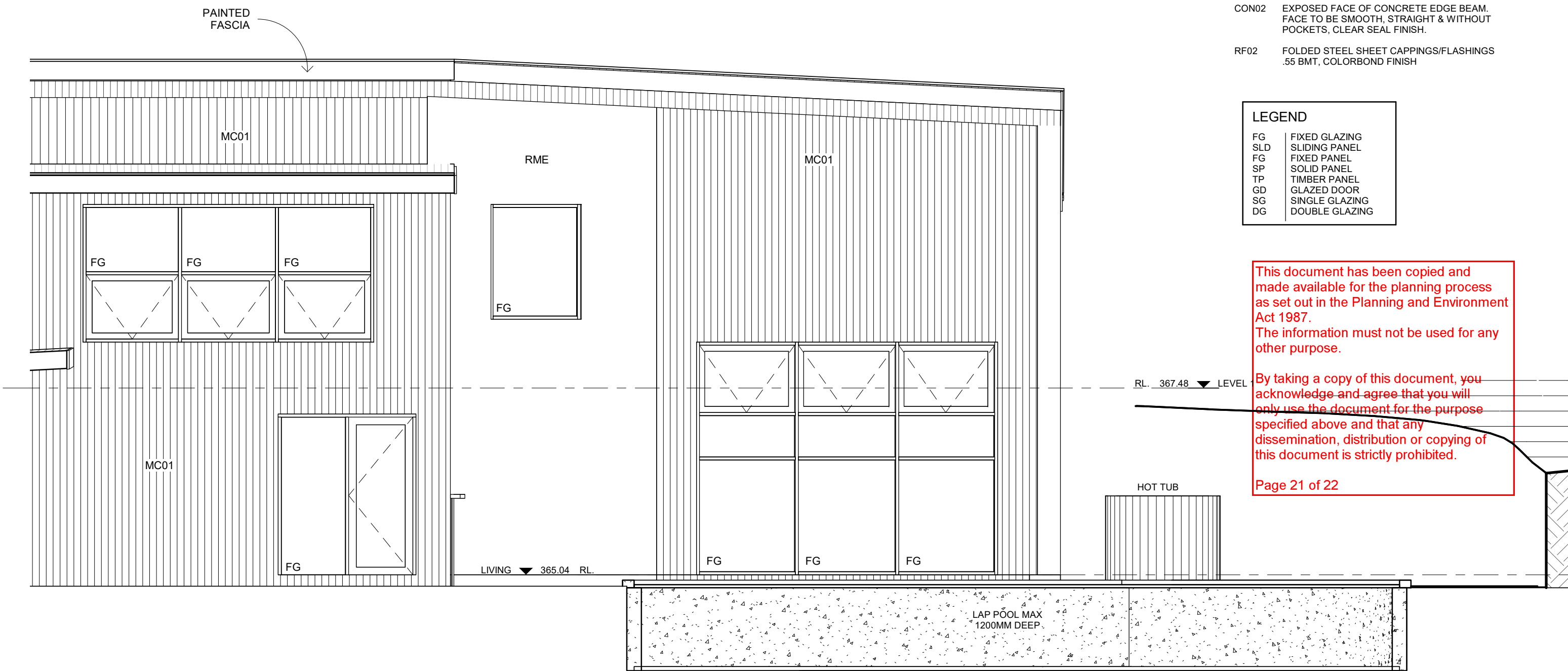
EX.TC	EXISTING TIMBER CLADDING
RME	RAMMED EARTH, RAW FINISH
PLW01	12MM PLYWOOD CLADDING WITH BATTEN COVER STRIPS, SHADOWCLAD ULTRA TEXTURE, PAINT FINISH
PLW02	12MM PLYWOOD CLADDING WITH BATTEN COVER STRIPS, SHADOWCLAD ULTRA GROOVE 150MM, PAINT FINISH
CS01	4.5MM CEMENT SHEET SOFFIT, PAINT FINISH
BW01	CONCRETE BLOCKWORK, CLEAR SEAL
MC01	CUSTOM ORB METAL WALL CLADDING, SELECT COLORBOND FINISH.
CON02	EXPOSED FACE OF CONCRETE EDGE BEAM. FACE TO BE SMOOTH, STRAIGHT & WITHOUT POCKETS, CLEAR SEAL FINISH.
RF02	FOLDED STEEL SHEET CAPPINGS/FLASHINGS .55 BMT, COLORBOND FINISH

LEGEND	
FG	FIXED GLAZING
SLD	SLIDING PANEL
FG	FIXED PANEL
SP	SOLID PANEL
TP	TIMBER PANEL
GD	GLAZED DOOR
SG	SINGLE GLAZING
DG	DOUBLE GLAZING

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**1 SECTION D**  
T115 1 : 50

**PLANNING PERMIT**

rev	date	description	The dimensions and setouts shown on this drawing indicate the design intent. It is the responsibility of the contractor to check setouts and confirm prior to commencement of any works or shop drawings. Discrepancies between existing conditions and drawings must be referred to the architect. These drawings are to be read in conjunction with the architectural specification, schedules and the conditions of contract.	project	Off-grid extension				drawing	SECTION - PROPOSED					
					address	125 Rendell Rd, Neerim East 3831				project no.	pm	drawn	sheet	scale	date
				LWA	Lucy Williams ARCHITECT	m +614 2713 3377 lucy@lucywilliamsarchitect.com.au									
								21_03	LW	LW	A3	1:50	19/08/21	T115	A

