



# Application for a Planning Permit

## Section 1: LAND DETAILS

Unit Number: <b>2</b>	Street Number: <b>3</b>	Street Name: <b>Pearse Street</b>
Town: <b>Warragul</b>		Postcode: <b>3820</b>

## FORMAL LAND DESCRIPTION (Please complete either A or B – this information can be found on the Certificate of Title)

### Option A:

Lot No:	<b>2</b>
Type of Plan: Please tick ✓	Lodge Plan <input type="checkbox"/> Title Plan <input type="checkbox"/> Plan of Subdivision <input checked="" type="checkbox"/>
Plan Number:	<b>731574V</b>

### Option B:

Crown Allotment Number:	
Section Number:	
Parish/Township Name:	

## Section 2: PERMIT APPLICANT

Name:	[REDACTED]			
Business:				
Postal Address:	[REDACTED]			Postcode: [REDACTED]
Telephone No. (H)		(W)		(M) [REDACTED]
Email Address:	[REDACTED]			

## Section 3: OWNER DETAILS (If different to the Applicant)

Name(s):	[REDACTED]			
Postal Address:	[REDACTED]			Postcode: [REDACTED]
Telephone No. (H)		(W)		(M) [REDACTED]
Email Address:	[REDACTED]			

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## Section 4: DEVELOPMENT COST - Estimated Cost of development for which the permit is required

<b>Approximately \$300,000</b>
--------------------------------

**Section 5: PROPOSAL** You must give full details of the proposal being applied for. Insufficient or unclear information will delay your application..

**Advertised**

For what use, development or other matter do you require a permit?

**Development:**

<input type="checkbox"/> Advertising Signage	<input type="checkbox"/> Development of 2 or more dwellings Qty: <input style="width: 50px;" type="text"/>
<input type="checkbox"/> Agricultural Outbuildings	<input type="checkbox"/> Mixed Use Development and Reduction of Carparking
<input type="checkbox"/> Buildings and Works and Reduction in Carparking	<input type="checkbox"/> Residential Outbuildings
<input type="checkbox"/> Commercial or Industrial Buildings and Works	<input type="checkbox"/> Single Dwelling
<input type="checkbox"/> Extension / Alteration to Dwelling	<input type="checkbox"/> Telecommunications

**Use:**

<input type="checkbox"/> Buildings and Works and Change of Use	<input type="checkbox"/> Home Based Business
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Sale and Consumption of Liquor
<input type="checkbox"/> Change of Use and Single Dwelling	

**Subdivision:**

<input type="checkbox"/> Boundary Realignment	<input type="checkbox"/> 3 or more Lot Subdivision Qty: <input style="width: 50px;" type="text"/>
<input type="checkbox"/> Variation/ Removal of Restriction	<input type="checkbox"/> Create an easement
<input type="checkbox"/> 2 Lot Subdivision	<input type="checkbox"/> 100 or more Lot Subdivision Qty: <input style="width: 50px;" type="text"/>

**Subdivision / Vegetation Removal:**

<input type="checkbox"/> Native Vegetation Removal or Lopping	<input type="checkbox"/> Non Native Vegetation Removal or Lopping (ESO4)
<input type="checkbox"/> Subdivision Qty: <input style="width: 50px;" type="text"/>	<input type="checkbox"/> Alteration of access RDZ1

**Other:**

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, Section 173 agreement or other obligation such as an easement or building envelope?

Yes     No     Not Applicable (no such covenant, section 173 agreement or restriction applies)

If yes, you should contact Council for advice as to how to proceed with the application.

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**FURTHER DETAILS OF PROPOSAL** (optional)

**Section 6: EXISTING CONDITIONS** Describe how the land is used and developed now.

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Provide a plan of the existing conditions. Photos are also helpful.

See planning statement

**Section 7: PRE-APPLICATION MEETING** Has there been a Pre-Application meeting with a Council Planning Officer?

No <input checked="" type="checkbox"/>		
Yes <input type="checkbox"/>	If yes, with whom?	
	Date of this meeting	

**Section 8: DECLARATION** This form must be signed. Complete box A or B

A. I declare that I am the Applicant and all information given is true and correct.	Applicant signature:	Date:
B. I/We the Applicant declare that I/We have notified the owner about this application and that all information given is true and correct.	Applicant Signature: 	Date: 11/5/22

**CHECK LIST** Please ensure you have included the following items with your application form. *Failure to provide all the information above may result in a delay in the processing of the application.*

- A fully completed and signed copy of this form.
- The application fee (if not already paid). Most applications require a fee to be paid.
- Contact Council to determine the appropriate fee.
- Full and current copy of title and title plan (no older than 60 days) for each individual parcel of land forming the subject site. The title includes: the covering register search statement, the title plan and the associated title documents (known as instruments).
- Provided plans showing the layout and details of the proposal
- Provided any information required by the planning scheme, requested by Council
- Provided a description of the likely effect of the proposal (if required)
- Completed the declaration in Section 8
- Provided a contact phone number and e-mail address

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**PLEASE FORWARD THIS APPLICATION TO**

**Advertised**

<b>E-mail:</b>	planning@bawbawshire.vic.gov.au	<b>Mail:</b>	Planning Department, Baw Baw Shire Council PO Box 304 Warragul VIC 3820
<b>Phone:</b>	5624 2411		
<b>In Person:</b>	Customer Service Centre:	33 Young Street Drouin	

The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application.

These third parties generally include, but are not limited to:

Transport Infrastructure Agencies such as VicRoads and VLine

Energy/Utilities Providers

Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

All information collected and held by Council is managed in accordance with Councils Privacy Policy which is available on our website. If you choose not to supply the requested information it may impair the ability of Council to consider your application or prevent Council from communicating with you in relation to your application.

If you have any concerns or require access to the information held by Council, please contact us on 5624 2411.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

VOLUME 11849 FOLIO 513

Security no : 124096597056D  
Produced 04/04/2022 01:12 PM

**LAND DESCRIPTION**

Lot 2 on Plan of Subdivision 731574V.  
PARENT TITLE Volume 09953 Folio 168  
Created by instrument PS731574V 24/01/2017

**REGISTERED PROPRIETOR**

Estate Fee Simple

**ENCUMBRANCES, CAVEATS AND NOTICES**

COVENANT AJ540605B 09/03/2012  
Expiry Date 31/12/2021

COVENANT PS731574V 24/01/2017

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE PS731574V FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: UNIT 2 3 PEARSE STREET WARRAGUL VIC 3820

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 15314Q ANZ RETAIL BANKING  
Effective from 24/05/2018

**OWNERS CORPORATIONS**

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

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The land in this folio is affected by  
OWNERS CORPORATION 1 PLAN NO. PS731574V

DOCUMENT END

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Document Assembled	<b>04/04/2022 13:15</b>

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<b>PLAN OF SUBDIVISION</b>	EDITION 1	PS731574V <span style="border: 1px solid red; padding: 2px; font-weight: bold; color: red;">Advertised</span>
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<p><b>LOCATION OF LAND</b></p> <p><b>PARISH:</b> DROUIN EAST</p> <p><b>TOWNSHIP:</b> —</p> <p><b>SECTION:</b> A</p> <p><b>CROWN ALLOTMENT:</b> 24(PT)</p> <p><b>CROWN PORTION:</b> —</p> <p><b>TITLE REFERENCE:</b> VOL. 9953 FOL. 168</p> <p><b>LAST PLAN REFERENCE:</b> CP172383V</p> <p><b>POSTAL ADDRESS:</b> 3 PEARSE STREET, (at time of subdivision) WARRAGUL, 3820</p> <p><b>MGA CO-ORDINATES:</b> E: 407 500                      ZONE: 55 (of approx centre of land in plan)                      N: 5 775 500                      GDA 94</p>	<p>Council Name: Baw Baw Shire Council</p> <p>Council Reference Number: PSB0081/14.01 Planning Permit Reference: PSB0081/14.A SPEAR Reference Number: S077475S</p> <p>Certification</p> <p>This plan is certified under section 6 of the Subdivision Act 1988</p> <p>Statement of Compliance</p> <p>This is a statement of compliance issued under section 21 of the Subdivision Act 1988</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 of the Subdivision Act 1988 Has not been made at Certification</p> <p>Digitally signed by: Claire Ablett for Baw Baw Shire Council on 03/11/2016</p>
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<b>VESTING OF ROADS AND/OR RESERVES</b>	<b>NOTATIONS</b>				
<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th style="width:50%;">IDENTIFIER</th> <th style="width:50%;">COUNCIL/BODY/PERSON</th> </tr> <tr> <td style="text-align: center;">NIL</td> <td style="text-align: center;">NIL</td> </tr> </table>	IDENTIFIER	COUNCIL/BODY/PERSON	NIL	NIL	<p><b>BOUNDARIES SHOWN BY THICK CONTINUOUS LINES ARE DEFINED BY BUILDINGS.</b></p> <p><b>LOCATION OF BOUNDARIES DEFINED BY BUILDINGS:</b>  <b>MEDIAN - BOUNDARIES MARKED 'M'</b>  <b>EXTERIOR FACE - BOUNDARIES MARKED 'E'</b></p> <p><b>LAND IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE OWNERS CORPORATIONS.</b></p> <p>FOR DETAILS OF OWNERS CORPORATION(S) INCLUDING PURPOSE, RESPONSABILITY AND ENTITLEMENT AND LIABILITY, SEE OWNERS CORPORATION SEARCH REPORT, OWNERS CORPORATION RULES AND OWNERS CORPORATION ADDITIONAL INFORMATION.</p> <p><b>THIS IS A SPEAR PLAN</b>  <b>EASEMENTS NUMBERS E-10 TO E-17 &amp; E-20 HAVE BEEN OMITTED FROM THIS PLAN.</b>  <b>SEE SHEET 6 FOR DETAILS OF RESTRICTION.</b></p>
IDENTIFIER	COUNCIL/BODY/PERSON				
NIL	NIL				
<b>NOTATIONS</b>					
<b>DEPTH LIMITATION: DOES NOT APPLY.</b>					
<p><b>SURVEY:</b> This plan is based on survey.</p> <p><b>STAGING:</b> This is not a staged subdivision. Planning Permit No. PSB0081/14.A</p> <p>This survey has been connected to permanent marks No(s). 123 &amp; 124</p> <p>In Proclaimed Survey Area No. —</p>					

**EASEMENT INFORMATION**

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO ALL THE LAND IN THIS PLAN.

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
SEE SHEET TWO FOR EASEMENT DETAILS				

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# PLAN OF SUBDIVISION

EDITION 1

PS731574V

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## EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

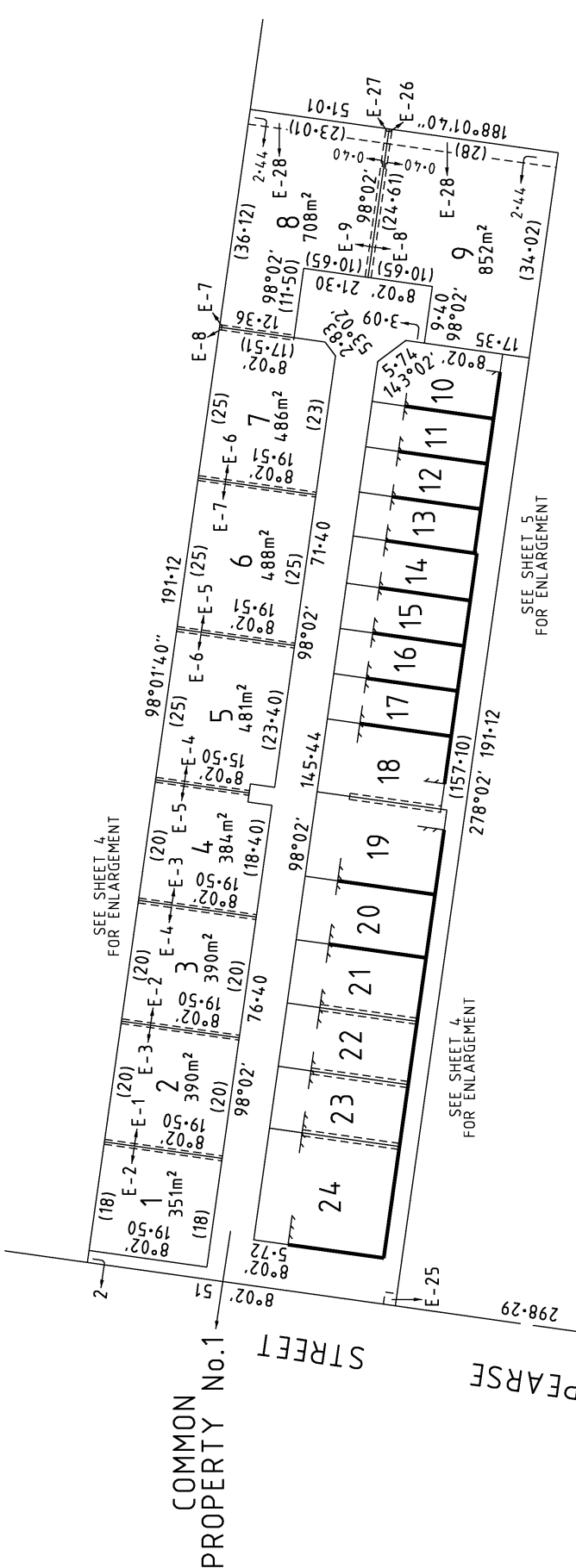
SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO ALL THE LAND IN THIS PLAN.

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	PARTY WALL	0.40	THIS PLAN	LOT 1 ON THIS PLAN
E-2	PARTY WALL	0.40	THIS PLAN	LOT 2 ON THIS PLAN
E-3	PARTY WALL	0.40	THIS PLAN	LOT 3 ON THIS PLAN
E-4	PARTY WALL	0.40	THIS PLAN	LOT 4 ON THIS PLAN
E-5	PARTY WALL	0.40	THIS PLAN	LOT 5 ON THIS PLAN
E-6	PARTY WALL	0.40	THIS PLAN	LOT 6 ON THIS PLAN
E-7	PARTY WALL	0.40	THIS PLAN	LOT 7 ON THIS PLAN
E-8 & E-26	PARTY WALL	0.40	THIS PLAN	LOT 8 ON THIS PLAN
E-9 & E-27	PARTY WALL	0.40	THIS PLAN	LOT 9 ON THIS PLAN
E-18	PARTY WALL	0.40	THIS PLAN	LOT 18 ON THIS PLAN
E-19	PARTY WALL	0.04	THIS PLAN	LOT 19 ON THIS PLAN
E-21	PARTY WALL	0.04	THIS PLAN	LOT 21 ON THIS PLAN
E-22	PARTY WALL	0.04	THIS PLAN	LOT 22 ON THIS PLAN
E-23	PARTY WALL	0.04	THIS PLAN	LOT 23 ON THIS PLAN
E-24	PARTY WALL	0.04	THIS PLAN	LOT 24 ON THIS PLAN
E-25	SEWERAGE PURPOSES	2	LP148533C	LOTS ON LP148533C
E-26, E-27 & E-28	DRAINAGE & SEWERAGE PURPOSES	SEE DIAG.	LP113240	LOTS ON LP113240

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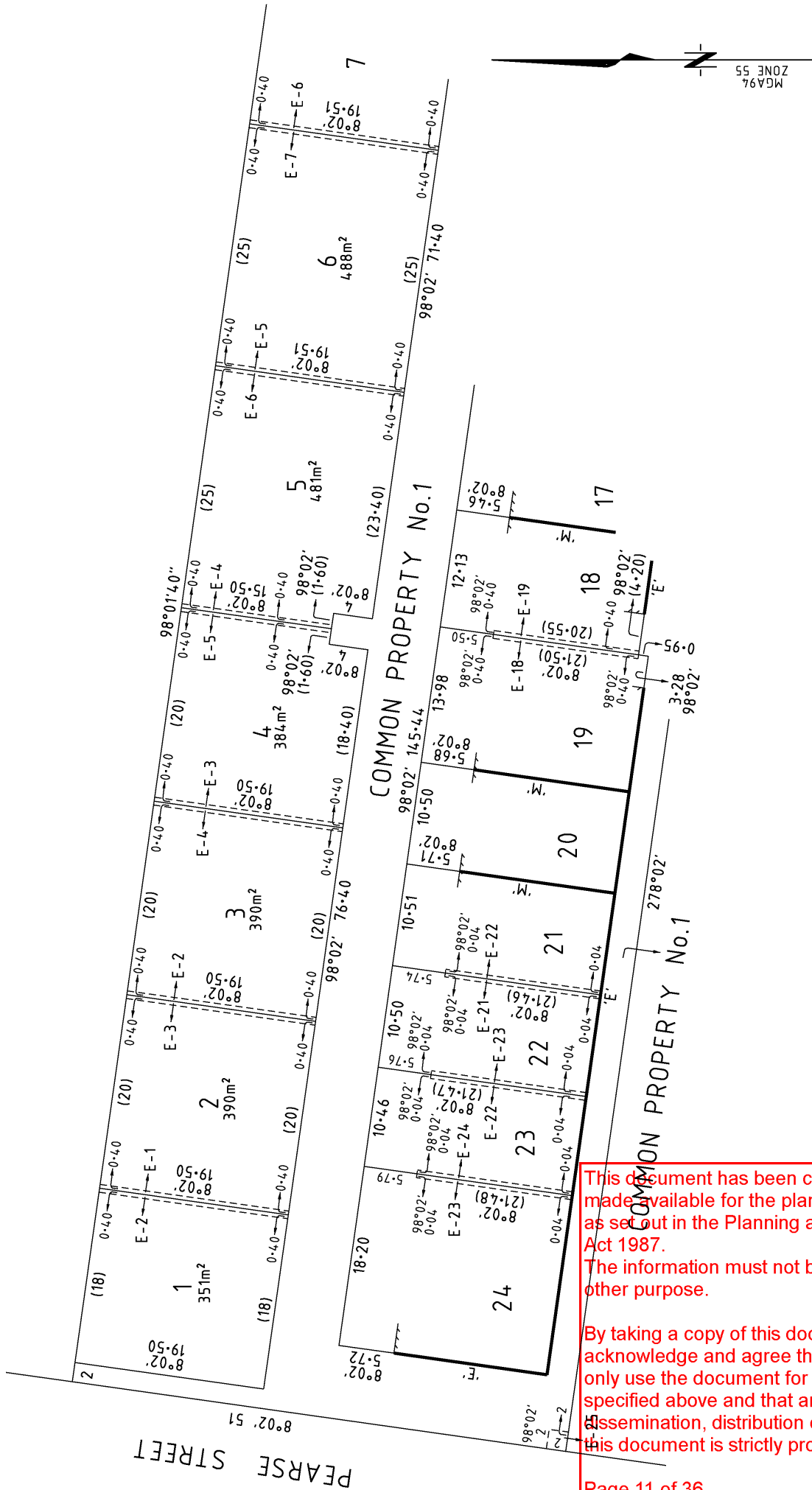
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SURVEYORS REFERENCE <b>1401220</b>	SCALE 1 : 750				7.5 0 7.5 15 22.5 30 LENGTHS ARE IN METRES				ORIGINAL SHEET SIZE: A3	SHEET 3
	Digitally signed by: steven john wallace (Beveridge Williams & Co Pty Ltd - Traralgon), Surveyor's Plan Version (2), 22/07/2016 Amended: 09/01/2017 Digitally signed by: Baw Baw Shire Council, 03/11/2016, SPEAR Ref: S0774755									

**Beveridge Williams**  
development & environment consultants  
Traralgon ph : 03 76 0374

PS731574V



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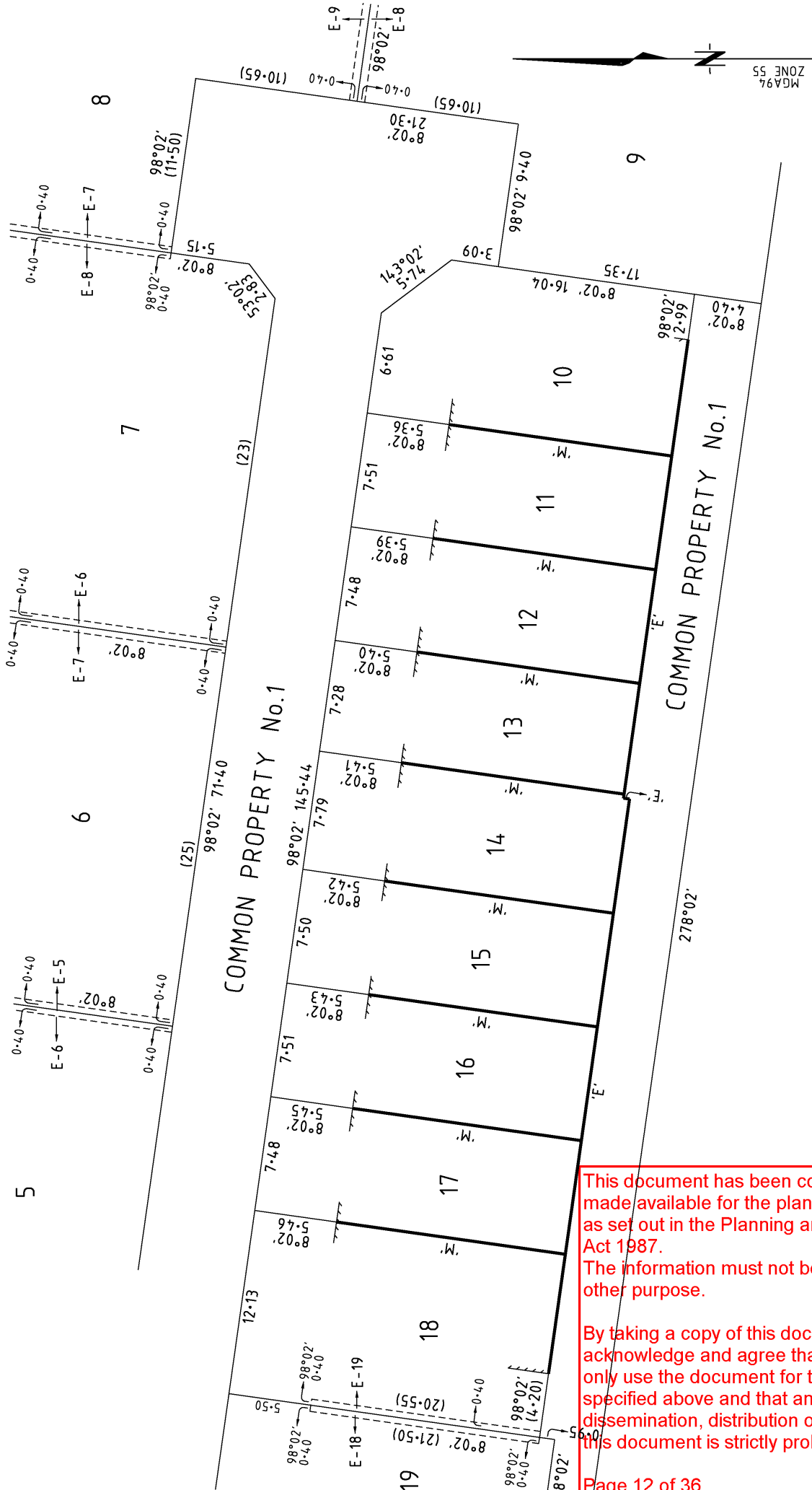
SURVEYORS REFERENCE <b>1401220</b>	Digitally signed by: steven john wallace (Beveridge Williams & Co Pty Ltd - Traralgon), Surveyor's Plan Version (2), 22/07/2016 Amended: 09/01/2017	SCALE 1 : 400	4 0 4 8 12 16 LENGTHS ARE IN METRES	ORIGINAL SHEET SIZE: A3	SHEET 4
		Digitally signed by: steven john wallace (Beveridge Williams & Co Pty Ltd - Traralgon), Surveyor's Plan Version (2), 22/07/2016 Amended: 09/01/2017			

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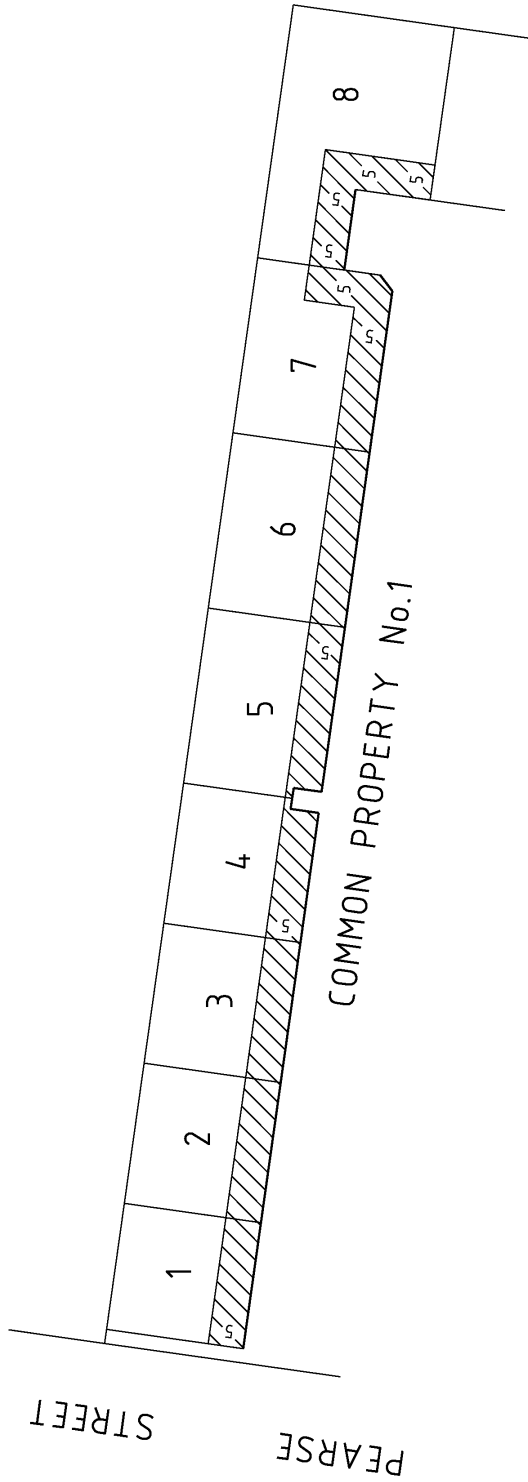
SURVEYORS REFERENCE <b>1401220</b>	SCALE 1 : 250	LENGTHS ARE IN METRES 2.5 0 2.5 5 7.5 10					ORIGINAL SHEET SIZE: A3	SHEET 5
		Digitally signed by: steven john wallace (Beveridge Williams & Co Pty Ltd - Traralgon), Surveyor's Plan Version (2), 22/07/2016 Amended: 09/01/2017						
Digitally signed by: Baw Baw Shire Council, 03/11/2016, SPEAR Ref: S077475S								

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PS731574V



**CREATION OF RESTRICTION:**  
 UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTION IS CREATED:  
 LAND TO BENEFIT: LOTS 1 TO 8 INCLUSIVE ON THIS PLAN.

**DESCRIPTION OF RESTRICTION:**  
 THE REGISTERED PROPRIETOR OR PROPRIETORS OF LOTS 1 TO 8 INCLUSIVE ON THIS PLAN SHALL NOT CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING, SHED OR DWELLING WITHIN THE AREA SHOWN HATCHED WITHOUT THE PRIOR CONSENT OF THE BAW BAW SHIRE COUNCIL

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SURVEYORS REFERENCE  
**1401220**

**BW Beveridge Williams**  
 development & environment consultants  
 Traralgon ph : 03 51 76 0374

SCALE 1 : 750  
 LENGTHS ARE IN METRES  
 7.5 0 7.5 15 22.5 30

Digitally signed by: steven john wallace (Beveridge Williams & Co Pty Ltd - Traralgon), Surveyor's Plan Version (2), 22/07/2016 Amended: 09/01/2017

ORIGINAL SHEET SIZE: A3  
 SHEET 6

Digitally signed by:  
 Baw Baw Shire Council,  
 03/11/2016,  
 SPEAR Ref: S077475S

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**AJ540605B**

# Transfer of Land

## Section 45 Transfer of Land Act 1958

**Privacy Collection Statement**  
The information from this form is collected by the Registrar of Titles under statutory authority and is used for the purpose of maintaining publicly searchable registers and indexes.

Lodged by

Name: ..... **BANK OF WESTERN AUSTRALIA LTD** .....  
Phone: .....  
Address: .....  
Reference: ..... **12646E** .....  
Customer Code: .....

The transferor at the direction of the directing party (if any) transfers to the transferee the estate and interest specified in the land described for the consideration expressed-

- together with any easements created by this transfer;
- subject to the encumbrances affecting the land including any created by dealings lodged for registration before the lodging of this transfer; and
- subject to any easements reserved by this transfer or restrictive covenant contained or covenant created pursuant to statute and included in this transfer.

Land: (volume and folio)

Volume 9953 Folio 168

Estate and Interest: (e.g. "all my estate in fee simple")

All our estate in fee simple

Consideration:



Transferor: (full name)



Directing Party: (full name)

Creation and/or Reservation of Easement and/or Restrictive Covenant :

"The said Transferee for itself, its respective successors and transferees the registered proprietor or proprietors for the time being of the land hereby transferred covenants with the Transferor and others the registered proprietor or proprietors for the time being of the land comprised in Certificates of Title Volume 11150 Folio 566 and Volume 11224 Folio 511 and each and every part thereof not to use or allow to be used the land hereby transferred or any part thereof for the sale of timber or for the sale of manufacture of roof trusses or wall frames.

It is agreed that the burden of this covenant shall run at law and in equity with the land hereby transferred and every part or parts of the land hereby transferred for the benefit of the land comprised in Certificates of Title Volume 11150 Folio 566 and Volume 11224 Folio 511 and be noted on every future Certificate of Title for the land hereby transferred except that this covenant ceases to apply or affect the land hereby transferred as from 31<sup>st</sup> December 2021."

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26171201A Order to Register

# T2

Please register and issue Certificate of Title to

Page 1 of 2

Signed Customer Code:

**THE BACK OF THIS FORM MUST NOT BE USED**

Land Victoria, 570 Bourke Street, Melbourne, 3000, Phone 8636-2010

Duty Use Only

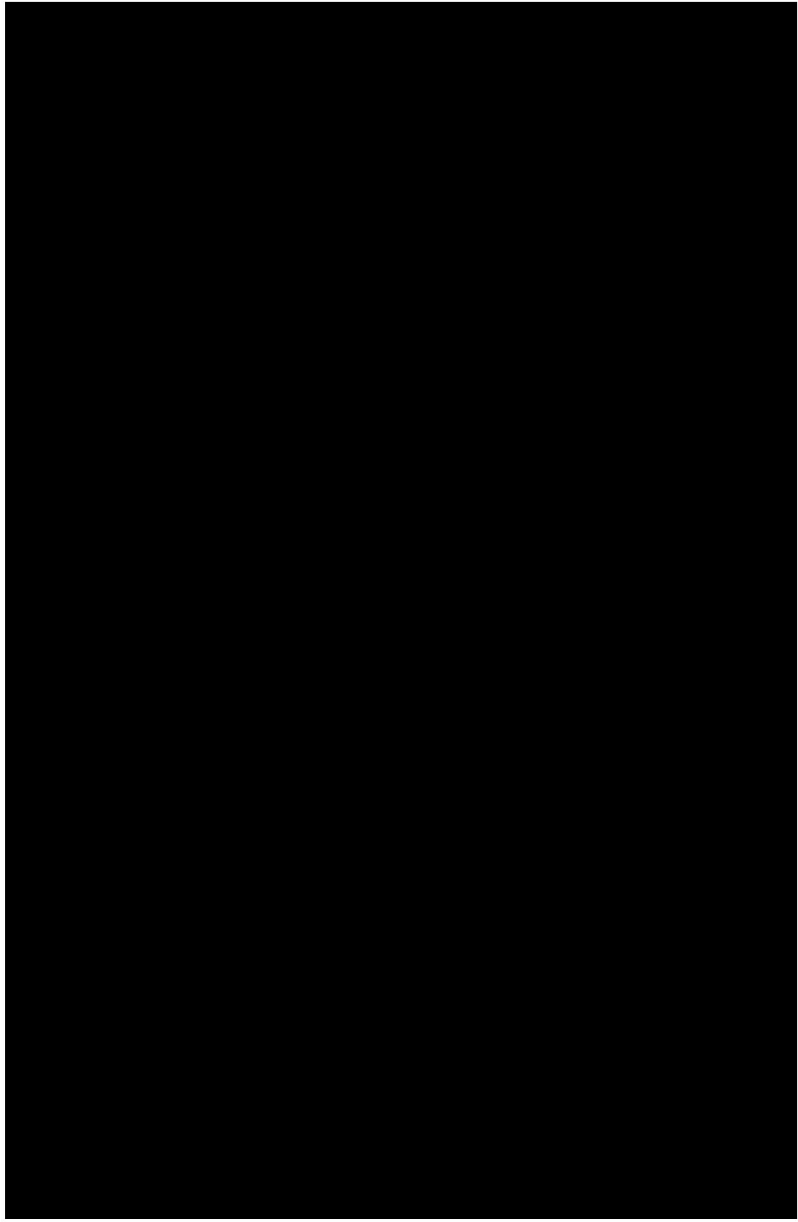
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SA Global Property Services Pty Ltd  
DRG AP 445  
Vic Duty \$110,412.00  
Consideration \$7,007,500.00  
Trans No 2460/2012  
Endorse Date 05/03/2012  
Section 36 Original  
Page 1 of 36  
CML COMM S Signature *DM*



Dated: 1/3/2012

Execution and attestation:



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26171201A

Order to Register

T2

Please register and issue Certificate of Title to

Page 2 of 2

Signed

Customer Code:

**THE BACK OF THIS FORM MUST NOT BE USED**

Land Victoria, 570 Bourke Street, Melbourne, 3000, Phone 8636-2010



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AR053293P

# Transfer of Land

Section 45 Transfer of Land Act 1958

### Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

## 1. Land/s

Land Title

Volume 11849 Folio 513

The transferor transfers to the transferee the estate and interest specified in the land described for the consideration expressed and subject to the encumbrances affecting the land including any created by dealings lodged for registration before the lodging of this transfer.

## 2. Estate and Interest

FEE SIMPLE

Transferor

Certifications

## 3. Transferor/s

Transferor

Name

ACN

1. The Certifier has taken reasonable steps to verify the identity of the transferor.

2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.

## 4. Transferee/s

Transferee

Name

ACN

Australian  
Credit Licence

3. The Certifier has retained the evidence supporting this Registry Instrument or Document.

4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.

## 5. Manner of Holding

SOLE PROPRIETOR

Executed on behalf

Signer Name

Signer Organisation

Signer Role

Signature

## 6. Address/es of Transferee/s

Address of Transferee

Unit 23-24 Street No 3

Street Name PEARSE

Street Type STREET

Locality WARRAGUL

State VIC Postcode 3820

Execution Date

## 7. Consideration

## 8. Signing

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Approval Number: 35271702A

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Page 1 of 2

LV-V33-May-2017

AR053293P

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# Transfer of Land

Section 45 Transfer of Land Act 1958

## Transferee

### Certifications

1. The Certifier has taken reasonable steps to verify the identity of the transferee.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.

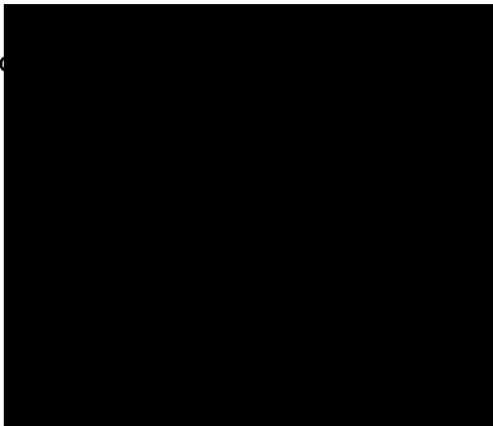
Executed on behalf of

Signer Name

Signer Organisation

Signer Role

Signature

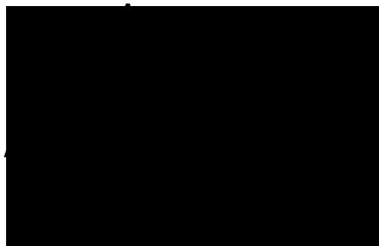


Execution Date

## 9. Lodging Party

Customer Code

Reference



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LV-V33-May-2017



# Department of Environment, Land, Water & Planning

## Owners Corporation Search Report

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Produced: 04/04/2022 01:15:42 PM

**OWNERS CORPORATION 1**  
**PLAN NO. PS731574V**

The land in PS731574V is affected by 3 Owners Corporation(s)

### Land Affected by Owners Corporation:

Common Property 1, Lots 1 - 24.

### Limitations on Owners Corporation:

Unlimited

### Postal Address for Services of Notices:

ACE BODY CORPORATE - GIPPSLAND REGION & BERWICK 5/29-31 CHURCH STREET TRARALGON VIC 3844

AT828690S 07/12/2020

### Owners Corporation Manager:

NIL

### Rules:

Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

### Owners Corporation Rules:

NIL

### Additional Owners Corporation Information:

OC033343H 24/01/2017

### Notations:

NIL

### Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Common Property 1	0	0
Lot 1	351	351
Lot 2	390	390
Lot 3	390	390
Lot 4	384	384
Lot 5	481	481
Lot 6	488	488

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# Department of Environment, Land, Water & Planning

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## Owners Corporation Search Report

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**OWNERS CORPORATION 1  
PLAN NO. PS731574V**

**Entitlement and Liability:**

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Lot 7	486	486
Lot 8	708	708
Lot 9	852	852
Lot 10	207	207
Lot 11	151	151
Lot 12	151	151
Lot 13	146	146
Lot 14	159	159
Lot 15	154	154
Lot 16	154	154
Lot 17	154	154
Lot 18	249	249
Lot 19	301	301
Lot 20	225	225
Lot 21	225	225
Lot 22	225	225
Lot 23	225	225
Lot 24	391	391
<b>Total</b>	<b>7647.00</b>	<b>7647.00</b>

From 31 December 2007 every Body Corporate is deemed to be an Owners Corporation. Any reference to a Body Corporate in any Plan, Instrument or Folio is to be read as a reference to an Owners Corporation.

Statement End.

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# Department of Environment, Land, Water & Planning

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**OWNERS CORPORATION 2  
PLAN NO. PS731574V**

The land in PS731574V is affected by 3 Owners Corporation(s)

**Land Affected by Owners Corporation:**  
Lots 10 - 18.

**Limitations on Owners Corporation:**  
Limited

**Postal Address for Services of Notices:**  
ACE BODY CORPORATE - GIPPSLAND REGION & BERWICK 5/29-31 CHURCH STREET TRARALGON VIC 3844  
  
AT828690S 07/12/2020

**Owners Corporation Manager:**  
NIL

**Rules:**  
Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

**Owners Corporation Rules:**  
NIL

**Additional Owners Corporation Information:**  
OC033344F 24/01/2017

**Notations:**  
Members of Owners Corporation 2 are also affected by Owners Corporation 1.

**Entitlement and Liability:**  
NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Lot 10	207	207
Lot 11	151	151
Lot 12	151	151
Lot 13	146	146
Lot 14	159	159
Lot 15	154	154
Lot 16	154	154

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**OWNERS CORPORATION 2  
PLAN NO. PS731574V**

### Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Lot 17	154	154
Lot 18	249	249
<b>Total</b>	<b>1525.00</b>	<b>1525.00</b>


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Produced: 04/04/2022 01:15:43 PM

**OWNERS CORPORATION 3  
PLAN NO. PS731574V**

The land in PS731574V is affected by 3 Owners Corporation(s)

**Land Affected by Owners Corporation:**  
Lots 19 - 24.

**Limitations on Owners Corporation:**  
Limited

**Postal Address for Services of Notices:**  
ACE BODY CORPORATE - GIPPSLAND REGION & BERWICK 5/29-31 CHURCH STREET TRARALGON VIC 3844  
  
AT828690S 07/12/2020

**Owners Corporation Manager:**  
NIL

**Rules:**  
Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

**Owners Corporation Rules:**  
NIL

**Additional Owners Corporation Information:**  
OC033345D 24/01/2017

**Notations:**  
Members of Owners Corporation 3 are also affected by Owners Corporation 1.

**Entitlement and Liability:**  
NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Lot 19	301	301
Lot 20	225	225
Lot 21	225	225
Lot 22	225	225
Lot 23	225	225
Lot 24	391	391
<b>Total</b>	<b>1592.00</b>	<b>1592.00</b>

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# Department of Environment, Land, Water & Planning

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## Owners Corporation Search Report

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OWNERS CORPORATION 3  
PLAN NO. PS731574V

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- All materials and work practices shall comply with, but not limited to the Building Regulations 2018, the National Construction Code Series 2016 Building Code of Australia Volume 1 and all relevant current Australian standards (as amended) referred to therein.
- Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2016 Building Code of Australia Volume 1.
- All materials and construction practice shall meet the Performance Requirements of the Building Code of Australia. Where a performance solution is proposed then prior to implementation or installation it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the Building Code of Australia.
- Step sizes (other than for spiral stairs) to be:
  - Risers (R) 190mm maximum and 115mm minimum
  - Going (G) 355mm maximum and 250mm minimum for Public stairways and 355mm maximum and 240mm minimum for Private stairways
  - 2R + 1G = 700mm maximum and 550mm minimum
  - Constructed with a less than 125mm gap to open treads
- All treads, landings and the like to have a slip-resistance classification of P3 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip-resistance classification of P3 for dry surface conditions and P4 for wet surface conditions.
- Provide barriers where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Barriers (other than tensioned wire barriers) to be:
  - 1000mm minimum above finished surface level of balconies, landings or the like, and
  - 865mm minimum above finished surface level of stair nosing or ramp, and
  - Vertical with a less than 125mm gap between, and
  - Any horizontal element within the barrier between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/or treads.
- Top of hand rails to be minimum 865mm vertically above stair nosing and floor surface of ramps.
- Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around.
- Waterproofing of wet areas to comply with BCA Part F1.7
- Buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of AS3700-2011 Masonry structures.
- All storm water to be taken to the legal point of discharge to the relevant authorities' approval.
- These drawings shall be read in conjunction with all architectural specifications, relevant structural and all other consultants' drawings/details and specifications and with any other written instructions issued in the course of the contract.
- All measurements and levels in millimetres unless noted otherwise.
- Figured dimensions take precedence over scaled dimensions.
- The builder shall take all steps necessary to ensure the stability and general water tightness of all new and/ or existing structures and all essential services to be maintained during all works.
- A building Permit is required prior to the commencement of these works. The release of these documents is conditional to the Owner obtaining the required Building Permit.
- The builder and subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.
- Installation of all services shall comply with the respective Supply Authority requirements.
- The builder and subcontractor shall ensure that all storm water drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/ or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.
- These plans have been prepared for the exclusive use by the client of Buildingdesigned ("the Designer") for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.
- The Client and/or the Client's Builder shall not modify or amend the plans without the knowledge and consent of Buildingdesigned except where a Registered Building Surveyor makes minor necessary changes to facilitate the Building Permit application and that such changes are promptly reported back to Buildingdesigned.
- The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. All variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing any variation.
- Refer to Civil Engineers design and details for all storm water, car parking and driveway construction requirements.
- Refer to fire services design for all hydrant, hose reels and extinguisher details.
- Electrical switchboards located in the path of travel to exits to be enclosed in a metal or other non combustible cabinet with smoke proof doors. Significant switchboards shall be provided with a 5kg carbon dioxide extinguisher or another type of extinguisher with a minimum classification of 1A:E and fitted with a hose complete with extinguisher identification signage and shall be located between 2m and 20m from the significant switchboard.
- Fire hazard properties of materials and assemblies to comply with BCA Specification C1.10.
- Mechanical ventilation or air-conditioning of rooms to be provided with a system complying with AS1668.2 and AS/
- Personnel loading:
  - Based on sanitary facilities provided per BCA Table. F2.3 NZS 3666.1 as amended.
  - Exhaust outlets to be located no closer than 6.0m to fresh air inlets.
- Sediment pollution control:
  - A site management plan is to be implemented during construction to control sediment run-off in accordance with EPA Victoria publication #275 'construction techniques for sediment pollution control'.
  - Provide 'propex' or written approved equivalent silt fences to the low side of the allotment and around all soil stockpiles and storm water inlet pits / sumps and install 'silt stop' filter bags over all storm water entry pits during construction works.
  - 'Supergro' or written approved equivalent erosion control fabric to be placed over garden beds to prevent surface erosion during re vegetation period.
- Authorities List:
  - Municipality \_\_\_\_\_
  - Sewerage authority \_\_\_\_\_
  - Drainage authority \_\_\_\_\_
  - Relevant Building Surveyor \_\_\_\_\_
  - Relevant Fire Authority \_\_\_\_\_
  - Relevant Electrical Supply Authority \_\_\_\_\_
- Planning Permit:
  - Planning Permit No \_\_\_\_\_
  - Issue Date \_\_\_\_\_
  - Builder to allow for all works to comply and include all required conditions in accordance with the Planning Permit and shall be responsible for compliance with all Planning Conditions at the completion of works.
- Project Consultants List:
  - Consulting Structural Engineer \_\_\_\_\_
  - Consulting Civil Engineer \_\_\_\_\_
  - Consulting Fire Service Design \_\_\_\_\_
  - Consulting Land Surveyor \_\_\_\_\_
  - Consulting Geotechnical Engineer \_\_\_\_\_
  - Consulting Landscape Designer \_\_\_\_\_
  - Consulting Mechanical Services Engineer \_\_\_\_\_
  - Consulting Electrical Engineer \_\_\_\_\_
  - Consulting Hydraulic Engineer \_\_\_\_\_
  - Consulting Lighting Designer \_\_\_\_\_
- Site geotechnical investigation:
  - Refer to geotechnical investigation report no \_\_\_\_\_
  - By \_\_\_\_\_

**NCC COMPLIANCE**  
**PART A3 CLASSIFICATION OF BUILDINGS AND STRUCTURES**  
**CLASS 7: A BUILDING WHICH IS-**  
**CLASS 7B - FOR STORAGE, OR DISPLAY OF GOODS OR PRODUCE FOR SALE BY WHOLESALE.**  
**PART C1 FIRE RESISTANCE AND STABILITY**  
**TABLE C1.1 TYPE OF CONSTRUCTION REQUIRED**  
**TYPE C**  
**SPECIFICATION C1.1 FIRE-RESISTING CONSTRUCTION**  
**TYPE C FIRE-RESISTING CONSTRUCTION**  
 IN A BUILDING REQUIRED TO BE OF TYPE C CONSTRUCTION-  
 (A) A BUILDING ELEMENT LISTED IN TABLE 5 AND ANY BEAM OR COLUMN INCORPORATED IN IT, MUST HAVE AN FRL NOT LESS THAN THAT LISTED IN THE TABLE FOR THE PARTICULAR CLASS OF BUILDING CONCERNED; AND  
 (B) AN EXTERNAL WALL THAT IS REQUIRED BY TABLE 5 TO HAVE AN FRL NEED ONLY BE TESTED FROM THE OUTSIDE TO SATISFY THE REQUIREMENT; AND  
 (C) A FIRE WALL OR AN INTERNAL WALL BOUNDING A SOLE-OCCUPANCY UNIT OR SEPARATING ADJOINING UNITS MUST COMPLY WITH SPECIFICATION C1.8 IF IT IS OF LIGHTWEIGHT CONSTRUCTION AND IS REQUIRED TO HAVE AN FRL.  
**TABLE 5 TYPE C CONSTRUCTION: FRL OF BUILDING ELEMENTS**  
**BUILDING ELEMENT CLASS OF BUILDING-FRL: (IN MINUTES) STRUCTURAL ADEQUACY INTEGRITY INSULATION CLASS 7**  
**EXTERNAL WALLS-**  
 LESS THAN 1.5m TO FIRE SOURCE FEATURE 90/90/90  
 1.5m TO LESS THAN 3m 60/60/60  
 3m OR MORE -/-  
**D1.2 NUMBER OF EXITS REQUIRED**  
**ALL BUILDINGS - EVERY BUILDING MUST HAVE AT LEAST ONE EXIT FROM EACH STOREY.**  
**D1.4 EXIT TRAVEL DISTANCES**  
**CLASS 5, 6, 7, 8 OR 9 BUILDINGS - SUBJECT TO (D), (E) AND (F)-**  
 (I) NO POINT ON A FLOOR MUST BE MORE THAN 20M FROM AN EXIT, OR A POINT FROM WHICH TRAVEL IN DIFFERENT DIRECTIONS TO 2 EXITS IS AVAILABLE, IN WHICH CASE THE MAXIMUM DISTANCE TO ONE OF THOSE EXITS MUST NOT EXCEED 40M  
**D1.6 DIMENSIONS OF EXITS AND PATHS OF TRAVEL TO EXITS**  
 (A) THE UNOBSTRUCTED HEIGHT THROUGHOUT MUST BE NOT LESS THAN 2 M, EXCEPT THE UNOBSTRUCTED HEIGHT OF ANY DOORWAY MAY BE REDUCED TO NOT LESS THAN 1900MM, AND  
 (B) THE UNOBSTRUCTED WIDTH OF EACH EXIT OR PATH OF TRAVEL TO AN EXIT, EXCEPT FOR DOORWAYS, MUST BE NOT LESS THAN- 1m  
**D1.10 DISCHARGE FROM EXITS**  
 AN EXIT MUST NOT BE BLOCKED AT THE POINT OF DISCHARGE AND WHERE NECESSARY, SUITABLE BARRIERS MUST BE PROVIDED TO PREVENT VEHICLES FROM BLOCKING THE EXIT, OR ACCESS TO IT.  
 IF A REQUIRED EXIT LEADS TO AN OPEN SPACE, THE PATH OF TRAVEL TO THE ROAD MUST HAVE AN UNOBSTRUCTED WIDTH THROUGHOUT OF NOT LESS THAN-  
 (I) THE MINIMUM WIDTH OF THE REQUIRED EXIT; OR  
 (II) 1M, WHICHEVER IS THE GREATER.  
**D1.13 NUMBER OF PERSONS ACCOMMODATED**  
 FOR THE PURPOSES OF THE DEEMED-TO-SATISFY PROVISIONS, THE NUMBER OF PERSONS ACCOMMODATED IN A STOREY, ROOM OR MEZZANINE MUST BE DETERMINED WITH CONSIDERATION TO THE PURPOSE FOR WHICH IT IS USED AND THE LAYOUT OF THE FLOOR AREA BY-  
 (A) CALCULATING THE SUM OF THE NUMBERS OBTAINED BY DIVIDING THE FLOOR AREA OF EACH PART OF THE STOREY BY THE NUMBER OF SQUARE METRES PER PERSON LISTED IN TABLE D1.13 ACCORDING TO THE USE OF THAT PART, EXCLUDING SPACES SET ASIDE FOR:  
 (I) LIFTS, STAIRWAYS, RAMP AND ESCALATORS, CORRIDORS, HALLWAYS, LOBBIES AND THE LIKE; AND  
 (II) SERVICE DUCTS AND THE LIKE, SANITARY COMPARTMENTS OR OTHER ANCILLARY USES  
 or any other suitable means of assessing its capacity.  
**TABLE D1.13 AREA PER PERSON ACCORDING TO USE**  
**STORAGE SPACE 30m² PER PERSON**  
**MAXIMUM TBC PERSONS ACCOMMODATED**  
**PART D3 ACCESS FOR PEOPLE WITH A DISABILITY**  
**CLASS 7B TO AND WITHIN ALL AREAS NORMALLY USED BY THE OCCUPANTS.**  
**D3.6 SIGNAGE**  
 IN A BUILDING REQUIRED TO BE ACCESSIBLE-  
 (A) BRAILLE AND TACTILE SIGNAGE COMPLYING WITH SPECIFICATION D3.6 MUST-  
 (I) INCORPORATE THE INTERNATIONAL SYMBOL OF ACCESS OR DEAFNESS, AS APPROPRIATE, IN ACCORDANCE WITH AS 1428.1 AND IDENTIFY EACH- (A) SANITARY FACILITY  
**PART F2 SANITARY AND OTHER FACILITIES**  
**F2.2 CALCULATION OF NUMBER OF OCCUPANTS AND FACILITIES**  
 A. THE NUMBER OF PERSONS ACCOMMODATED MUST BE CALCULATED ACCORDING TO D1.13 IF IT CANNOT BE MORE ACCURATELY DETERMINED BY OTHER MEANS.  
 B. UNLESS THE PREMISES ARE USED PREDOMINANTLY BY ONE SEX, SANITARY FACILITIES MUST BE PROVIDED ON THE BASIS OF EQUAL NUMBERS OF MALES AND FEMALES.  
 C. IN CALCULATING THE NUMBER OF SANITARY FACILITIES TO BE PROVIDED UNDER F2.1 AND F2.3, A UNISEX FACILITY REQUIRED FOR PEOPLE WITH A DISABILITY MAY BE COUNTED ONCE FOR EACH SEX.  
**F2.3 FACILITIES IN CLASS 3 TO 9 BUILDINGS**  
 EXCEPT WHERE PERMITTED BY (B), (C), (F), F2.4(A) AND F2.4(B), SEPARATE SANITARY FACILITIES FOR MALES AND FEMALES MUST BE PROVIDED FOR CLASS 5 BUILDINGS IN ACCORDANCE WITH TABLE F2.3.  
 IF NOT MORE THAN 10 PEOPLE ARE EMPLOYED, A UNISEX FACILITY MAY BE PROVIDED INSTEAD OF SEPARATE FACILITIES FOR EACH SEX.  
 IF THE MAJORITY OF EMPLOYEES ARE OF ONE SEX, NOT MORE THAN 2 EMPLOYEES OF THE OTHER SEX MAY SHARE TOILET FACILITIES IF THE FACILITIES ARE SEPARATED BY MEANS OF WALLS, PARTITIONS AND DOORS TO AFFORD PRIVACY.  
**F2.4 ACCESSIBLE SANITARY FACILITIES**  
 ACCESSIBLE UNISEX SANITARY COMPARTMENTS MUST BE PROVIDED IN ACCESSIBLE PARTS OF THE BUILDING IN ACCORDANCE WITH TABLE F2.4(A);  
 CLASS 7,  
 WHERE F2.3 REQUIRES CLOSET PANS-  
 (A) 1 ON EVERY STOREY CONTAINING SANITARY COMPARTMENTS;  
 (C) AT EACH BANK OF TOILETS WHERE THERE IS ONE OR MORE TOILETS IN ADDITION TO AN ACCESSIBLE UNISEX SANITARY COMPARTMENT AT THAT BANK OF TOILETS, A SANITARY COMPARTMENT SUITABLE FOR A PERSON WITH AN AMBULANT DISABILITY IN ACCORDANCE WITH AS 1428.1 MUST BE PROVIDED FOR USE BY MALES AND FEMALES;  
**F4.5 VENTILATION OF ROOMS**  
 A HABITABLE ROOM, OFFICE, SHOP, FACTORY, WORKROOM, SANITARY COMPARTMENT, BATHROOM, SHOWER ROOM, LAUNDRY AND ANY OTHER ROOM OCCUPIED BY A PERSON FOR ANY PURPOSE MUST HAVE-  
 NATURAL VENTILATION COMPLYING WITH F4.6, OR  
 A MECHANICAL VENTILATION OR AIR-CONDITIONING SYSTEM COMPLYING WITH AS 1989.2 AND AS/NZS 3666.1.

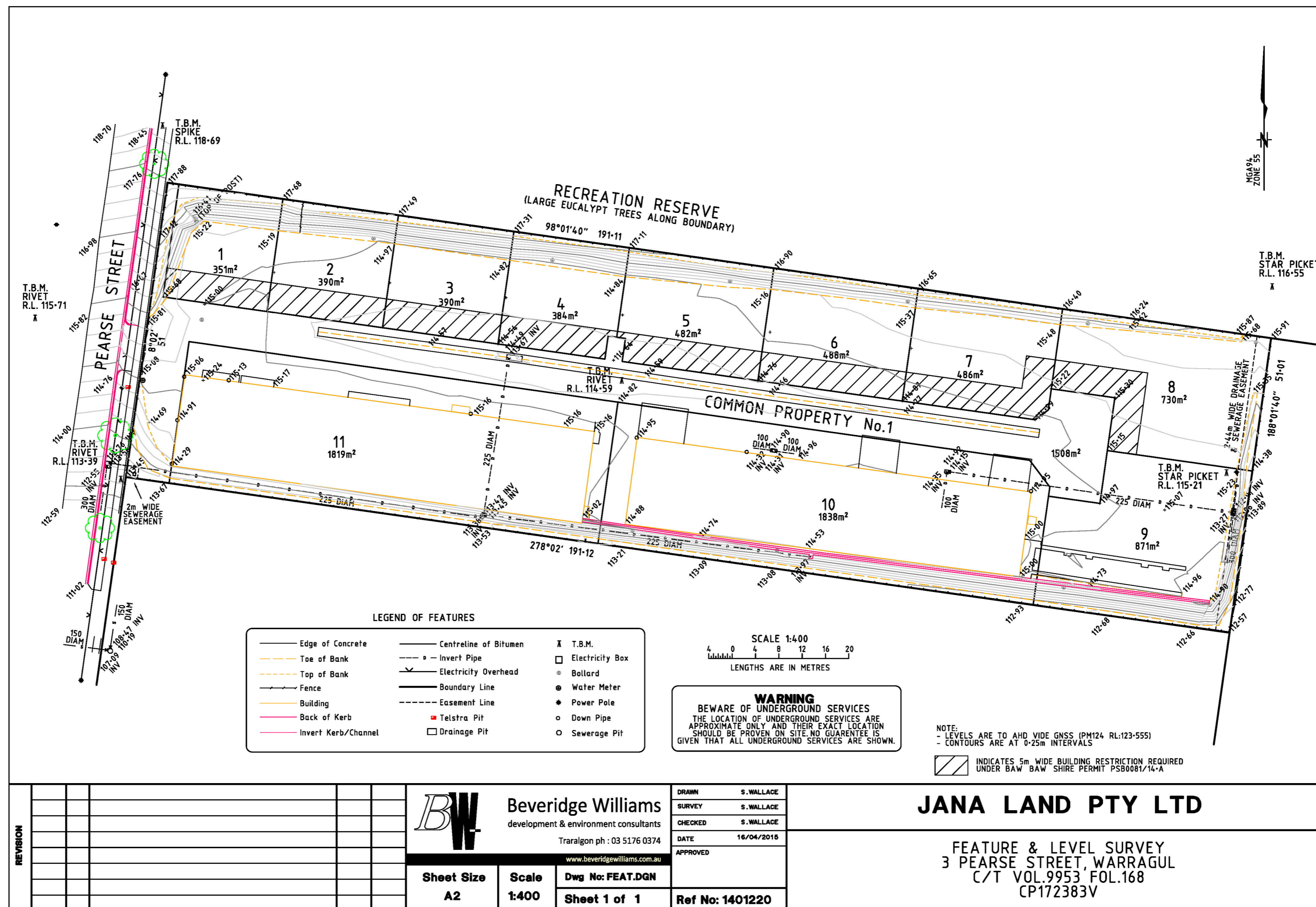
ID	Layout Name	Revision	Description	Date
PD-1	General Notes			
PD-2	Feature Survey			
PD-3	Site Plan			
PD-4	Site Plan			
PD-5	Floor Plan			
PD-6	Roof Plan			
PD-7	Elevations			
PD-8	Section			

**AS 1428.1 DESIGN FOR ACCESS AND MOBILITY**  
**6.3 WIDTH OF A CONTINUOUS ACCESSIBLE PATH OF TRAVEL UNLESS OTHERWISE SPECIFIED (SUCH AS AT DOORS AND SIMILAR), THE MINIMUM UNOBSTRUCTED WIDTH OF A CONTINUOUS ACCESSIBLE PATH OF TRAVEL SHALL BE 1000MM**  
**13 DOORWAYS, DOORS AND CIRCULATION SPACE AT DOORWAYS**  
**13.1 LUMINANCE CONTRAST**  
 ALL DOORWAYS SHALL HAVE A MINIMUM LUMINANCE CONTRAST OF 30% PROVIDED BETWEEN-  
 (A) DOOR LEAF AND DOOR JAMB; (B) DOOR LEAF AND ADJACENT WALL; (C) ARCHITRAVE AND WALL;  
 (D) DOOR LEAF AND ARCHITRAVE; OR (E) DOOR JAMB AND ADJACENT WALL.  
 THE MINIMUM WIDTH OF THE AREA OF LUMINANCE CONTRAST SHALL BE 50MM.  
**13.2 CLEAR OPENING OF DOORWAYS**  
 THE MINIMUM CLEAR OPENING OF A DOORWAY ON A CONTINUOUS ACCESSIBLE PATH OF TRAVEL SHALL BE 850MM WHEN MEASURED FROM THE FACE OF THE OPENED DOOR TO THE DOORSTOP. WHERE DOUBLE DOORS ARE USED, THE 850MM MINIMUM CLEAR OPENING SHALL APPLY TO THE ACTIVE LEAF.  
**13.3 CIRCULATION SPACES AT DOORWAYS ON A CONTINUOUS ACCESSIBLE PATH OF TRAVEL**  
**13.3.1 GENERAL**  
 CIRCULATION SPACES SHALL BE PROVIDED AT EVERY DOORWAY, GATE, OR SIMILAR ENTRY WAY, ON A CONTINUOUS ACCESSIBLE PATH OF TRAVEL. CIRCULATION SPACES AT DOORWAYS SHALL HAVE A GRADIENT AND CROSSFALL NOT STEEPER THAN 1 IN 40.  
 DOORWAY CIRCULATION SPACES SHALL BE USED IN COMBINATION TO ALLOW ACCESS THROUGH DOORWAYS IN BOTH DIRECTIONS, AS SHOWN IN FIGURES 31 AND 32.  
 THE DIMENSIONS SHALL ALSO APPLY IN MIRROR IMAGE CONFIGURATIONS, WHERE CLEAR DOORWAY OPENINGS ARE INTERMEDIATE TO THOSE SHOWN IN FIGURES 31 AND 32 THEN THE REQUIRED CIRCULATION SPACES SHALL BE INTERPOLATED.  
**13.3.2 SWINGING DOORS**  
 THE CLEAR CIRCULATION SPACE AT DOORWAYS WITH SWINGING DOORS IS BASED ON THE CLEAR OPENING WIDTH OF THE DOORWAY. THE CLEAR CIRCULATION SPACE SHALL BE NOT LESS THAN THE DIMENSIONS SPECIFIED IN THE TABLES OF FIGURE 31 FOR THE APPROPRIATE CLEAR OPENING WIDTH.

Buildingdesigned   54 Queen Street Warragul 3820   P. 5623 2534   info@buildingdesigned.com.au   www.buildingdesigned.com.au   find us on Facebook		CLIENT: [REDACTED]		PROJECT: PROPOSED BUILDING Lot 2 3 Pearse Street Warragul		
MEMBER  Building Designers Association Victoria Design and Documents under copyright. Do not reproduce without written authorisation from Graeme Parker.	REGISTERED Building Practitioner  54 QUEEN STREET WARRAGUL email: info@buildingdesigned.com.au mob: 0468 142 227 DP-AD 28770	DRAWING TITLE: Preliminary Drawings	SCALE: as noted @ A2	DRAWING: PD-1/8 SHEET SIZE: A2 JOB NO: 21106 DRAWN: GP PLOT: 5/07/2022 DATE: 25/01/2022	AREA SUMMARY Proposed Floor Area 26.00 m <sup>2</sup> Proposed Awning 27.75 m <sup>2</sup> Total 53.75 m <sup>2</sup> Page 26 of 27	REV: DETAILS: DATE:

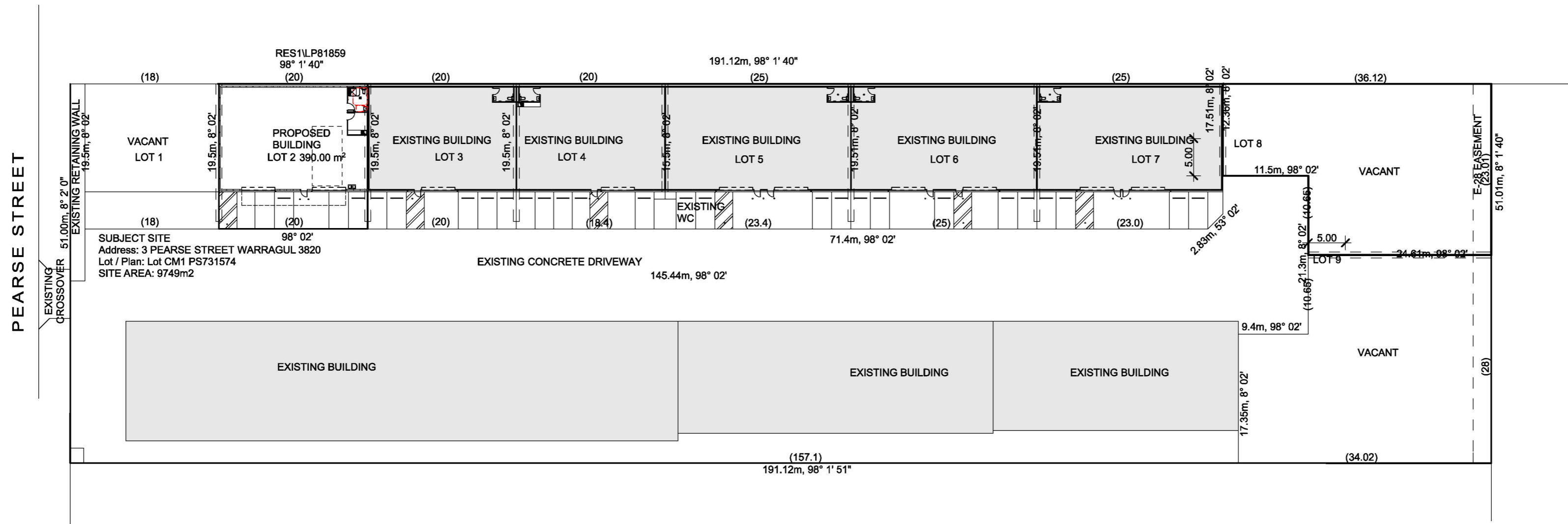
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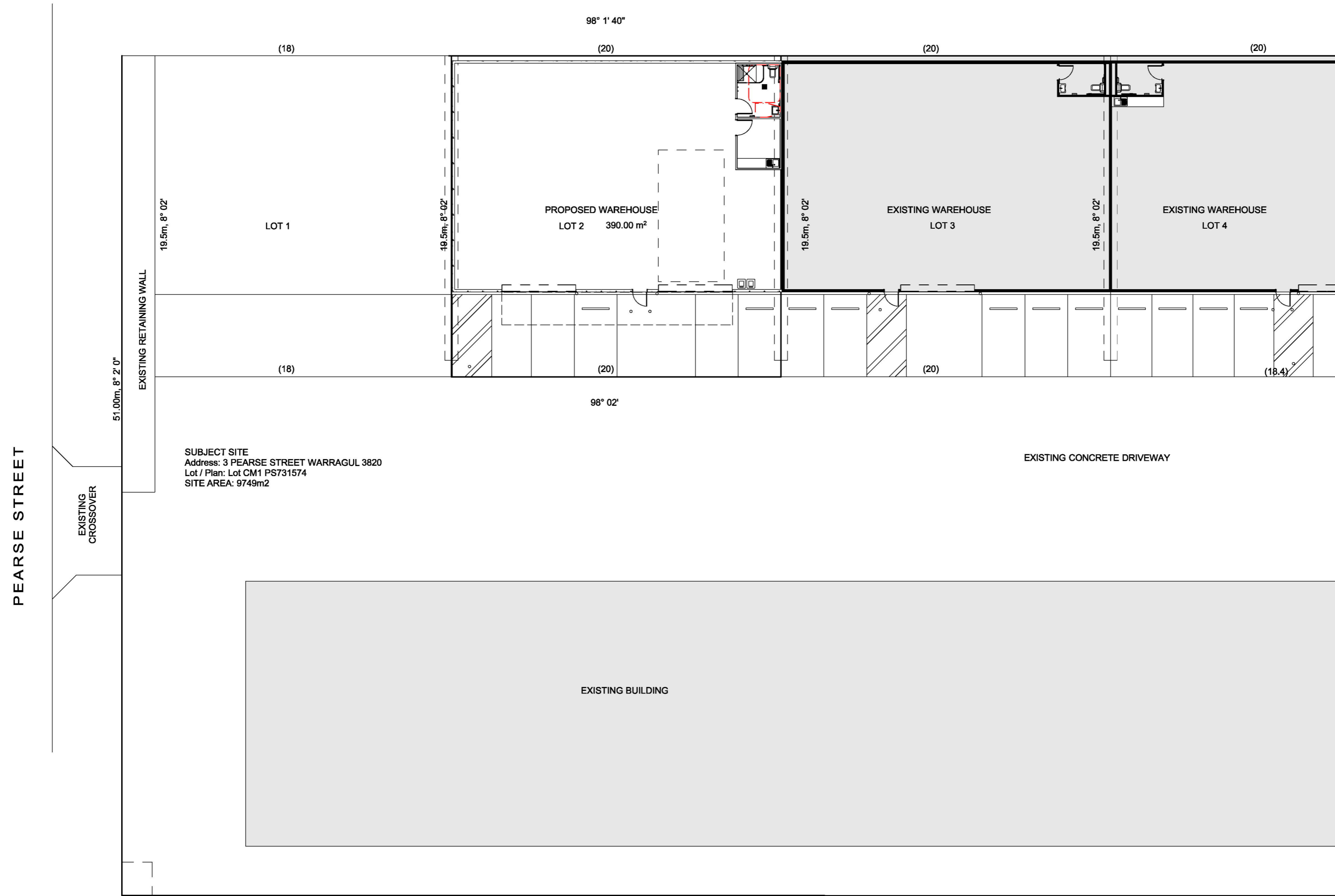
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Site Plan  
SCALE 1:500

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SUBJECT SITE  
 Address: 3 PEARSE STREET WARRAGUL 3820  
 Lot / Plan: Lot CM1 PS731574  
 SITE AREA: 9749m2

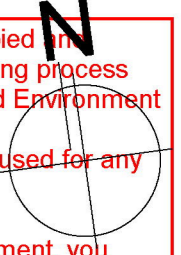
EXISTING CONCRETE DRIVEWAY

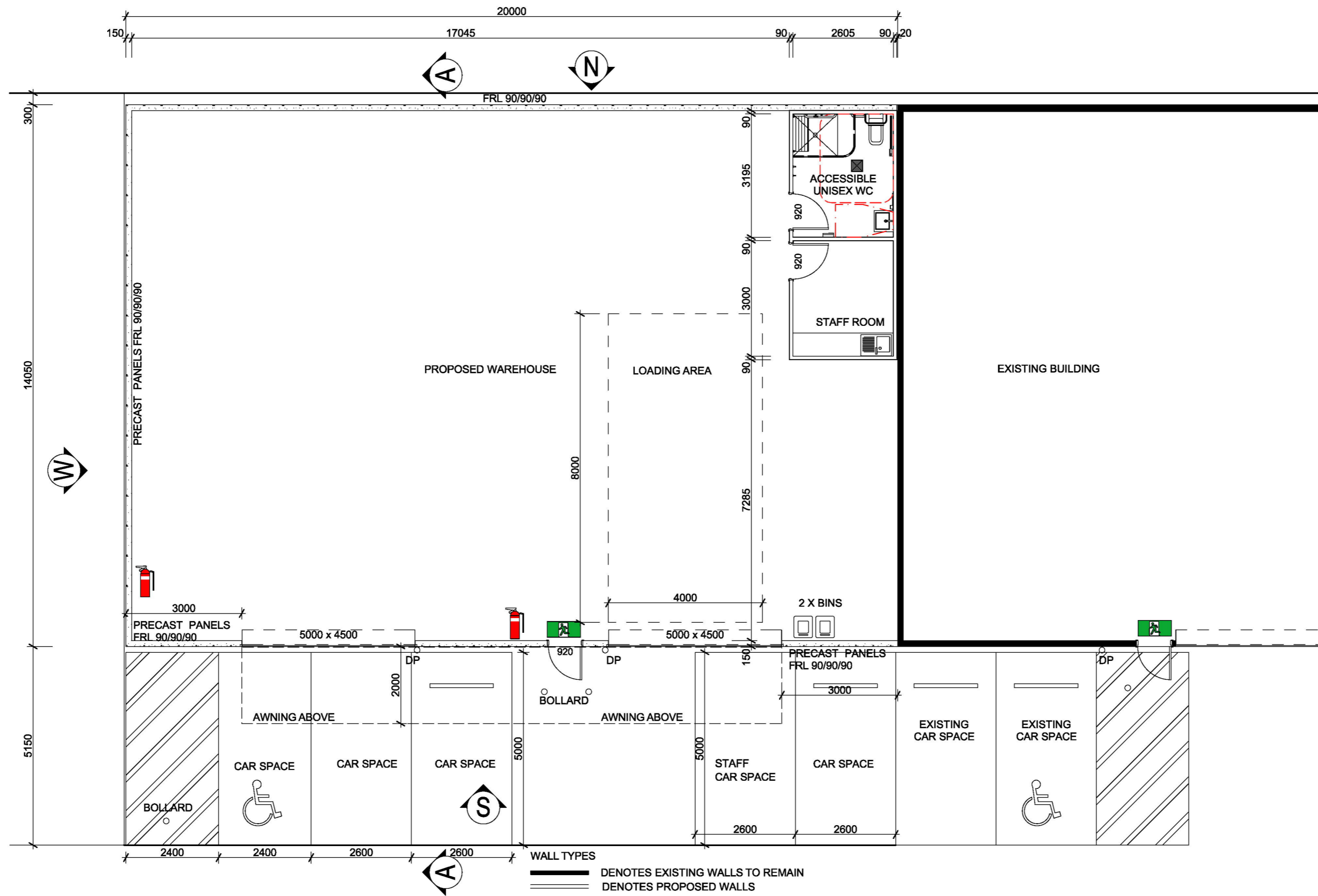
EXISTING BUILDING

Site Plan  
 SCALE 1:200

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Proposed Floor Plan  
SCALE 1:100

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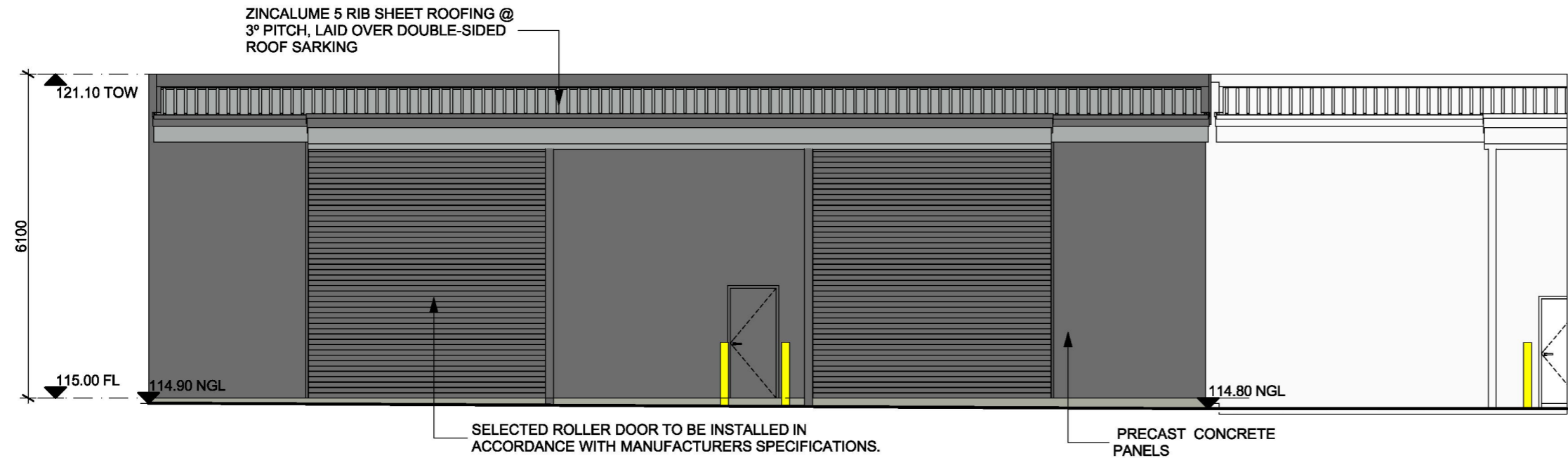
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PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1

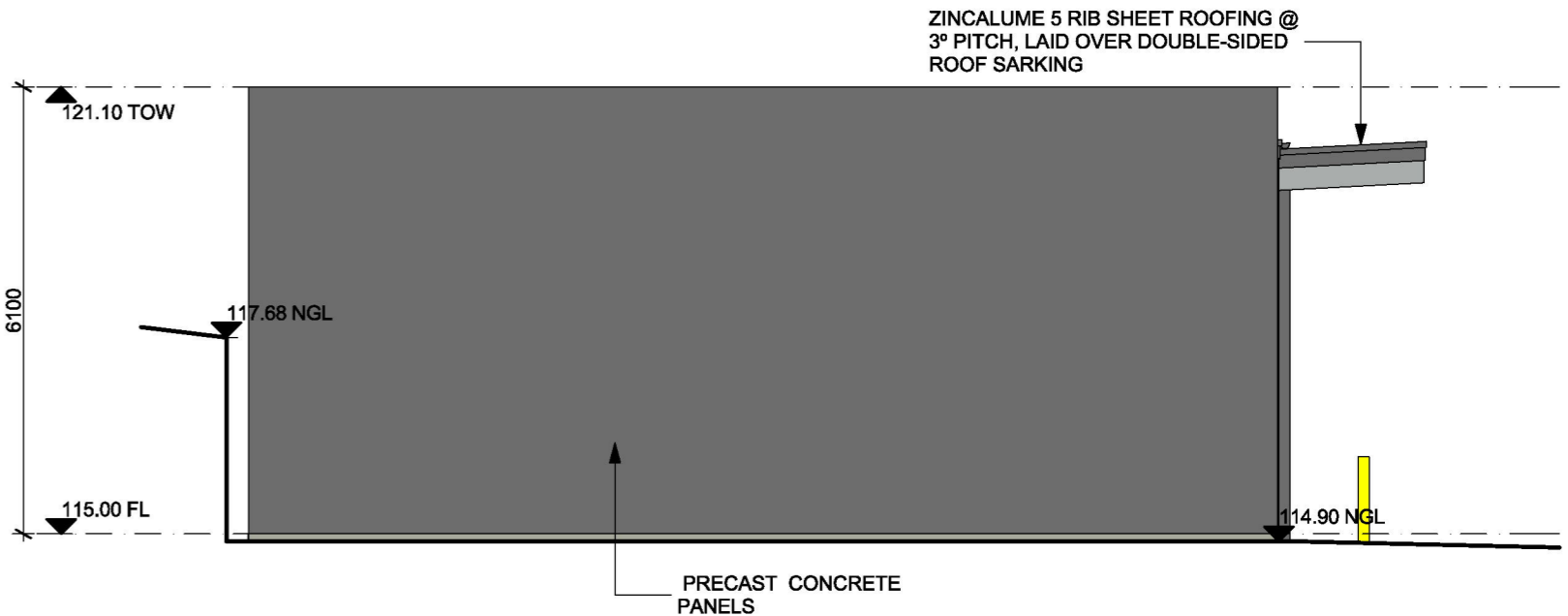
ALL STRUCTURAL MEMBERS INCLUDING BEAMS, LINTELS, BRACING AND TIE DOWNS AS PER ENGINEERS DESIGN

**COLOUR SCHEDULE**

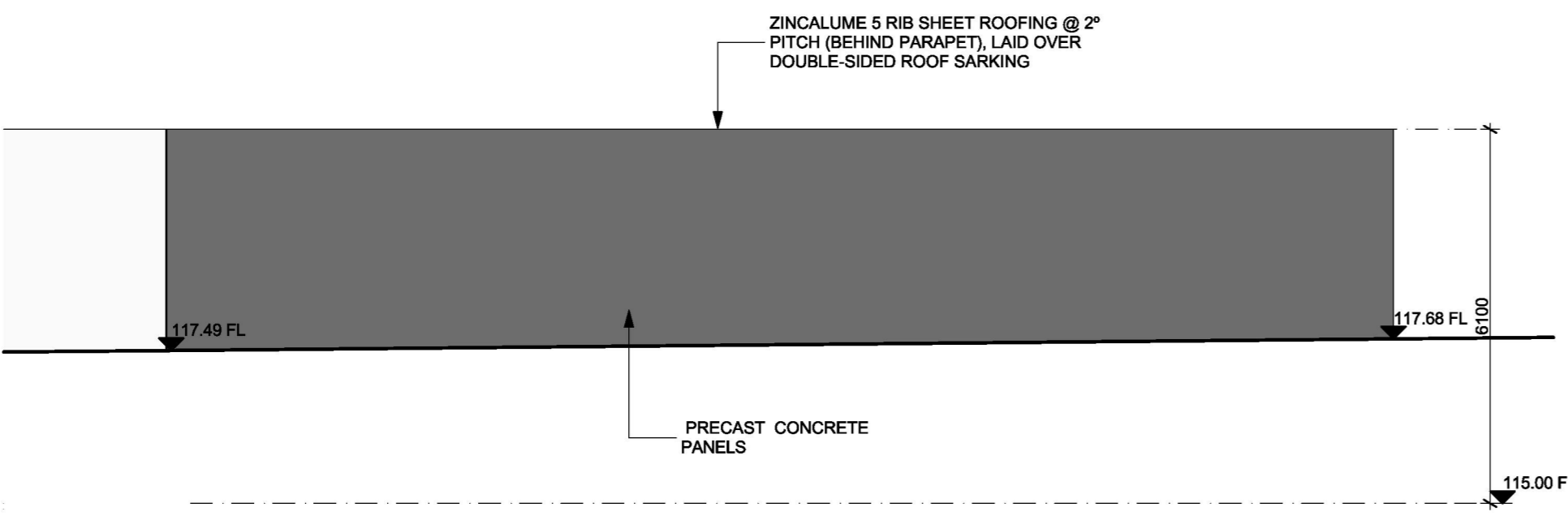
ROOF:	ZINCALUME 5-RIB 0.42BMT
WALLS:	BASALT
GUTTER & FLASHINGS:	PAINT FINISH TO CONCRETE
DOORS:	BASALT



**South Elevation**  
PD-5 SCALE 1:100



**West Elevation**  
PD-5 SCALE 1:100



**North Elevation**  
PD-5 SCALE 1:100

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PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1

ALL STRUCTURAL MEMBERS INCLUDING BEAMS, LINTELS, BRACING AND TIE DOWNS AS PER ENGINEERS DESIGN

**COLOUR SCHEDULE**

ROOF:	ZINCALUME 5-RIB 0.42BMT
WALLS:	BASALT
GUTTER & FLASHINGS:	PAIN'T FINISH TO CONCRETE
DOORS:	BASALT

**BOX GUTTER NOTES**

**SUPPORT SYSTEM**

BOX GUTTER SUPPORT SYSTEMS MUST: BE FABRICATED FROM A MATERIAL THAT IS COMPATIBLE WITH THE BOX GUTTER; BE RESISTANT TO UV DEGRADATION WHERE EXPOSED TO DIRECT SUNLIGHT; BE SECURELY ATTACHED TO THE BUILDING STRUCTURE; NOT HAVE ANY OTHER SERVICES ATTACHED TO THE SUPPORT SYSTEM; BE PROTECTED AGAINST CORROSION WHERE EXPOSED TO A CORROSIVE ENVIRONMENT; BE SECURELY ATTACHED TO PREVENT LONGITUDINAL MOVEMENT, UNLESS DESIGNED TO ALLOW FOR THERMAL EFFECT; SUPPORT THE ENTIRE WEIGHT OF THE GUTTER AND SUMPS WHEN FULL OF WATER AS WELL AS A TRAFFICABLE LOAD AT ANY POINT IN THE GUTTER AND SUMPS.

**OUTLETS**

BOX GUTTER OUTLETS MUST DISCHARGE THROUGH EITHER A RAINHEAD OR SUMP.

**OVERFLOW**

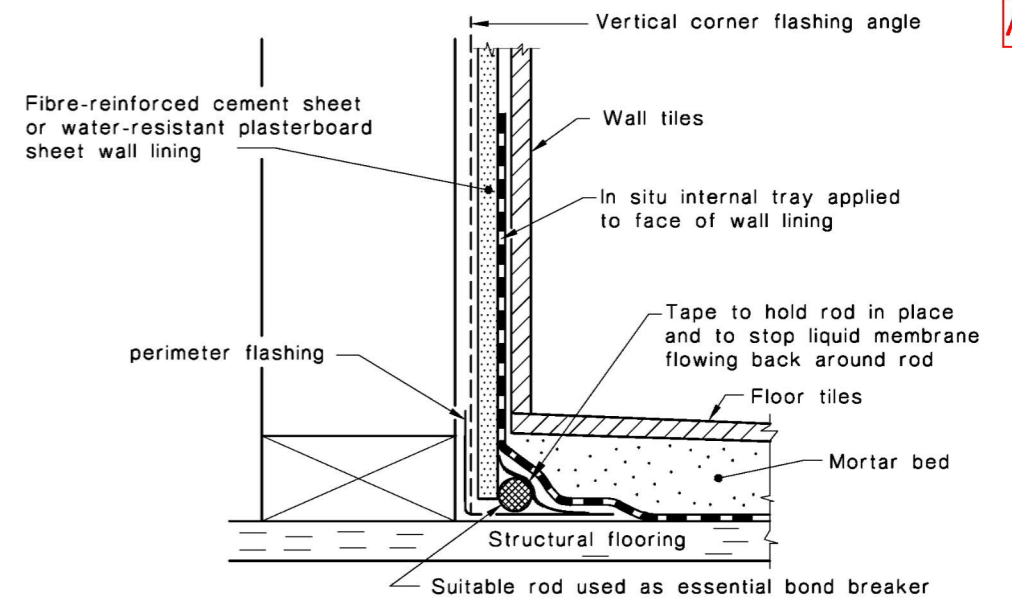
BOX GUTTERS MUST HAVE INDEPENDENT OVERFLOW PROVISION DISCHARGING TO THE ATMOSPHERE.

**LAYOUT**

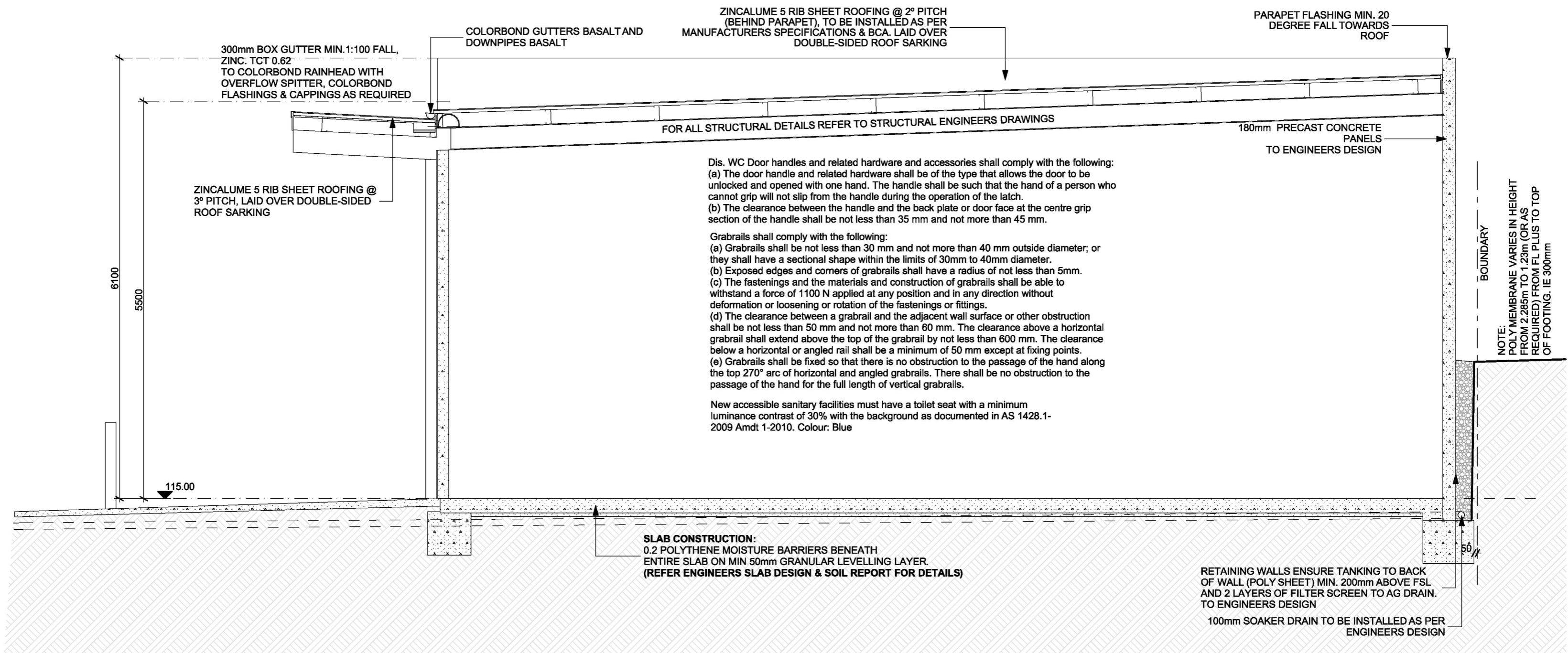
BOX GUTTERS MUST: HAVE A MINIMUM WIDTH OF 300MM; HAVE A MINIMUM DEPTH OF 75MM AT THE HIGH END; HAVE A SOLE WIDTH WHICH IS NOT REDUCED TOWARDS THE OUTLET WITHOUT A PROPORTIONAL INCREASE IN DEPTH; DISCHARGE AT THE DOWNSTREAM END WITHOUT CHANGE IN DIRECTION (I.E. NOT TO THE SIDE); BE STRAIGHT (WITHOUT CHANGE IN DIRECTION); BE SEALED TO RAINHEADS AND SUMPS.

**NOTE:** Builders should consult with the roof plumber where a roof frame is designed and a compliant gutter cannot be installed without major roof frame alterations.

(source: VBA Box Gutter Design Fact Sheet Published June 2017)



TYPICAL WET AREA FLOOR DETAIL



Section A-A  
PD-5 SCALE 1:50

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SD Strategy and Development Pty Ltd  
 Trading as SD Planning  
 ACN 621 726 412  
 ABN 53 621 726 412

PO Box 703                      PO Box 79  
 Drouin VIC 3818              Essendon VIC 3040

8 July 2022

Meghan Ablett  
 Principal Statutory Planner  
 Baw Baw Shire Council

Lodged via email: [planning@bawbawshire.vic.gov.au](mailto:planning@bawbawshire.vic.gov.au) and [Meghan.Ablett@bawbawshire.vic.gov.au](mailto:Meghan.Ablett@bawbawshire.vic.gov.au)

Dear Megan,

**Re: Planning Permit Application PLA0114/22 – Further Information**  
 Address: 2/3 Pearse Street Warragul VIC 3820  
 Proposal: Use and development of a warehouse

We refer to Council’s further information request 8 June 2022. Council’s request for further information included a number of items which we have set out in italics for ease and have provided a response below.

**Administrative**

- *An application fee of \$1,570.60*

The fee has been paid, confirmation details are provided below:

**Transaction Details**

Transaction Date	15-Jun-2022
Payment Reference	39290
Transaction Amount	\$1,570.60

**Charge Details**

Reference	Details	Charge Description	Charge	Charge Tax	Charge Total
Application Payment PLA0114/22	Planning Permit Application (New Permits) - Commercial/industrial buildings and works 2/3 Pearse Street WARRAGUL VIC 3820	Amount Paid	\$1,570.60		\$1,570.60
		Credit Card Surcharge	\$0.00	\$0.00	\$0.00
		<b>Total</b>			\$1,570.60

**Trees**

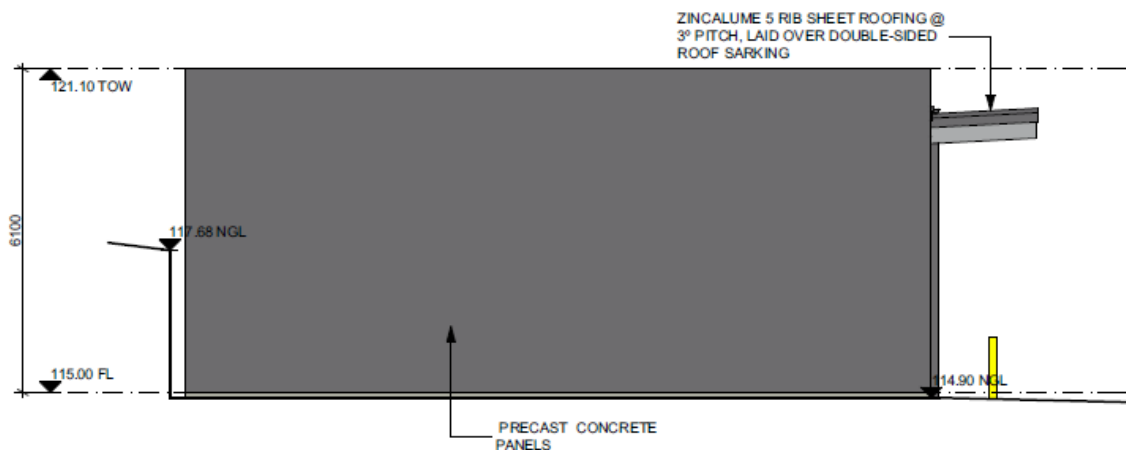
- *A Site Plan depicting the setbacks between the development and the existing onsite and neighbouring trees. Identify the vegetation within 3 metres of the north boundary that is located in the open space adjoining the site. Provide details of the type of vegetation, if its native and the Tree Protection Zones.*

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It is considered that the trees adjacent to the northern boundary of the subject land do not need to be shown and are not affected by development.

The land was prepared for industrial development at the time the wider subdivision was approved/developed, please refer to page 2 of the application plans package now submitted. The plan of subdivision shows levels prior to a site cut being undertaken along the northern boundary of Lots 1-8. The site cut was undertaken some time ago prior to the lots being sold and in the case of the subject property is approximately 2.68m in height/depth. The existing site cut is shown on the application plans (see below extract). As with the other warehouses already developed (lots 4-7), the northern concrete wall will act as a retaining wall. Given these circumstances, the development would not result in any additional impact on vegetation to the north of the property boundary.



**West Elevation**  
PD-5 SCALE 1:100

Further, there has been no such request made for the other applications on Lot 3-7 as part of their planning permit application assessment/approval. Lot 8 is currently also subject to a planning application and is at the advertising stage. This request has not been made as part of the further information required for Lot 8.

**Car parking, access and traffic**

- The location and dimensions of a loading bay.
- The location and dimensions of an accessible parking bay

Please refer to the updated plans now submitted from Building Designed plotted 05/07/22 that show a loading bay and all abilities parking space.

**Waste management**

- Site Plan updated to show the location and dimensions of bin storage areas including the details of structures to screen such areas and bin configuration as applicable

Please refer to updated plans now submitted from Building Designed plotted 05/07/22 that show bin storage areas internal to the buildings and therefore out of site from the public realm.

All bin collection will be arranged privately given it will comprise waste associated with a business which is classified as commercial waste.

This document has been copied and made available for the planning process on 05/07/22 that shows bin storage areas internal to the buildings and therefore out of site from the public realm. The information must not be used for any other purpose. By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

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**Operational details of the use**

- *A written statement outlining the following: Details of proposed total number of staff, including details of proposed maximum number of staff present on the premises at any one time. - Proposed hours and days of operation. - The type and quantity of goods to be stored, processed or produced. - Details of any existing and proposed loading/unloading facilities in accordance with the Decision Guidelines outlined in Clause 65. - Details of any existing and proposed waste/garbage storage/collection area. - Any amenity measures to be incorporated to prevent any unreasonable amenity impacts on the surrounds. Noise levels, air-borne emissions, emissions to land or water, traffic, including the hours of delivery and dispatch, light spill and glare must be addressed.*

The warehouse proposed is a speculative development and does not currently have a determined tenant. As such, we are not able to confirm the number of employees. Likewise the hours of operation have not been determined but we would envisage standard hours of Monday to Friday 6.30am-6pm, Saturday 7.30am- 1pm.

The type and quantity of goods is unable to be specified as the future occupant has not yet been secured. However, this aspect of the proposed future use will be, by necessity, consistent with the zone and commensurate with the size, configuration, and ability for safe operation.

Consistent with Clause 65.01 *Approval of an application or plan*, an adequate loading and unloading area is provided internal to the proposed buildings as depicted on the plans.

Waste storage details have already been discussed. Waste is located inside the building and collection will be via a private service undertaken from inside the buildings or on common property land in front of the building. Waste collection is typically arranged outside operating hours (early morning).

The subject land was created for industrial/ commercial use and is located in a significant industrial precinct and is adjoined by existing warehouses which have been developed following the subdivision in recent years. The northern boundary is located to the north beyond a 20 metre vegetated strip of public land.

It is not envisaged that there would be any unreasonable amenity impacts generated from the proposed warehouse use within this context. Standard Noise and amenity conditions on any permit issued could ensure amenity is protected. No external lighting is proposed and the use will be consistent with other buildings which also line the northern boundary of the subdivision and have the same setback from residential zoning.

**Advertising signs**

- *A site plan showing the proposed location any proposed sign/s. Elevations showing the location of the proposed sign/s. Full dimensions, colours and wording of the proposed sign/s. A schedule summarising the area (in sqm), location and type of existing signs on the land. The overall height of the proposed sign/s above existing ground level. Clarification as to whether the proposed sign/s is/are to be illuminated, including details of the method of illumination. Details (materials, design and colours) of the proposed structure supporting the sign/s.*

The proposal does not include any advertising signs as none are intended to be displayed at this time. When advertising signs are displayed, they will be of a size that does not require a planning permit or if this is exceeded, a planning permit will be sought.

**Preliminary design concerns**

- *Concerns with that the 2 internal car parks proposed do not meet the parking requirements. Will these car parks be limited in regards to access to the hours the warehouse is operating and the information is required to show how the car parks accessed, swept path diagrams for entering and exiting the car parks.*

The two internal right-angled carparking spaces have been moved to outside the building and are now located adjacent to the frontage of the property consistent with the development of Lots 3 & 7. One car parking space in front of the loading area is designated for staff parking and can be managed by the

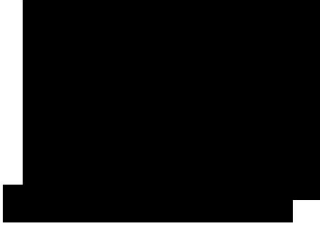
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business to ensure that there is no conflict with deliveries to the building.

We trust that this information provides all that you require and now look forward to receiving notification instructions. Please do not hesitate to contact me should you have any questions.

Yours sincerely



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