

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 09844 FOLIO 365

Security no : 124091796721J
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LAND DESCRIPTION

Crown Allotment 23 Section 6 Township of Longwarry Parish of Drouin West.
PARENT TITLE Volume 05597 Folio 255
Created by instrument N371310F 25/03/1988

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor



ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AJ004122Q 14/06/2011
BENDIGO AND ADELAIDE BANK LTD

MORTGAGE AU348509X 17/05/2021
WESTPAC BANKING CORPORATION

For details of any other encumbrances see the plan or imaged folio set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
P516077Y 09/11/1989

DIAGRAM LOCATION

SEE TP822164W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AU241061N (E)	NOMINATION OF ECT TO LC	Completed	15/04/2021
AU348509X (E)	MORTGAGE	Registered	17/05/2021

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 16 COOK ROAD LONGWARRY VIC 3816

ADMINISTRATIVE NOTICES

NIL

eCT Control 18057S BENDIGO BANK
Effective from 17/05/2021

DOCUMENT END

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Number of Pages (excluding this cover sheet)	1
Document Assembled	12/08/2021 14:15

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TITLE PLAN EDITION 1 TP 822164 W Advertised

Location of Land
 Parish : DROUIN WEST
 Township : LONGWARRY
 Crown Allotment : 23
 Crown Portion :
 Section : 6
 Last Plan Reference :
 Title References : V 9844 F365
 Depth Limitation : 15.24 m


Notations

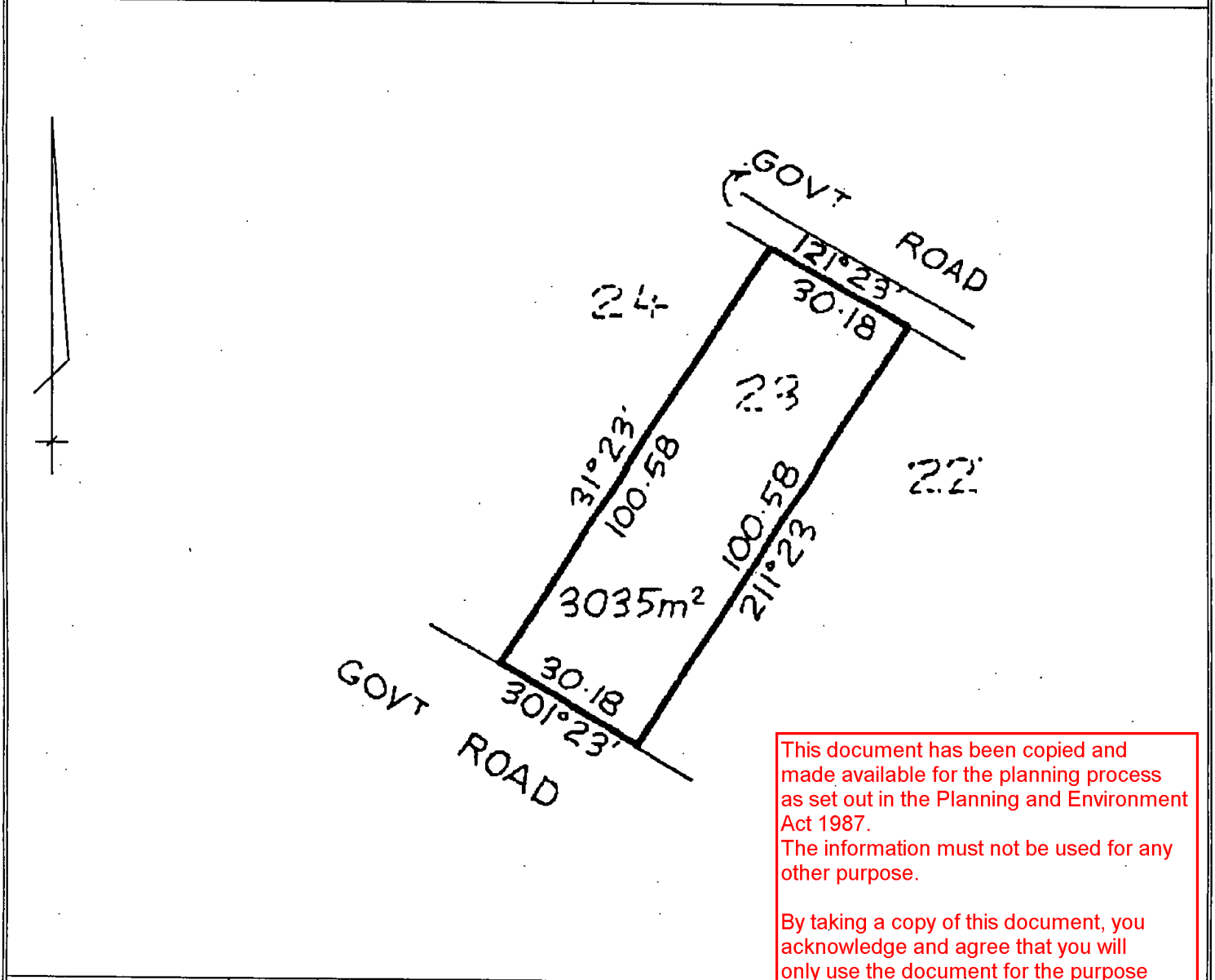
Easement Information

E - Encumbering Easement R - Encumbering Easement (ROAD) A - Appurtenant Easement

THIS PLAN HAS BEEN PREPARED BY
 LAND REGISTRY, LAND VICTORIA
 FOR TITLE DIAGRAM PURPOSES

Easement Reference	Purpose / Authority	Width (Metres)	Origin	Land benefited / In favour of

Checked by :

 Assistant Registrar of Titles
 Date 14 11 0 12003



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LENGTHS ARE IN METRES

SCALE

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Advertised

849

Lodged by: **SHIRE OF BULN BULN**
Customer No. 3543R

accept for lodging
Office Shire

Form 9.1

REGD.

Code ...3543R.....

PS16077Y

081189 2102 MISC #49 PS16077Y

VICTORIA NOTIFICATION BY A RESPONSIBLE AUTHORITY under Section 181
Planning and Environment Act 1987 for ENTRY OF A
MEMORANDUM OF AGREEMENT under Section 173 of the Act.

The Responsible Authority under the Planning Scheme having entered into an Agreement with the parties named for the land described requires that a memorandum of the Agreement be entered on the Certificate(s) of Title to the land referred to.

LAND (insert Certificate of Title Volume and Folio)

VOL. 9844 FOL. 365

ADDRESS OF THE LAND

16 Cook Road, Longwarry being C/A 23, Section 6, Township of Longwarry.

RESPONSIBLE AUTHORITY

Shire of Buln Buln
P.O. Box 126
DROUIN 3818

PLANNING SCHEME

Buln Buln Planning Scheme

AMENDED
90/2767
13 FEB 1990

With consent of
Solicitor for
Shire of Buln Buln

AGREEMENT DATE

23rd October, 1989

AGREEMENT WITH (name and address)

~~Shire of Buln Buln~~ [REDACTED]

A copy of the Agreement is attached to this Application

Signature of Responsible Authority

[Handwritten Signature]

Name of Officer

K. A. PROTTY
SHIRE OF BULN BULN

Date

1-11-1989

A memorandum of the within instrument
has been entered in the Register Book.



205.
51/2/89

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THIS AGREEMENT is made the 23rd day of 10th, 1989.
BETWEEN [REDACTED] both of
Longwarry in the State of Victoria (hereinafter called "the Owners"
which expression shall include their successors in Title and permitted
assigns) of the first part AND THE PRESIDENT, COUNCILLORS AND
RATEPAYERS OF THE SHIRE OF BULN BULN (hereinafter called "the
Municipality") of the second part.

WHEREAS :

1. THE Owners are the Registered proprietors of all that piece of land described in the First Schedule annexed hereto (hereinafter called "the subject land").
2. THE Owners have caused an Application to be made to the Municipality for a Permit to allow the erection on the subject land of a new single detached dwelling pursuant to Plans and Specifications which are to be submitted to the Municipality for its approval.
3. THE Municipality as the responsible Authority administering the Buln Buln Planning Scheme has on the 10th day of July, 1989 issued Permit No. 102/89 (hereinafter called "the Permit") a copy of which is annexed hereto.
4. THE Owners and the Municipality have agreed to enter into this Agreement to comply with Condition (h) of the Permit pursuant to Section 173 of the Planning and Environment Act 1987.

NOW THIS AGREEMENT WITNESSETH AS FOLLOWS :-

- (a) THE Owners HEREBY COVENANT with the Municipality that they shall comply in all respects with all the terms and conditions of the Permit issued by the Municipality and dated the 10th day of July, 1989.
- (b) THE Owners of the subject land shall be required to provide all sewerage tapplings for the proposed dwelling and connect the new dwelling into the new sewerage mains as constructed by the Mornington Peninsula and District Water Board when they become available.
- (c) THE Owners of the subject land shall bear and pay all the Municipality's legal costs, stamp duty and registration fees (if any) of and incidental to the Agreement including any Notices with respect thereto and the filing of copies of this Agreement as required by the said Planning and Environment Act.

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IN WITNESS whereof the parties hereto have hereunto set their hands and seals the day and year first hereinbefore written.

SIGNED SEALED AND DELIVERED by the said [redacted] in the



.....(Witness)

SIGNED SEALED AND DELIVERED by the said [redacted] in the presence of :-



.....(Witness)

THE COMMON SEAL of THE PRESIDENT, COUNCILLORS AND RATEPAYERS OF THE SHIRE OF BULN BULN was hereunto affixed in the presence of :-

... *M. Delzoppo* President
... *George Smith* Councillor
... *[Signature]* Secretary

FIRST SCHEDULE

All that piece of land being Crown Allotment 23 Section 6 in the Township of Longwarry being Volume 9844 Folio 365 Parish of Drouin West.

SECOND SCHEDULE

Planning Permit No. 102/89 a copy of which is annexed hereto.

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**PLANNING
PERMIT**

Permit No. 102/89

Advertised

Planning Scheme:
Shire of Buln Buln Planning
Scheme 1986
Responsible Authority:
Shire of Buln Buln

ADDRESS OF THE LAND.
16 Cook Road, Longwarry.

THE PERMIT ALLOWS.
Erection of a new single detached dwelling on C/A 23, Section 6,
Township of Longwarry.

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT.

- (a) Compliance with the Buln Buln Planning Scheme; the Victoria Building Regulations; all By-Laws of the Shire of Buln Buln and with all other legal requirements;
- (b) unless the use or development hereby permitted is commenced within two years from the date hereof this permit shall expire;
- (c) access to the proposed dwelling shall be constructed by the landowner in a location and in a manner to the satisfaction of the Responsible Authority and the Longwarry Drainage Trust, prior to the occupation of the proposed dwelling;
- (d) no un-treated sullage, sewage or polluted drainage shall be discharged beyond the boundaries of the land from which it emanates or into any watercourse or easement drain and all sewage and sullages wastes shall be disposed of into an all-wastes septic tank including sand filter and/or chemical treatment plant where necessary or such other form of treatment and disposal as may be permitted by the Responsible Authority. No part of any such waste disposal system apart from sewers and drains to approved points of discharge shall be located within 25 metres from any spring or watercourse;
- (e) the proposed dwelling shall be set back a minimum of 6 metres from any road boundary and 1.8 metres from any other boundary;
- (f) all stormwater discharged from the proposed dwelling shall be conveyed to a legal point of discharge in accordance with plans and specifications to be submitted to and approved by the Responsible Authority;
- (g) the owner of the subject land shall be required to provide all sewerage tapings for the proposed dwelling and connect the new dwelling into the new sewerage mains as constructed by the Mornington Peninsula and District Water Board when they become available;
- (h) an Agreement pursuant to Section 173 of the Planning and Environment Act 1987 shall be prepared by and at the expense of, the owner pertaining to Condition (g) above, and such agreement shall be lodged in the Titles Office and endorsed on the copy of Title of the subject land, and such Agreement shall run with the land;

...Cont'd.

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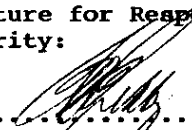
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CONDITONS - PLANNING PERMIT NO. 102/89 (CONT'D)

- (i) the floor level of any proposed dwelling shall be constructed to a minimum height of 600mm above natural surface or at a greater height to the satisfaction of the Responsible Authority.

Date Issued:
10th July, 1989.

**Signature for Responsible
Authority:**


.....
**SHIRE SECRETARY
CHIEF EXECUTIVE**

Planning & Environment Regulations 1988 Form 4.4

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REGISTER BOOK

VOL. 9844 FOL. 365

Certificate of Title

UNDER THE "TRANSFER OF LAND ACT"

FOL.

VOL.

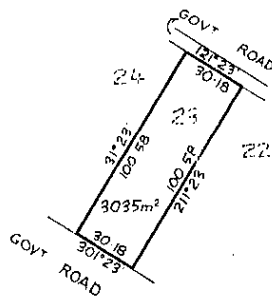
CHYVAS PTY. LTD. OF 385 BOURKE STREET MELBOURNE IS THE PROPRIETOR OF AN ESTATE IN FEE SIMPLE SUBJECT TO THE ENCUMBRANCES NOTIFIED HEREUNDER IN ALL THAT PIECE OF LAND IN THE TOWNSHIP OF LONGWARRY PARISH OF DROVIN WEST BEING CROWN ALLOTMENT 23 - - - - SECTION 6 WHICH LAND IS SHOWN ENCLOSED BY CONTINUOUS LINES ON THE MAP HEREON THE SAID LAND BEING LIMITED TO SO MUCH AS LIES ABOVE THE DEPTH OF "15.24 METRES" BELOW THE SURFACE - - - - -

DATE: 25/3/88
DERIVED FROM VOL. 5597 FOL. 255 N371310F

ENCUMBRANCES



Assistant Registrar of Titles



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VOL 9844 FOL 365

MORTGAGE

ROUND

REGISTERED 25/3/88

N371311C

MORTGAGE

ROUND

REGISTERED 25/3/88

N371312Y

JOINT PROPRIETORS

REGISTERED 13/4/88

N396637K

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Titles Office Use Only

Lodged at the Titles Office by

[Redacted box]

Code _____

VICTORIA

TRANSFER OF LAND

Subject to the encumbrances affecting the land including any created by dealings lodged for registration prior to the lodging of this instrument the transferor for the consideration expressed transfers to the transferee all his estate and interest in the fee simple in the land described. (Notes 1-4)

Land (Note 5)

CERTIFICATE OF TITLE VOLUME 9844 FOLIO 365

Consideration (Note 6)

\$35,000.00

Transferor (Note 7)

[Redacted box]

Transferee (Note 8)

[Redacted box]

Date

Execution & Attestation

(Note 9)

Com
of Stamps Use Only

SIGNED by the Transferor
in the presence of:-

[Redacted box]

SIGNED by the Transferee
in the presence of:-

[Redacted box]

[Redacted box]

T1

Office Use Only



Approval No. T1/1

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6th April 2022

Bronte Norris
Principal Statutory Planner
Baw Baw Shire Council
P.O. Box 304
WARRAGUL VIC 3820

Dear Bronte,

Application No: PLA0017/22
Proposal: Subdivision of the land into 3 lots, development of the land for 2 dwellings and creation of easement
Location: 16 Cook Road, Longwarry (SPI 23-6\PP5476)

Please find attached our response to Council further information letter dated 1 March, 2022 and due 30 April, 2022. The items requested in Council letter are repeated below:-

Additional plan information

- Please find attached updated plans from AJ's drafting responding to the 4 points in Council's letter.

Reports

- Attached is an updated report with the editing deleted.

We look forward to receiving Council's favourable response and instructions for advertising in the not too distant future.

If any further information is required, or if there are any questions regarding the submitted information, please do not hesitate to contact me at planning@nobelius.com.au or call 5941 4112.

Kind regards,

Jan Cussen

Team Leader Planning

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TREE ASSESSMENT & DEVELOPMENT IMPACT REPORT

16 COOK ROAD, LONGWARRY
Vic 3816

PREPARED FOR



CONSULTING ARBORIST: MATHEW SORENSON *Dip Arb*

DATE: 14/12/2021

REPORT No. 21126

VERSION 1.2

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Document Control

Report Version	Date	Details
V.1	06/11/2021	Development Impact Assessment as per Site Plan 21074

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1. INTRODUCTION

1.1 BACKGROUND

- 1.1.1 Development of the land at 16 Cook Road, Longwarry is proposed.
- 1.1.2 This report has been commissioned to assess all nominated trees within the subject property that may be impacted during the development process.

1.2 OBJECTIVES

- 1.2.1 Assess all nominated trees providing information on species, origin, age, dimensions, condition, useful life expectancy (ULE), significance and retention value.
- 1.2.2 Calculate Tree Protection Zones (TPZ) for all trees in accordance with AS 4970 – 2009, *Protection of Trees on Development Sites*.
- 1.2.3 Identify trees that will require removal to facilitate the construction of proposed development.
- 1.2.4 Recommend strategies to minimise the impact from the proposed development on retained trees.

1.3 METHODOLOGY

- 1.3.1 A site assessment was performed by Mathew Sorenson on 17/11/2021.
- 1.3.2 Assessment of the tree population was performed using a visual, ground-based inspection method.
- 1.3.3 Trees were assessed individually and/or within groups and assigned an identification number ranging from **1 – 20** (**'G'** following a tree identification number indicates a group of trees).
- 1.3.4 Only tree roots visible from above ground level (surface roots) were assessed. Detailed inspections of tree root systems using root zone exploratory methods were not performed.
- 1.3.5 Diameter at Breast Height (DBH) and Diameter at Base (DAB) were recorded, as per Australian Standards (AS 4970 – 2009), using a diameter tape. Where access to the stem(s) of trees was unachievable (due to dense understory vegetation, dense low branch structure, undesirable form or private property), DBH & DAB were generously estimated.
- 1.3.6 Height and canopy spread were measured from the ground using a rangefinder and recorded to the nearest meter. Canopy spread was observed on the widest axis.
- 1.3.7 The trees were further assessed on age, health, structure, useful life expectancy (ULE), significance and retention value. These assessments were limited to visual observations from the ground only and based on the consulting arborist's knowledge and experience, using the descriptors provided in Appendix A – Tree Descriptors, pages 23 – 27.
- 1.3.8 Tree protection zones (TPZ) and structural root zones (SRZ) were calculated as per Australian Standards – Protection of trees on development sites (AS 4970:2009).

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1.4 STATUTORY CONTROLS

1.4.1 The subject site is within the Local Government Area: Baw Baw Shire (Council)

1.4.2 The land is included in Green Residential Zone - Schedule 1 (**GRZ1**)

1.4.3 The land is subject to the following overlay(s):

- **Development Contributions Plan Overlay (DCPO)**
Development Contributions Plan Overlay – Schedule 1 (DCPO1)
- **Land Subject to Inundation Overlay (LSIO)**
Land Subject to Inundation Overlay - (LSIO)

1.5 SUBJECT PROPERTY LOCATION



Figure 1.1. Aerial Image (Landchecker April 2021) with approximate property boundaries

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2. NUMBERED TREE LOCATION MAP



Figure 2.1. Features Survey (Nobelius Land Surveying) with numbered tree locations (M. Sorenson).

RETENTION VALUE

High
Medium
Low

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See section 5. Retention Value, page 11

3. TREE DATA

ID	Botanical Name	Common Name	Origin	Age	DBH (cm)	H x S (m)	Health	Structure	ULE (yrs)	Significance	Location
1	<i>Eucalyptus ovata</i>	Swamp Gum	Indigenous	Senescent	19	3x1	Poor	Poor	0-5	Ecological	Nature-strip
2	<i>Eucalyptus ovata</i>	Swamp Gum	Indigenous	Senescent	54	4x1	Poor	Poor	0-5	Ecological	Subject Property
3	<i>Melaleuca styphelioides</i>	Prickly Paperbark	Native	Semi-Mature	38*	6x2	Good	Fair	30+	Amenity	Subject Property
4	<i>Eucalyptus ovata</i>	Swamp Gum	Indigenous	Mature	95	16x7	Fair	Fair	20-30	Ecological	Subject Property
5	<i>Eucalyptus saligna</i>	Sydney Blue Gum	Native	Semi-Mature	75	18x8	Fair	Fair	30+	Amenity	Subject Property
6	<i>Melaleuca armillaris</i>	Bracelet Honey Myrtle	Native	Semi-Mature	36*	5x4	Fair	Fair	10-20	Low	Subject Property
7	<i>Melaleuca styphelioides</i>	Prickly Paperbark	Native	Semi-Mature	37*	5x3	Fair	Fair	20-30	Low	Subject Property
8	<i>Eucalyptus camaldulensis</i>	River Red Gum	Indigenous	Semi-Mature	21	4x2	Fair	Fair	30+	Low	Subject Property
9	<i>Eucalyptus saligna</i>	Sydney Blue Gum	Native	Mature	63	17x7	Fair	Poor	5-10	Amenity	Subject Property
10	<i>Eucalyptus saligna</i>	Sydney Blue Gum	Native	Mature	61*	15x4	Poor	Poor	0-5	Amenity	Subject Property
11	<i>Eucalyptus botryoides</i>	Southern Mahogany	Vic Native	Semi-Mature	36	10x4	Fair	Fair	20-30	Low	Subject Property
12	<i>Eucalyptus cephalocarpa</i>	Silverleaf Stringybark	Indigenous	Mature	103	15x13	Fair	Fair	10-20	Ecological	Subject Property
13	<i>Eucalyptus saligna</i>	Sydney Blue Gum	Native	Semi-Mature	46	15x8	Fair	Fair	10-20	Amenity	Subject Property
14G	Mixed Species	Mixed Planted	Mixed	Semi-Mature	15	5x3	Fair	Fair	10-20	Low	15 Cook Street

Table 3.1 Recorded Tree Data *Combined DBH shown for multi-stemmed trees. All values for groups are averages

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TREE DATA (CONTINUED)

ID	Botanical Name	Common Name	Origin	Age	DBH (cm)	H x S (m)	Health	Structure	ULE (yrs)	Significance	Location
15	<i>Archontophoenix cunninghamiana</i>	Bangalow Palm	Native	Semi-Mature	30	7x4	Fair	Fair	30+	Amenity	17 Cook Street
16	<i>Archontophoenix cunninghamiana</i>	Bangalow Palm	Native	Semi-Mature	30	7x4	Fair	Fair	30+	Amenity	17 Cook Street
17	<i>Archontophoenix cunninghamiana</i>	Bangalow Palm	Native	Semi-Mature	30	7x4	Fair	Fair	30+	Amenity	17 Cook Street
18	<i>Corymbia maculata</i>	Spotted Gum	Vic Native	Semi-Mature	20*	9x2	Good	Fair	30+	Low	6 Little Street
19	<i>Eucalyptus camaldulensis</i>	River Red Gum	Indigenous	Semi-Mature	20	9x2	Good	Fair	30+	Low	6 Little Street
20	<i>Eucalyptus sp.</i>	Eucalypt	Native	Semi-Mature	15	4x3	Poor	Poor	0-5	Low	6 Little Street

Table 3.1 Recorded Tree Data *Combined DBH shown for multi-stemmed trees

Refer to Appendix A pages 23 – 27 for tree descriptors.

DBH = Diameter at Breast Height

H x S = Height x Spread

ULE = Useful Life Expectancy

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4. PHOTOGRAPHS



Figure 4.1. Tree 1



Figure 4.2. Tree 2



Figure 4.3. Tree 3



Figure 4.4. Tree 4



Figure 4.5. Tree 5



Figure 4.6. Tree 6



Figure 4.7. Tree 7



Figure 4.8. Tree 8

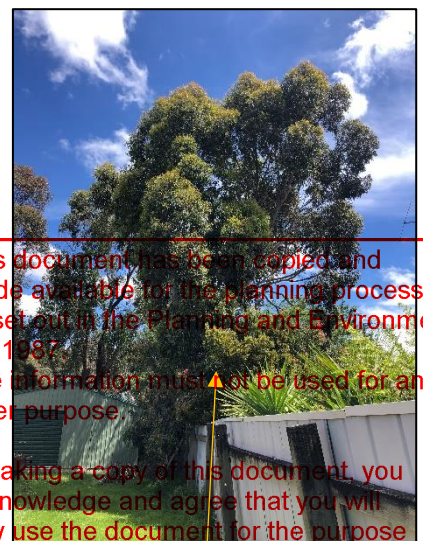


Figure 4.9. Tree 9

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PHOTOGRAPHS (CONTINUED)



Figure 4.10. Tree 10



Figure 4.11. Tree 11



Figure 4.12. Trees 12



Figure 4.13. Tree 13



Figure 4.14. Trees 14G



Figure 4.15. Trees 15 – 17



Figure 4.16. Tree 18



Figure 4.17. Tree 19



Figure 4.18. Tree 20

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5. RETENTION VALUE

5.1 INTRODUCTION

- 5.1.1 All trees have been allocated a retention value (see table 5.1). The retention value of each tree is a recommendation of the level of suitability within the future development.
- 5.1.2 Many factors influence the retention value of a tree, with useful life expectancy (ULE) and significance being two major influencing factors.
- 5.1.3 A colour has been assigned to each retention value category and can be used as a quick reference aid on the associated tree location map. See 2.1, page 6.

Retention Value	Colour Code	Description	Tree ID
High	Green	Highest retention score, Tree is of High Significance. Retain.	4 & 12
Medium	Blue	Tree is suitable for retention and has a reasonable ULE. Retain if possible.	5, 15, 16 & 17
Low	Black	<i>Consider tree for removal. If site cannot accommodate tree requirements removal is recommended. Consider for removal.</i>	1 – 3, 6 – 9, 11, 13, 14, 18 – 20
Poor	Red	<i>Tree is unsuitable for retention, due to poor health and/or structure, weed classification, hazardous or other reasons. Remove.</i>	10
<p><i>Privately owned trees, i.e. trees on neighbouring properties or on nature strips, will require protection. Unless the relevant tree owner/manager grants permission for its removal; Protect Tree. Note statutory/planning controls also still apply.</i></p>			

Table 5.1. Retention Value

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6. OBSERVATIONS & DISCUSSION

6.1 OCTOBER 29TH STORM

- 6.1.1 On the 29th of October 2021, Longwarry and much of the Baw Baw Shire area, was impacted by a significant storm event which resulted in the complete failure (root-plate failure) of numerous semi-mature and mature trees.
- 6.1.2 The original features survey, that was carried out on the 24th of June 2021 by Nobelius Land Surveyors, included 8 trees on the neighbouring property (No. 15 Cook Road) which were located within 9m of the subject property boundary and adjacent to tree **13** (located within the subject property). These trees were numbered as trees 1 – 8 on the associated Site Plan (AJ's Drafting Service, 3.08.21) see figure 6.1. At the time of the tree assessment (carried out by M. Sorenson on the 17.11.21) the trees located within the rear of the neighbouring property (No. 15 Cook Road) had been partially or fully removed (see figure 6.2) as the result of significant damage caused by the October 29th storm event.

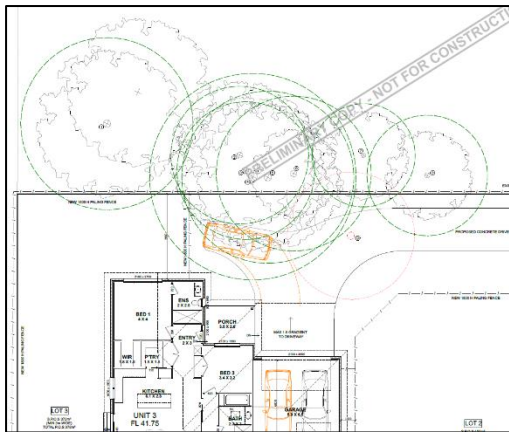


Figure 6.1. Site Plan (AJ's Drafting Service, 3.08.21) showing recently removed trees



Figure 6.2. Recently removed trees on neighbouring property

6.2 TREE 10

- 6.2.1 Tree **10**, *Eucalyptus saligna*, Sydney Blue Gum, is situated on the western boundary of the subject property. During the site assessment the health and structure of tree **10** was determined to be poor, with evidence of previous major stem failure/s occurring. Tree **10** has a Useful Life Expectancy (ULE) of <5 years and it is likely that the remaining stem/s will failure within the next 5 years.

6.3 PROTECTED VEGETATION

- 6.3.1 Under clause 52.17 of the planning scheme native (indigenous) vegetation located within the Cook Road reserve is protected. Tree **1**, *Eucalyptus ovata*, Swamp Gum, is a semi-protected indigenous tree located on the nature-strip in front of the subject property and is protected under clause 52.17 of the planning scheme.

- 6.3.2 As the current land size of the subject property is <4000m² native (indigenous) trees within the site are not protected under clause 52.17 (DEWLP 2020). No other vegetation planning controls currently apply to the subject property. Prior to the removal of any trees within the site the property owner should ensure no covenants or title agreements restrict the removal of vegetation.

This Swamp Gum has been assessed and more available for the planning process as set out in the Planning and Environment Act 1987.

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7. TREE PROTECTION ZONES

7.1 INTRODUCTION

7.1.1 When carrying out construction activities in the vicinity of trees, it is important to consider the protection requirements of the retained trees. The best principles for protecting trees on development sites are set out within the Australian Standard, AS 4970 – 2009, *Protection of Trees on Development Sites*.

7.2 DEFINITIONS

Tree Protection Zone (TPZ)

7.2.1 The TPZ is the area around the tree (both above and below ground) where all forms of construction activities (including excavation, fill and machine use) are excluded. The purpose of the TPZ is to protect the tree during the development process, allowing the tree to access the required resources in which it needs to remain viable.

7.2.2 The basic TPZ without alterations is simply a circle around the tree where the radius is measured from the centre of the stem at ground level. The radius of the TPZ is calculated for each tree by multiplying its DBH by 12 (TPZ = DBH x 12). Note; the minimum size of a TPZ is 2m and the maximum is 15m.

Structural Root Zone (SRZ)

7.2.3 The SRZ is an area calculated to determine the requirements of maintaining a trees stability. The SRZ is an area smaller in size than the TPZ and alone will not fulfil the requirements to maintain the viability of a tree. The true area occupied by the structural roots of a tree are influenced by many factors and may differ from the indicative SRZ. A thorough root investigation will provide much more accurate and detailed information and location on the extent of structural roots.

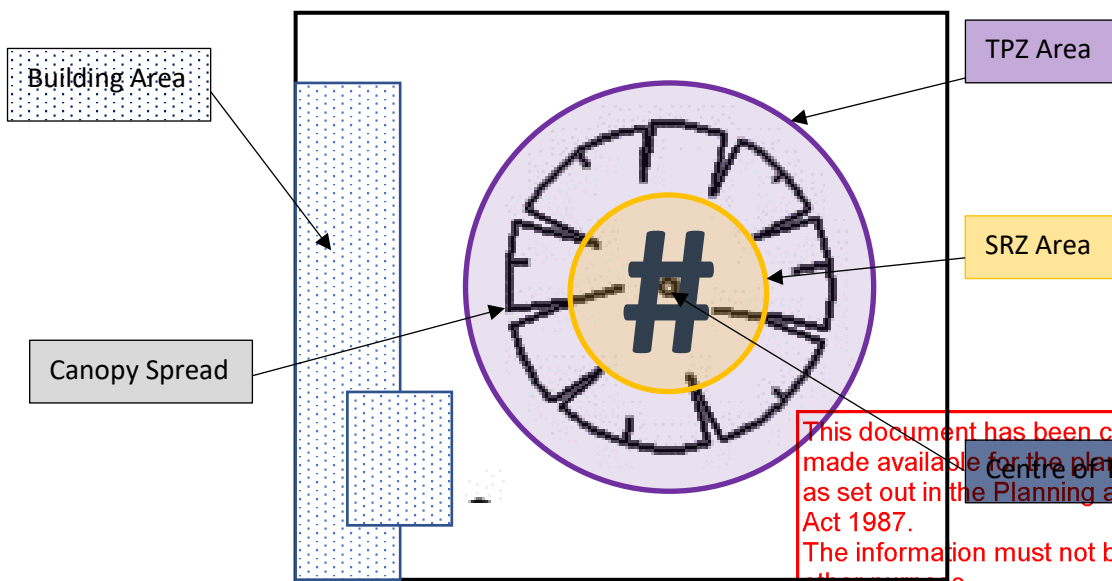


Figure 7.1. TPZ/SRZ area with no encroachment

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7.3 MINOR ENCROACHMENT

7.3.1 An encroachment of the TPZ is where the calculated TPZ is modified to allow permitted construction activities to occur. If the area proposed to be encroached is less than 10% of the total TPZ area, and is outside of the SRZ, it is considered a minor encroachment. A minor encroachment of the TPZ is generally acceptable, however individual tree requirements and site conditions will need to be considered to determine the overall impact on the tree.

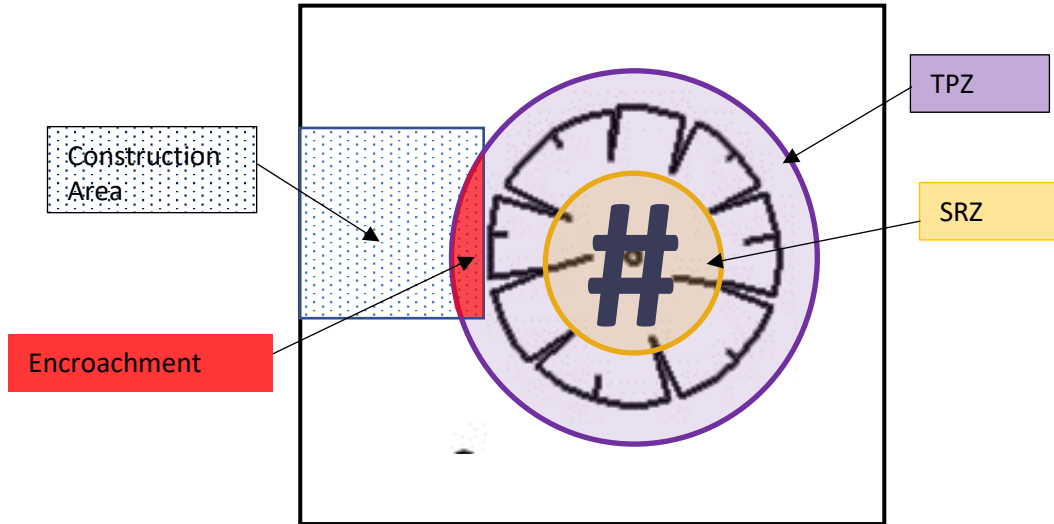


Figure 7.2. Minor encroachment (<10% of TPZ area with no encroachment of the SRZ)

7.4 MAJOR ENCROACHMENT

7.4.1 When a proposed encroachment is greater than 10% of the TPZ or inside the SRZ, it is considered a major encroachment. When a major encroachment is proposed the consulting arborist must determine if the tree/s will remain viable. Considerations including; species, soil characteristics, age & vitality of the tree along with construction methods, will help determine if a tree/s will be tolerant.

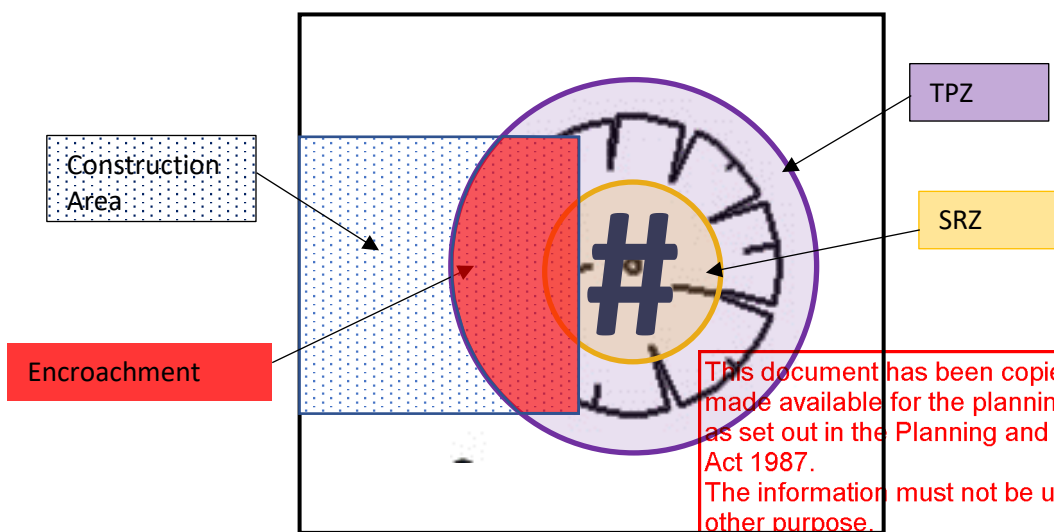


Figure 7.3. Major encroachment (>10% of TPZ area with encroachment of the SRZ)

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7.5 TPZ/SRZ DIMENSIONS

7.5.1 The TPZ & SRZ dimensions are provided in metres and are to be applied as a radius from the centre of the trunk at ground level. For groups of trees the TPZ/SRZ dimensions is the minimum distance required between each individual stem within the group.

Tree ID	TPZ (m)	SRZ (m)	TPZ area (m ²)
1	2.28	1.73	16.33
2	6.48	2.68	131.92
3	4.56	2.31	65.33
4	11.40	3.40	408.28
5	9.00	3.08	254.47
6	4.30	2.25	58.00
7	4.44	2.29	61.93
8	2.52	1.80	19.95
9	7.56	2.86	179.55
10	7.32	2.82	168.33
11	4.32	2.26	58.63
12	12.36	3.51	479.94
13	5.52	2.50	95.73
14G	2.00	1.56	12.57
15	3.60	2.09	40.72
16	3.60	2.09	40.72
17	3.60	2.09	40.72
18	2.40	1.77	18.10
19	2.40	1.77	18.10
20	2.00	1.56	12.57

Figure 7.4. TPZ/SRZ dimensions,

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7.6 TREE PROTECTION ZONE FENCING & SIGNS

- 7.6.1 The perimeter of the calculated TPZ(s) should be clearly marked and identified to all personnel involved throughout the development. Generally, it is not possible to erect tree protection fencing on adjoining properties, however fencing will need to be erected for any portions of TPZ/s that occur within the subject site.
- 7.6.2 Ideally the tree protection fencing shall be a minimum of 1.5 meters high above ground level and be constructed of prefabricated wire mesh (or similar). However, in some situations less substantial fencing in the form of high visibility flagging, attached to timber/steel pickets, at height of 1.2m may be considered adequate, see figures 7.5 & 7.6. All TPZ areas need to be clearly identified by suitable signs. Signs should be attached to the TPZ fencing at intervals no less than 5m apart.

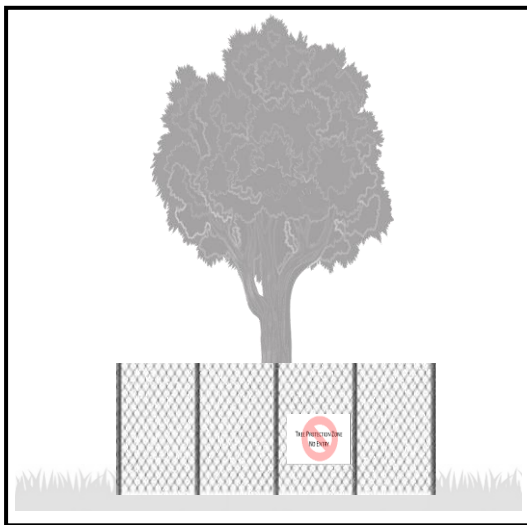


Figure 7.5. Standard TPZ Sign

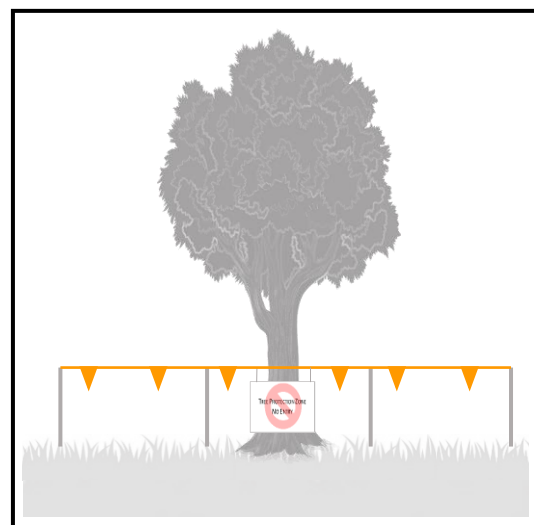


Figure 7.6 Tree Protection Zone

7.7 APPROVED WORK WITHIN TPZ(S)

- 7.7.1 No work may occur within the TPZ of any protected tree unless authorized by the project arborist and detailed within the Development Impact Assessment Report or Tree Protection Management Plan. If any construction personnel are unsure of the permitted work within a TPZ area, they should contact the project arborist prior to the commencement of work.
- 7.7.2 In areas where TPZ encroachment has been approved the TPZ fencing is permitted to be reduced by the minimum extent necessary to facilitate the approved work. In such situations the TPZ should be marked on the ground with paint and additional protection measures implemented. This may include ground protection, trunk and branch protection and direct supervision by the project arborist.
- 7.7.3 Any tree roots encountered <30mm dia. that require pruning, need to be done so by a suitably qualified person using sterilized and sharp cutting instruments. Pruning of tree roots >30mm dia. is not permitted unless directly authorized by the project arborist.
- 7.7.4 All exposed tree roots need to be covered with suitable topsoil within 48 hours of the excavation process. If this is unachievable temporary covering of exposed tree roots with moist material (i.e. hessian or similar) needs to be carried out until the excavation can be permanently backfilled.

This Pruning of tree roots >30mm dia. and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

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7.8 CARE OF PROTECTED TREES

- 7.8.1 The pruning of trees under protection shall be avoided where possible. The pruning of any tree under protection shall be undertaken by a suitably qualified arborist in accordance with Australian Standards – Pruning of Amenity Trees (AS 4373 - 2007). It is highly important to maintain and promote tree health whilst under protection.
- 7.8.2 The importance of the Tree Protection Program shall be clearly conveyed to all personnel involved throughout the development. Watering, mulching, weeding, fertilizing and pest treatment of protected trees shall continue for the duration of the project.
- 7.8.3 Roots discovered outside the TPZ(s) shall be severed cleanly with a disinfected hand saw and shall not be ripped, torn, pulled, or smashed. Any damage to the tree(s) under protection shall be immediately reported to the project arborist. This includes damage to; branches, trunks, roots or a noticeable change in appearance. Any confusion or uncertainty about the tree(s) or the protection program should be referred to the consulting arborist without hesitation.

7.9 TEMPORARY ACCESS FOR VEHICLES & MACHINERY

- 7.9.1 In some situations, a TPZ may restrict the access of vehicles and machinery needed to perform construction activities both outside of the TPZ and approved activities within the TPZ. If temporary access is required additional control measures need to be implemented such as using marker paint to identify the unfenced TPZ and installing ground protection and branch/trunk protection. Ground protection is often achieved by covering the ground surface with a 100mm layer of mulch with timber hoarding or rumble boards placed on top. For branch/trunk protection boards and padding should be attached by means of strapping and avoid damaging the bark.

7.10 FOOTING HOLES FOR FENCES

- 7.10.1 Post holes required to facilitate the construction of fences must be dug using hand tools when within the TPZ, avoiding damage to any roots >30mm. dia. relocation of footing holes may be necessary if such damage cannot be avoided. Any roots <30mm. dia. requiring pruning shall be done in a manner that encourages tree health. All roots cut shall be done using sterilized hand tools by a suitably experienced person.

7.11 INSTALLATION OF UNDERGROUND SERVICES

- 7.11.1 Excavation inside a TPZ poses a significant level of risk to the tree's health and viability. If underground services must be installed inside a TPZ directional drilling at a minimum depth of 600mm (top of bore) is recommended.
- 7.11.2 If boring is unachievable manually excavated open trenches may also be approved and undertaken under supervision of the project arborist. If manual excavation under the supervision of the project arborist is advised. Roots critical to tree stability need to be identified and protected.

7.12 OTHER RESTRICTIONS

- 7.12.1 The base area of the TPZ(s) shall be unaltered by cut, fill, trenching, fertilizers, or liquid chemical overland flow except under the conditions set out in Construction within TPZs. Building materials or waste shall not be stored within the TPZ(s). An area as far away from the tree(s) as practical shall be selected for all long-term storage. Nothing shall be attached to any retained tree, including service wires, nails, screws, etc.

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8. DEVELOPMENT IMPACT ASSESSMENT

8.1 PROPOSED SITE PLAN

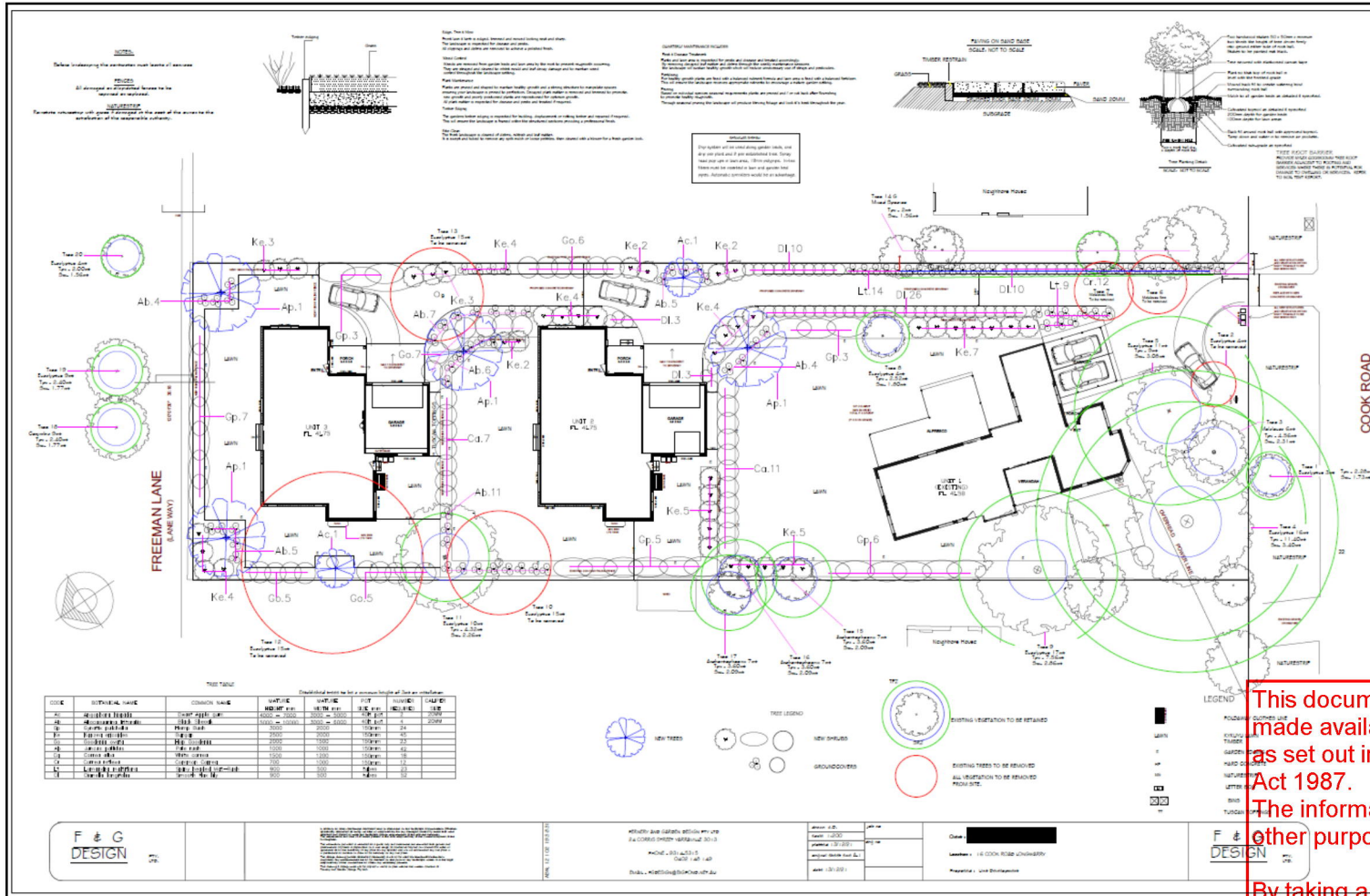


Figure 7.1. Proposed Site Plan (F & C Design)

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8.2 TREE PROTECTION PLAN V.1

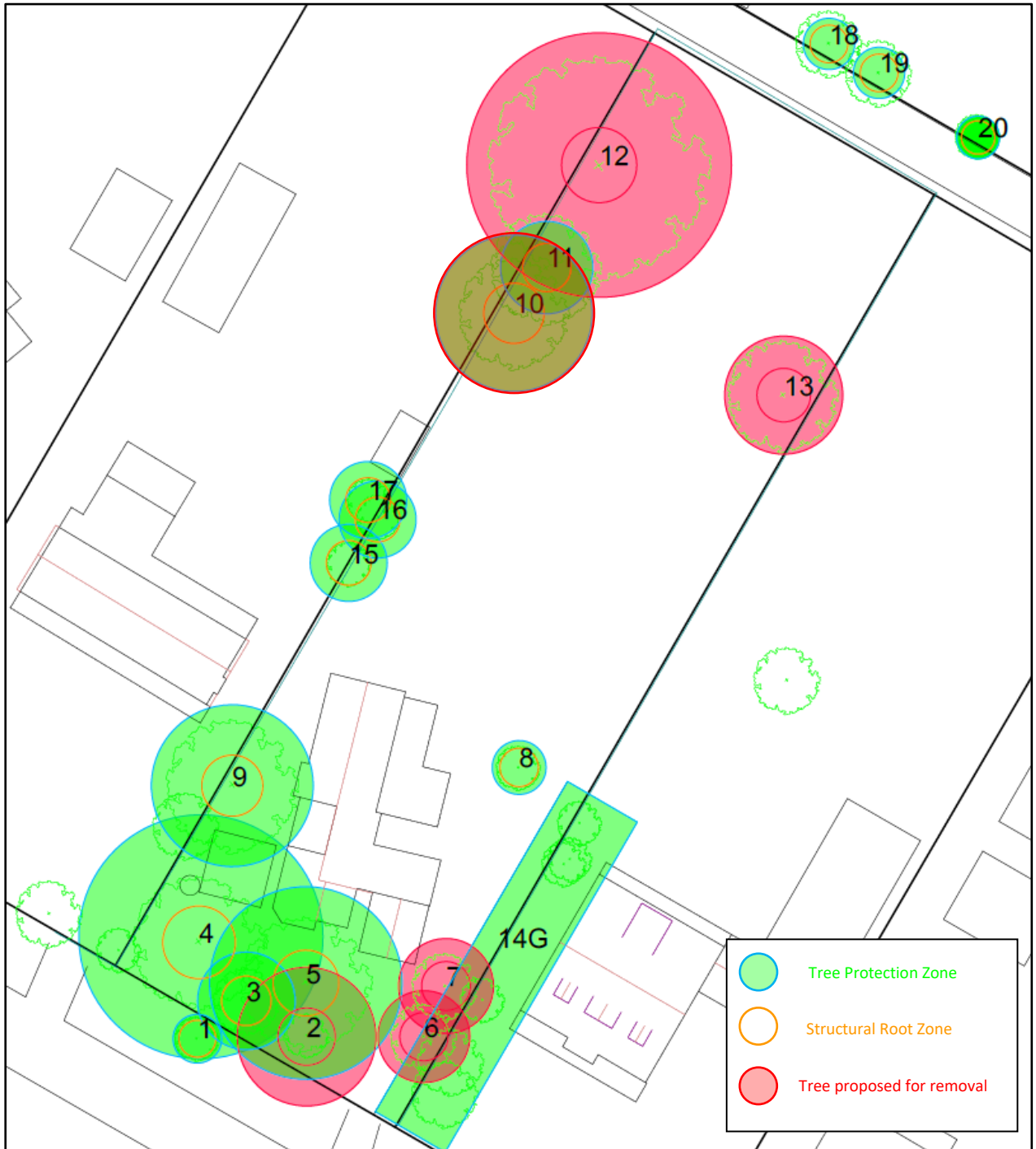


Figure 7.1. Features Survey (Nobelius Land Surveying) with TPZ dimensions drawn to scale (M. Sorenson)

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8.3 DEVELOPMENT IMPACT SUMMARY

Description	Tree ID	Number of Trees
Trees assessed	1 – 20	20
Trees proposed for removal	2, 6, 7, 10, 12 & 13	6
Trees with no encroachment of the TPZ	1, 3, 4, 8, 9, 11, 14 – 20	12
Trees with a minor encroachment of the TPZ	5 & 14G	2
Trees with a major encroachment of the TPZ	N/A	0

Table 8.3. Impact Summary

8.4 PROPOSED DESIGN

8.4.1 Under the current design the existing dwelling at the front of the property is proposed to be retained within lot 1 and for the most part no development within this area will occur. 2 new lots are proposed behind lot 1, both of which will contain a single new dwelling. Vehicle access to lots 2 and 3 will be facilitated through the construction of a new 3m wide concrete driveway along the eastern boundary of the site.

8.5 TREES PROPOSED FOR REMOVAL

8.5.1 Under the current design 6 trees (ID **2, 6, 7, 10, 12 & 13**) will require removal. Trees **2, 6, 7 & 13** will require removal to facilitate the construction of the new proposed driveway. Tree **12** will require removal to facilitate the construction of the proposed dwelling within lot 3. The health and structure of tree **10** was determined to be poor and its removal is deemed necessary regardless of the proposed design.

8.5.2 Currently there are no vegetations overlays which apply to the property which restrict the pruning or removal of vegetation. The current land size of the subject property (<4000m²) is below the required threshold in which native vegetation controls under clause 52.17 of the VPP apply. Prior to the removal of trees from within the subject property the land owner should ensure that no covenants or agreements exist on the title which restrict the removal of vegetation.

8.6 TREES WITH A MINOR ENCROACHMENT OF THE TPZ

8.6.1 The TPZ of trees **5 & 14G** will be encroached by the proposed concrete driveway. The total percentage of individual TPZ encroachment for trees **5 & 14G** is less than 10% and outside of the trees' SRZ. This is considered a minor TPZ encroachment (AS 4970 – 2009) and all trees are expected to remain tolerant of the proposed encroachment.

8.6.2 If the tree protection measures recommended within this report are implemented for all remaining portions of the TPZ of trees **5 & 14G** then all trees are expected to remain viable during and post development.

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9. REPORT SUMMARY & RECOMMENDATIONS

- 9.1.1 Development of the land at 16 Cook Road, Longwarry is proposed. The proposed design includes the subdivision of the land into 3 lots and the construction of 2 new dwellings.
- 9.1.2 A total of 20 trees (ID **1 – 20**) were assessed within the subject property and on the adjoining properties.
- 9.1.3 6 trees (ID **2, 6, 7, 10, 12 & 13**) will require removal to facilitate the construction of the proposed design. Currently there are no vegetations overlays which apply to the property which restrict the pruning or removal of vegetation. The current land size of the subject property (<4000m²) is below the required threshold in which native vegetation controls under clause 52.17 of the VPP apply. Prior to the removal of trees from within the subject property the land owner should ensure that no covenants or agreements exist on the title which restrict the removal of vegetation.
- 9.1.4 All retained trees will require protection during the development process, this is best achieved through the establishment of Tree Protection Zones (TPZ) in accordance with AS 4970 – 2009 (Protection of Trees on Development Sites).
- 9.1.5 Under the proposed design a minor TPZ encroachment (<10% and outside of the SRZ) is required within the TPZ of 2 trees (ID **5 & 14G**). These trees are expected to remain viable during and post development if the remaining unaffected portions of their TPZ remain protected from construction activities.
- 9.1.6 If the tree protection measures recommended within this report are implemented throughout the development process all retained trees are expected to remain viable during and post development.

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10. REFERENCES

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Appendix A TREE DESCRIPTORS

A.A TREE ID

A.A.A **For trees assessed individually** a tree number is allocated for quick referencing and corresponds to the site map.

A.A.B **For populations of trees assessed collectively;** 'G' following the tree ID indicates the assessment of a group of trees.

A.B TREE NAME

A.B.A **Botanical name** is the name given to the tree which is universally recognised and expressed in Latin, consisting of both the Genus and Species name.

A.B.B **Common name** is the most common informal name the tree is referred to in a regional context.

A.C TREE DIMENSIONS

A.C.A Tree Dimensions calculated by the Arborist during site assessment.

D.B.H	Diameter at Breast Height. Measured 1.4 Meters above the ground.
D.A.B	Diameter at Base. Measured immediately above root buttress/flare.
Height	The estimated height of the tree in meters.
Spread	A measurement of the tree canopy in meters. Measured on the ground by walking out the distance along the widest axis under the canopy.

Tree Dimensions

A.D ORIGIN

A.D.A The recorded/accepted natural origin of the tree.

I - Indigenous	The tree is indigenous to the area and growing as a result of natural regeneration (i.e. not planted).
V/N - Vic Native	The tree is native to Victoria. However, it is outside of its naturally occurring range or has been planted.
N - Native	The tree is of Australian origin, but not naturally occurring within Victoria
E - Exotic	The tree is not of Australian origin.

Tree Origin

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A.E AGE

A.E.A The estimated age of the tree as determined by the Arborist

J - Juvenile	A recently formed, emerging tree or sapling.
Y - Young	A young tree that is dynamic and actively growing.
S/M - Semi-mature	A tree which is established within its environment and continuing to actively grow towards its maximum size.
M - Mature	A tree which has reached its expected growing potential for the species and location and has slowed in growth.
S - Senescent	A tree which has reached full maturity, is not continuing to actively grow and may be in decline.
D - Dead	The tree is dead.

Tree Age

A.F HEALTH

A.F.A The overall health of the tree as observed by the Arborist.

Good	The tree displays a full canopy containing little or no dead wood, with good colour and shows indicators of good compartmentalisation of wounds (if present). The tree shows little or no signs of the presence of pathogens. The tree shows no visible sign of decay and no visible signs of root damage.
Fair	The tree is showing a combination of the following symptoms of fair health; signs of deadwood of up to 20%, minor presence of pathogens, small amounts of epicormic growth. Less than a full canopy with some discolouration in the leaves.
Fair - Poor	The Tree displays intermediate characteristics of both <i>Fair & Poor</i>
Poor	The tree is showing a combination of the following symptoms; up to 50% die back in the canopy with high quantities of deadwood. Discolouration of leaves. Large amounts of epicormic growth. Visible signs of pathogens causing decay and/or other damage.
Significant Decline	The tree is likely to be showing most if not all of the following symptoms; Canopy die back >75%. Extensive deadwood throughout the entire tree. Severe attack from pathogens. Large/extensive decay within root zone, trunk and branches.
Dead	The Tree is dead.

Tree Health

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A.G STRUCTURE

A.G.A The structural assessment of the tree as determined by the Arborist by visual ground-based observations. (Unless otherwise specified)

Good	Branch unions sound, little or no signs of decay within tree. Form is promoting good structural growth. Scaffold limbs and leaders display good taper.
Good-Fair	The Tree displays intermediate characteristics of both <i>Good & Fair</i>
Fair	Shows some evidence of structural defects including; rubbing branches, branches growing in an overextended lateral direction, minor cavities in trunk and branches, some evidence of decay, small amounts of damage to roots and missing bark.
Fair-Poor	The Tree displays intermediate characteristics of both <i>Fair & Poor</i>
Poor	Movement of root plate may be visible. Vertical cracks present. Large amounts of decay are observed. Large hollows or cavities are obvious. Included bark and poor branch unions present with co-dominant stems. Large epicormic branches.
Immediate Hazardous	The tree poses an immediate risk to people and property and requires immediate attention (e.g. isolation, remedial pruning or removal)
Dead	Tree is dead.

Tree Structure**A.H USEFUL LIFE EXPECTANCY**

A.H.A U.L.E (Useful Life Expectancy). The estimated time in which the tree will remain within the landscape with limited additional care and with a satisfactory level of risk.

30+ Years	Very Long
20-30 Years	Long
10-20 Years	Medium
5-10 Years	Short-Medium
<5 Years	Short
0 Years	Tree is dead, in severe decline, hazardous, impacting a fixed asset, presenting an obstruction, posing weed potential or a combination of these characteristics, removal may be necessary

Useful Life Expectancy

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A.I SIGNIFICANCE –

A.I.A Significance can be described in many contexts including amenity, landscape, ornamental, heritage and ecological.

A.I.B The table below details the significance criteria used to determine the significance of the assessed each tree.

Descriptor	Category	Criteria
Low (Lo)	(All)	The tree does not meet the criteria of any of the categories listed below. The tree is considered to have a low value in the context of all other significance categories.
Amenity (A)	Amenity	The tree has a medium amenity value based on its functionality. Examples include (but not limited to); the tree provides important shade, wind suppression, water management and/or erosion management.
Ecological (E)	Ecological	The tree has a medium ecological value due to its contribution to native flora and fauna (in a local, regional, state or national context). Examples include (but not limited to); the tree forms part of remnant vegetation which is now restricted and/or threatened within the area. Tree provides significant amounts of habitat for local Fauna. Tree is protected under local, state or national agreements/Acts.
Heritage (H)	Heritage	The tree is protected by local, state or national heritage classification.
Landscape (L)	Landscape	The tree has a medium landscape value due to its contribution to the local landscape. Examples include (but not limited to); the tree is of exceptional size and/or age. Tree forms a focal point within the local landscape. Tree is part of a uniform and collective planting iconic to the local area.
Ornamental (O)	Ornamental	The tree has a medium ornamental value due to its ornamental or botanical features. Examples include (but not limited to); the tree is of exceptional size and/or age for its species, is considered to be uncommon within cultivation or of particular importance within the wider horticultural community, the tree may contribute to the heritage of the site although not officially recognised.
High (Hi)	(All)	The tree has a high value in one or more of the above categories or a medium value in three (3) or more of the above categories.

Significance

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A.J RETENTION VALUE

A.J.A A value (see below) given to the tree that considers all the above information. It provides the necessary guide for which trees are suitable for retention and which trees are recommended for removal with consideration to the current and future intended land use.

High	<i>Highest retention score, Tree is of High Significance. Retain.</i>
Medium	<i>Tree is suitable for retention and has a reasonable ULE. Retain if possible.</i>
Low	<i>Consider tree for removal. If site cannot accommodate tree requirements removal is recommended. Consider for removal.</i>
Poor	<i>Tree is unsuitable for retention, due to poor health and/or structure, weed classification, hazardous or other reasons. Remove.</i>
*	<i>Privately owned trees, i.e. trees on neighbouring properties or on nature strips, generally require protection '*' following the retention value indicates that the tree is privately owned. Unless the relevant tree owner/manager grants permission for its removal; Protect Tree. Note statutory/planning controls still apply.</i>

Retention Value

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Appendix B ASSUMPTIONS & LIMITATIONS

- B.A.A Reports are prepared assuming the person making the request has good title and ownership, legitimacy of purpose, the authority to grant access and/or engage service.
- B.A.B This report is prepared with reasonable care. To the extent permitted by law, the author accepts no responsibility for any loss or damage sustained by a recipient as a result of acting on its recommendations.
- B.A.C The author can neither guarantee nor be responsible for the accuracy of information in this report provided by others.
- B.A.D Information provided in a verbal or written report covers only those items examined. It reflects their condition at the time of inspection only.
- B.A.E Unless otherwise specified, inspection is limited to visual inspection from ground level without dissection, excavation, drilling, physical or nutritional analysis or quantification of structural integrity. No responsibility is accepted for the consequences of internal or sub-surface defects which present no discernible external symptoms.
- B.A.F The report shall not be used for any other purpose or conveyed externally in whole, part or meaning without the prior written consent of the author.
- B.A.G Sketches, diagrams, graphs and photographs used as visual aids are not necessarily to scale.
- B.A.H Unauthorised alteration or separate use of any part of the report is prohibited and invalidates the whole report.
- B.A.I The author accepts no responsibility for the consequences of work performed outside specification, by inappropriately qualified staff or without consultant supervision where it has been recommended.
- B.A.J The conclusions reached, and recommendations made do not imply that plants, built landscape or structures will withstand future adverse natural or man-made conditions.
- B.A.K There is no warranty or guarantee that problems, deficiencies, faults or failures of plants or property inspected may not arise in the future. Regular re-inspection will be required to identify emerging disorders

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Advertised



NOBELIUS

LAND SURVEYORS

TOWN PLANNING REPORT

The subdivision of the land into three (3) lots; The application of an easement on the land; and the development of two units.

16 Cook Road, Longwarry

PROPOSED BY

NOBELIUS LAND SURVEYORS

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1. Preliminary

Introduction

This town planning report has been prepared by Nobelius Land Surveyors on behalf of the landowner and is submitted to Baw Baw Shire Council to support an application for a three (3) lot subdivision; to create an easement, and the development of two (2) residential dwellings at 16 Cook Road, Longwarry, and associated removal of vegetation.

The subject site is located in the well-established town of Longwarry, and is zoned General Residential – Schedule 1, with additional controls imposed being a Land Subject to Inundation Overlay and Development Contributions Plan Overlay.

This report aims to demonstrate that the proposal is:

- Consistent with the purpose of the General Residential zone;
- Will satisfactorily integrate with surrounding land uses;
- Is compliant with the appropriate objectives and standards of Clause 56; and
- Is consistent with the State and Local Planning Policy framework.

This proposal should receive Council's full support on the basis that the development respects the established character of the area, meets the relevant standards and objectives of Clause 55 and Clause 56 and will not result in a loss of amenity to surrounding residents.

2. Subject Site and Surrounding Locality

Site Analysis

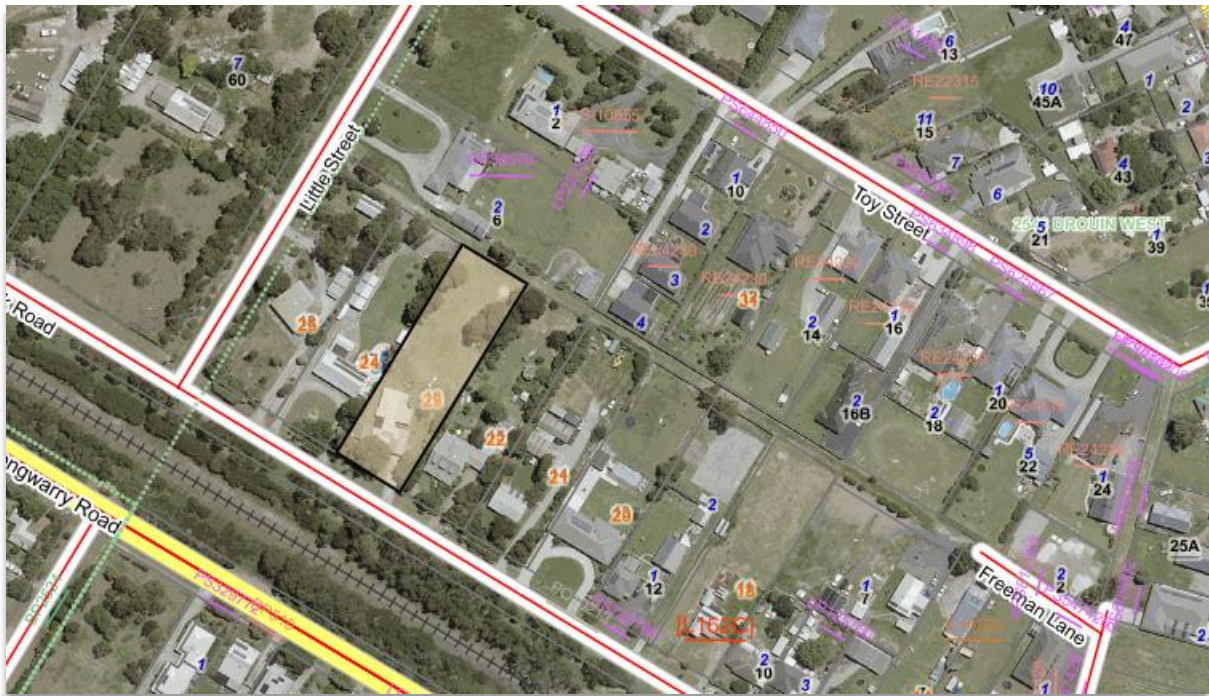
The subject site is formally described as Allotment 23, Section 6\PP5476, 16 Cook Road, Longwarry, and is land contained in Certificate of Title Volume 09844 Folio 365. The title is not encumbered by any covenants, however, is subject to an existing Section 173 Agreement under the *Planning and Environment Act 1987*, a copy in which has been included as part of this submission. A sewerage asset dissects the middle of the current lot for the width of the site.

The site is a rectangular allotment and encompasses a total area of 3,035m². In its present form, the land is developed with one brick veneer dwelling with a gable roof and associated double carport. Street access to Cook Road is located in the southern portion of the frontages, with rear access via Freeman Lane; an unmade laneway that extends the length of the northern boundary of the site.

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16 COOK ROAD, LONGWARRY (SOURCE LASSI)

The subject site is zoned General Residential – Schedule 1 with all surrounding lots zoned the same. A summary of the surrounding lots has been provided below:

- North:** 6 Little Street, Longwarry, with a total area of 4,831m². Developed with one dwelling.
- West:** 17 Cook Road, Longwarry, with a total area of 2,967m². Developed with one dwelling.
- East:** 15 Cook Road, Longwarry, with a total area of 3,063m². Developed with one dwelling.
- South:** Abuts Cook Road and Railway line.

Surrounds description

Longwarry features a mix of housing styles of various ages and has a county atmosphere emphasised by the wide verges, street trees and views to farmland and the ranges in the distance. The town is centred around the main roads and railway line. Traditional large lots with a single detached dwelling are prevalent, and an emerging trend in smaller lots and unit style developments is evident.

Within the Longwarry township there is recent development that supports the proposed development, including:

- A four unit development with common property at 10 Toy Street, Longwarry, as shown below.

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- A five unit development with common property at 25 Nar Nar Goon – Longwarry Road, Longwarry, as shown below:



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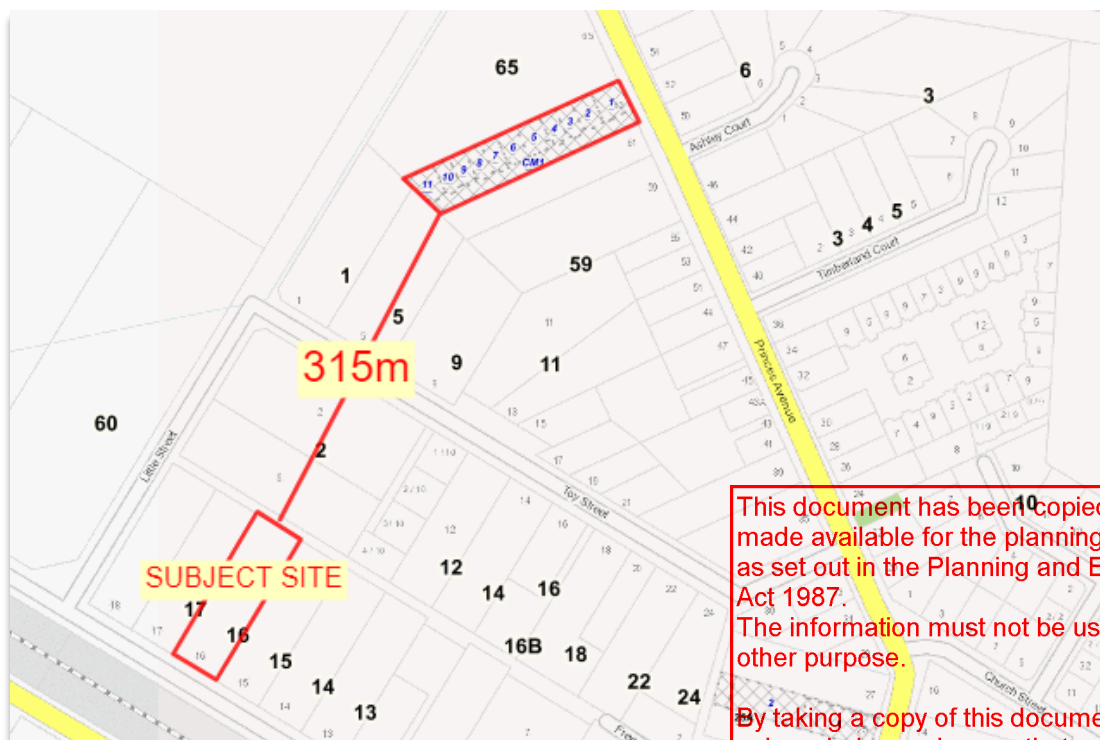
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- A ten unit development with common property at 8 Nar Nar Goon – Longwarry Road, and:
- A six unit development with common property at 9 Nar Nar Goon – Longwarry Road, as per below:



- An eleven unit development with common property at 63 Princes Avenue, Longwarry as per below:



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Cook Road

Cook Road connects to the Princes Avenue, Mackey Street and the Koo Wee Rup – Longwarry Road intersection. It is a sealed road that runs parallel to the railway line until an underpass on Nar Nar Goon Longwarry Road.

The northern side of the verge is predominately lawn, with powerlines overhead, and native trees and shrubs buffer views to the railway line along the southern side of the road.

Amenities Survey

The subject site is well serviced in terms of amenities. An amenities survey detailing the facilities and services within approximately 15 minutes drive from the subject site has been included below:

HEALTH:

Longwarry Medical Centre	550m
Bunyip Pharmacy	4.5km
Bunyip Dental Clinic	5.6km
Warragul Hospital	18.4km

EDUCATION:

Longwarry Primary School	900m
Bunyip Primary School	4.8km
Columba Catholic Primary School	5.2km
Birches Early Learning Centre	4.5km
Drouin Secondary College	10.6km
Chairo Christian College Drouin	12.0km

TRANSPORT

Longwarry Train Station	600m
Longwarry Bus Stop	600m
Access to the Princes Hwy (vehicular)	3.8km

LEISURE

Toy Park Playground	850m
Longwarry Recreation Reserve	1.1km
Drouin Golf and Country Club	8.1km
Gumbuya World	11.9km

AMENITIES

Longwarry Supermarket	550m
DeBruins Bakery	550m
Longwarry Hotel	550m

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Longwarry Public Hall & Library	750m
Soul Sister Café	550m
Longwarry AusPost	650m
Bendigo Bank Bunyip	4.3km
IGA Bunyip	4.4km
Coles Drouin	9.8km

Pursuant to **Clause 21.03 Settlement** of the Baw Baw Planning Scheme, particularly subsection **21.03-3 Directions for growth**, Longwarry will accommodate a medium level of growth consistent with its more limited infrastructure, however, as demonstrated above, it is well serviced in terms of public transport and vehicular access to the Princes Highway, and many amenities and services are within walking distance of the subject site.

3. The Proposal

This proposal is for the following works to be undertaken in accordance with the Baw Baw Planning Scheme and associated works generally in accordance with the submitted plans:

- The subdivision of the land into three (3) lots; and
- To create an easement over existing sewer infrastructure; and
- The development of two units behind the existing dwelling.

This proposal has been prepared in accordance with the Baw Baw Planning Scheme and associated works generally in accordance with the submitted plans.

In present form, the subject site is a rectangular allotment encompassing a total area of 3035m². The site is developed with one single storey dwelling and a double carport. This proposal seeks to further develop the site to accommodate an additional two dwelling, both of which will be detached, and single storey in height. Access to all dwellings on the site will be via a shared (common property) concrete driveway extending adjacent to the eastern boundary. The common property will have an area of 405sqm. Please refer to the proposed Plan below.

Lot 1	Retains the existing dwelling. Access via the existing driveway from Cook Road. Lot 1 will measure 1255sqm.
Lot 2	Proposed Unit 2, a three bedroom, single storey dwelling, with a carport. Access via the shared concrete driveway. Lot 2 will measure 663sqm.
Lot 3	Proposed Unit 3, a three bedroom, single storey dwelling with a double garage. Access via the shared concrete driveway. Lot 3 will measure 712sqm.

The proposal includes site coverage of 25 per cent, permeable coverage of 62 per cent, and achieves 61.5 per cent garden area. Please refer to the supporting architectural documentation for further clarification.

The subject site has the potential to connect to all services from Cook Road, sewer pits and lines, you currently dissecting the width of the subject allotment. The sewer infrastructure is indicated in the

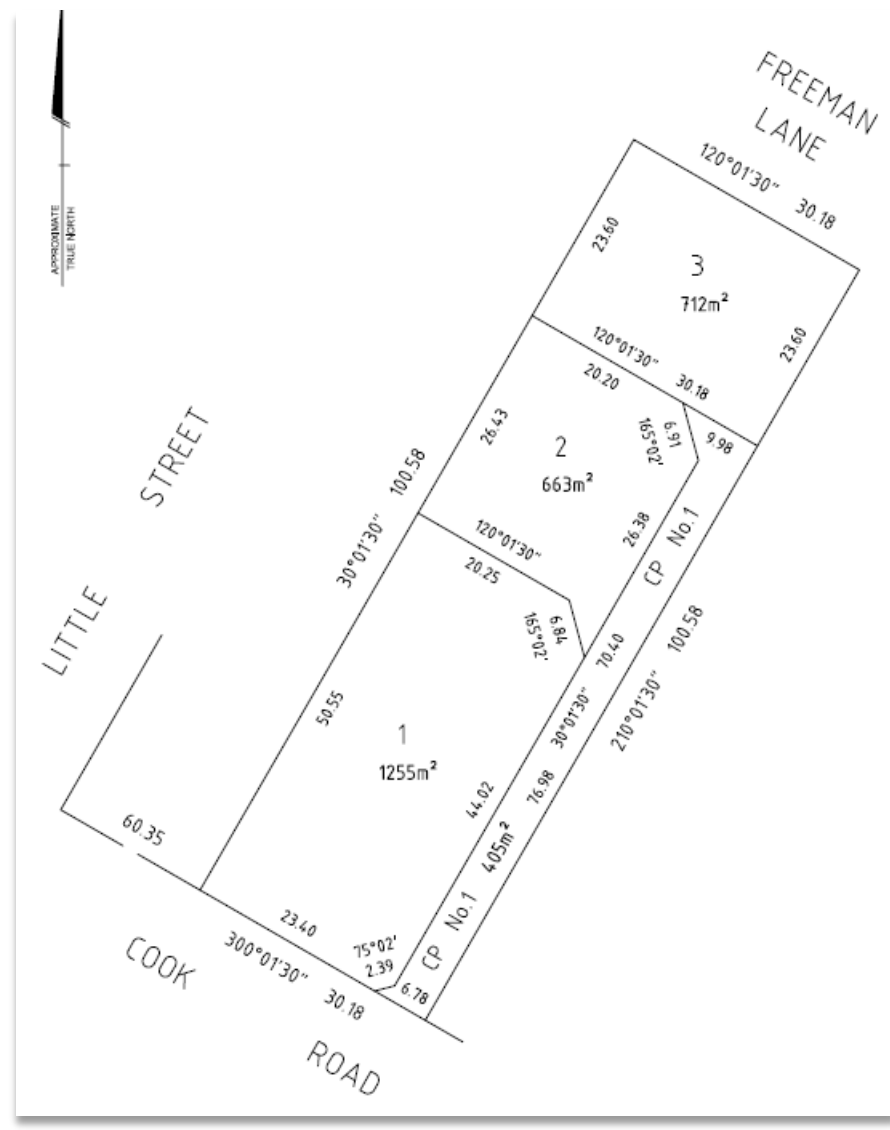
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Cook Road, sewer pits and lines, you currently dissecting the width of the subject allotment. The sewer infrastructure is indicated in the

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feature plan below with the sewer pits represented by the orange dot and the pipes represented by the orange line.

Connection to services will be in accordance with the conditions of the relevant service providers.



The proposal will require the removal of six trees identified on the site plans as trees 2, 6, 7, 10, 12 and 13. The table below (taken from Table 8.3, page 20 of the Arborist Report) documents relevant information about these trees.

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Description	Tree ID	Number of Trees
Trees assessed	1 – 20	20
Trees proposed for removal	2, 6, 7, 10, 12 & 13	6
Trees with no encroachment of the TPZ	1, 3, 4, 8, 9, 11, 14 – 20	12
Trees with a minor encroachment of the TPZ	5 & 14G	2
Trees with a major encroachment of the TPZ	N/A	0

Trees 2,6,7 10, 12 and 13 are required to be removed to facilitate the proposed driveway access with tree 12 required to be removed to facilitate the construction of the proposed dwelling within Lot 3. All trees are located on the subject site. There are no overlay controls that trigger a permit assessment for the removal of the native vegetation and the proposal benefits from the exemptions at clause 52.17 due to the size of the site (3,123sqm). The exemption that is relevant here reads as follows:

Site area - The native vegetation is on land which, together with all contiguous land in one ownership, has an area of less than 0.4 hectare

4. Planning Controls

Zoning Controls

The following is a summary of the planning controls relevant to the subject site identifying how these planning controls relate to the proposal.

The land is zoned General Residential Zone – Schedule 1 [GRZ1] and the purpose of the zone that support this application include:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To encourage development that respects the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth, particularly in locations offering good access to services and transport.*

Pursuant to **Clause 32.08-3 Subdivision** a permit is required to subdivide land. Each lot must be provided with reticulated sewerage.

Pursuant to **Clause 32.08-6 Construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings**, a permit is required to construct two or more dwellings on a lot.

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To meet the application requirements outlined in the zone, this submission has provided the following:

- An assessment against the relevant provisions of Clauses 55 and 56, including a neighbourhood and site description, and site and context description and design response.
- Plans drawn to scale and dimensioned which show:
 - Site shape, size, dimensions and orientation.
 - The siting and use of existing and proposed buildings.
 - Adjacent buildings and uses.
 - The building form and scale.
 - Setbacks to property boundaries.

4.2 Overlay Controls

Land subject to inundation [LSIO]

The LSIO overlay applies to the subject site and all surrounding lots. Pursuant to **Clause 44.04-2 Buildings and works**, a permit is required to construct a building or construct or carry out works, as well as **Clause 44.04-3 Subdivision**, which outlines that a permit is required to subdivide land. The development has been designed in accordance with the applicable flood water levels as determined by Melbourne Water.

Development Contributions Plan [DCPO]

The subject site and all surrounding lots are subject to the Development Contributions Plan Overlay. The purpose of this overlay is to identify areas which require the preparation of a development contributions plan for the purpose of identifying contributions for the provision of works, services, and facilities. The site is subject to the requirements of the Baw Baw Development Contributions Plan and is mapped in Area 48. A planning permit condition will nominate the amount payable.

4.3 State Planning Policy Framework (SPPF) Controls

This part of the report assesses and responds to the legislative and policy requirements for the project in accordance with the *Planning and Environment Act 1987*. The relevant clauses of the State Planning Policy Framework for subdivisions of the type presented in this report are largely contained in Clauses 11, 15 and 16. Below is a summary response to each clause.

Clause 11.01-1S Settlement

The proposed development is supported by the following strategy outlined in Clause 11.01-1S Settlement:-

- *Provide for growth in population and development of facilities and services across a regional or sub-regional network.*

Clause 11.01-1R Settlement – Gippsland

The proposed development is supported by the objective outlined in Clause 11.01-1R Settlement – Gippsland:

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- *Support the continuing role of towns and small settlements in providing services to their districts, recognising their relationships and dependencies with larger towns.*

Clause 11.02-1S Supply of urban land

The proposed development is supported by the objective of **Clause 11.02-1S:**

- *To ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses.*

The proposed subdivision and development meets the relevant strategies and objectives outlined in the above mentioned subclauses of Clause 11 Settlement. The proposal provides an opportunity for increased residential allotments within the township boundary in an area experiencing housing demand. Increased housing and subsequent population growth will contribute to the viability of the services provided within town.

Clause 15 Built Environment and Heritage

The proposal is supported by the objective of **Clause 15.01-1S Urban Design:**

- *To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.*

As well as the objective of **Clause 15.01-2S Building design:**

- *To achieve building design outcomes that contribute positively to the local context and enhance the public realm.*

The proposed development is responsive to the character of the surrounding neighbourhood and supports the amenity of future residents through quality design, accessibility and a well serviced location. The retention of the existing crossover and dwelling, combined with the provision of landscaping in the front setbacks contribute positively to the amenity of the neighbourhood and minimise the appearance of the development from the street.

The subdivision design is supported by the objective of **Clause 15.01-3S Subdivision design:**

- *To ensure the design of subdivisions achieves attractive, safe, accessible, diverse and sustainable neighbourhoods.*

The subdivision provides a range of lot sizes to suit smaller unit style dwellings which will meet the needs and aspirations of a variety of household types.

Furthermore, the proposal is supported by the objective of **Clause 15.01-6S Design of rural areas:**

- *To ensure development respects valued areas of rural character.*

The proposal has ensured that the siting, scale and appearance of the development is appropriate for the neighbourhood in which it is located. The rural character of Longwarry is enhanced through quality design with provisions for front landscaping.

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16.01 Housing

The proposed development is supported by the objective outlined in **Clause 16.01-1S Housing supply:** *To facilitate well-located, integrated, and diverse housing that meets the community needs.*

The proposed development is located in a well-established residential area mapped within the township boundary and walking distance to a range of local services and facilities including a supermarket, post office, primary school, medical centre and train station. The subject site provides an excellent opportunity for further infill development to meet increasing demands for housing in the Baw Baw Shire.

The proposed development is also supported by the objective outlined in **Clause 16.01-2S Housing affordability:** *To deliver more affordable housing closer to jobs, transport and services.*

Longwarry is well serviced in terms of transport, with the train station providing public transport options to the Melbourne CBD and outer suburbs, as well as Drouin, Warragul and the Latrobe Valley via the V/Line Gippsland Line. Longwarry is highly accessible via private vehicle from the Princes Highway, providing significant opportunities within a short commute in terms of employment, leisure, and amenity. The proposed development will offer an affordable alternative to the larger homes on large lots traditionally seen in the neighbourhood.

Clause 16.01-3S Rural residential development supports this proposal, with the following strategy particularly relevant to this submission:

- *Encourage the consolidation of new housing in existing settlements where investment in physical and community infrastructure and services has already been made.*

The subject site is mapped within the Longwarry township boundary. The proposed development provides an opportunity for further infill development within the township boundary in a residential zone that can connect to existing services.

4.4 Local Planning Policy Framework (LPPF) Controls

21.03 Settlement

In **Clause 21.03**, Longwarry is described as a medium-sized township with a strong local service role, and under subsection **21.03-3 Directions for Growth** – Longwarry will accommodate a medium level of growth consistent with its more limited infrastructure.

The land is zoned general residential, is mapped within the township boundary, and has ready access to existing infrastructure and services. The development is appropriate for the neighbourhood and is consistent with the emerging development trends seen within the residential areas of Longwarry. The development provides an opportunity for infill development and provides lot size diversity that differs from the large allotments typically seen in this neighbourhood.

21.04 Main Towns

It is noted that Baw Baw Shire are currently preparing an updated Longwarry Structure Plan to provide a framework to clearly identify the town centre area, and direction for surrounding land uses. The

updated plan is not yet available for public viewing and as such, this proposal is based on the existing Longwarry Structure Plan included in Clause 21.04.

Clause 21.04 outlines the visions for how planning applications will be decided upon, and objectives for development in each of the main towns in the Shire. Subsection **21.04-7 Longwarry** outlines that residential development should be encouraged on underutilised residential land which has access to reticulated sewerage and community facilities.

The subject site is a residential allotment mapped within the township boundary and well connected in terms of community facilities, with a range of amenities and facilities within walking distance, including a supermarket, train station, medical clinic and primary school. The subject site can connect to reticulated sewerage and utility services including gas, electricity and telecommunications from Cook Road, making it an ideal site for further development.

4.5 Relevant Particular Provisions/General Provisions and relevant incorporated or reference documents

The relevant provisions/documents area:

- Clause 52.02 Easements, Restrictions and Reserves
- Clause 55 Two or more dwellings on a lot and residential buildings
- Clause 56 Residential Subdivision
- Clause 65 Decision Guidelines

Clause 52.02 – Easements, Restrictions and Reserves

The purpose of clause 52.02 is to *enable the removal and variation of an easement or restrictions to enable a use or development that complies with the planning scheme after the interests of affected people are considered*. A permit is required before a person proceeds under Section 23 of the Subdivision Act 1988 to create, vary or remove an easement or restriction or vary or remove a condition in the nature of an easement in a Crown Grant.

The **Decision guidelines** state that *before deciding on an application, in addition to the decision guidelines in clause 65, the responsible authority must consider the interests of affected people*, requiring the proposal to be advertised to ensure the interests of affected people are considered.

Clause 55 - Two or more dwellings on a lot and Residential Buildings

The purpose of Clause 55 that is relevant in supporting this application is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework;*
- *To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.*
- *To encourage residential development that provides reasonable standards of amenity for existing and new residents.*
- *To encourage residential development that is responsive to the site and the neighbourhood.*

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The following table is an assessment of the proposal against the relevant provisions of **Clause 55** (ResCode):

CLAUSE	RESPONSE
55.01 Neighbourhood and Site Description and Design Response	
55.01-1 Neighbourhood and site description	Please see 2. Subject Site and Surrounds as described early in this report for a detailed neighbourhood and site description. Please read in conjunction with the architectural supporting documentation.
55.01-2 Design response	Please see 3. The Proposal as described earlier in this report for a detailed design response. Please read in conjunction with the architectural supporting documentation.
55.02 Neighbourhood Character and Infrastructure	
55.02-1 Neighbourhood character objectives	Complies. The proposed development is appropriate for the neighbourhood and site. The proposed lot sizes are consistent with emerging lot sizes within the township boundary. The proposed single storey dwellings are respectful of the existing built form in the immediate neighbourhood in terms of size, scale and materials.
55.02-2 Residential policy objectives	The proposed development has been designed in accordance with the Baw Baw Planning Scheme, particularly Clause 16 Housing. A detailed response to Clause 16 and all relevant Victorian Planning Provisions has been provided above in subsection 4.3 State Planning Policy Framework and 4.4 Local Planning Policy Framework .
55.02-3 Dwelling diversity objective	N/A Less than 10 dwellings.
55.02-4 Infrastructure objectives	Complies The proposed development has the potential to connect to reticulated services, including sewerage, drainage, electricity and gas from Cook Road.
55.02-5 Integration with the street objective	Complies The proposed development has been designed to integrate with the layout with the street. The retention of the existing crossover and the siting of unit 2 and unit 3 behind the existing dwelling minimises the appearance of the development from the street. All dwellings provide for adequate vehicle and pedestrian links that maintain local accessibility.
55.03 Site Layout and Building Massing	
55.03-1 Street setback objective	Complies. The front setback of 11.2m to the existing dwelling remains unchanged.
55.03-2 Building height objective	Complies The maximum building height specified in the General Residential Zone as outlined in 32.08-10 Maximum building height requirement for a dwelling or residential building is 11 metres. Floor to roof pitch heights do not exceed 6m.
55.03-3 Site coverage objective	Complies

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	<p>No minimum site coverage is specified in the schedule to the zone, and the maximum site coverage to meet Standard B8 is 60 per cent.</p> <p>The site coverage for the proposed development is 25 per cent.</p>
55.03-4 Permeability and stormwater management objectives	<p>Complies</p> <p>No minimum site coverage is specified in the schedule to the zone, and the minimum pervious surface area should be at least 20 per cent of the site.</p> <p>Permeable coverage for the site is 62 per cent.</p>
55.03-5 Energy efficiency objectives	<p>Complies.</p> <p>The proposed development meets the requirements of Standard B10, and dwellings have been orientated on the lot to ensure good use of solar energy. The living and private open space of all units achieves northern solar access. The proposed development does not impact upon the energy efficiency or rooftop solar energy system of existing dwellings on adjoining lots.</p>
55.03-6 Open space objective	<p>Not applicable</p> <p>No open space is proposed as part of this proposal.</p>
55.03-7 Safety objective	<p>Complies</p> <p>The proposed development meets the requirements of Standard B12. Entrances to the proposed units will be well lit, providing for the safety and security of residents. Private spaces have been fenced, and no unsafe places have been created through landscaping.</p>
55.03-8 Landscaping objectives	<p>Complies</p> <p>Provision for landscaping has been included in the front setbacks and private open space.</p>
55.03-9 Access objective	<p>Complies</p> <p>The number and design of vehicle crossovers is respectful of existing neighbourhood character. The existing crossover is proposed to service the three dwellings. Access for service, emergency and delivery vehicles is maintained.</p>
55.03-10 Parking location objectives	<p>Complies</p> <p>Each unit has been provided parking for two cars. A secure and well ventilated double garage has been provided to Unit 3, and Unit 2 has been provided with a double carport (to accommodate a sewerage easement underneath). No carparks of other dwellings are located within 1.5m of habitable rooms.</p> <p>Pursuant to Clause 52.06 Carparking 2 carparking spaces have been provided to each three bedroom dwelling within this development.</p>
55.04 Amenity Impacts	
55.04-1 Side and rear setbacks objective	<p>Complies</p> <p>The height and setback of all units in the proposed development are respectful of existing neighbourhood character and do not impact upon the amenity of existing dwellings.</p>

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55.04-2 Walls on boundaries objective	<p>Complies No walls are proposed to be built on the boundaries.</p>				
55.04-3 Daylight to existing windows objective	<p>Complies The proposed units do not impede upon the ability of the existing dwellings to access adequate daylight into existing habitable room windows or their amenity. Please refer to the shadow diagrams included in the supporting architectural documentation for further information.</p>				
55.04-4 North-facing windows objective	<p>Not applicable No north-facing habitable room windows of an existing dwelling are located within 3 metres of the boundary of the abutting lot.</p>				
55.04-5 Overshadowing open space objective	<p>Complies The proposed development has ensured that the units do not significantly overshadow existing secluded private open space. Please refer to the shadow diagrams included in the supporting architectural documentation for further information.</p>				
55.04-6 Overlooking objective	<p>Complies The proposed development has ensured that views into existing secluded private open space and habitable room windows are limited through the use of 1.8m high fencing.</p>				
55.04-7 Internal views objective	<p>Complies Views into the secluded private open space and habitable room windows of dwellings within the development have been limited using 1.8m high fencing.</p>				
55.04-8 Noise impacts objectives	<p>Complies Noise sources have been taken into consideration in the design and siting of dwellings on the site.</p>				
<p>55.05 On-Site Amenity and Facilities</p>					
55.05-1 Accessibility objective	<p>Complies. The dwellings entries are easily accessible to people with limited mobility and meet Standard B25.</p>				
55.05-2 Dwelling entry objective	<p>Complies. Entries to each dwelling are visible and easily identifiable from the street, with a porch proposed to each dwelling that will provide shelter, a sense of personal address and a transitional space around the entry.</p>				
55.05-3 Daylight to new windows objective	<p>Complies. Windows in habitable rooms have been located to face outdoor space clear to the sky that achieves the minimum area of 3m² with a minimum 1m dimension.</p>				
55.05-4 Private open space objective	<p>Complies. No dimensions for private open space have been specified in the schedule to the zone, and therefore the dwellings need to achieve the area of POS and SPOS outlined in Standard B28: Private Open Space (POS) of 40m² with a minimum dimension of 3m and accessible via living room). Secured Private Open Space (SPOS) of 25m² (minimum dimension of 3m and accessible via living room).</p> <table border="1" data-bbox="566 1973 981 2009"> <tr> <td data-bbox="566 1973 821 2009">Existing Dwelling</td> <td data-bbox="821 1973 981 2009">POS 526m²</td> </tr> <tr> <td data-bbox="566 2009 821 2022"></td> <td data-bbox="821 2009 981 2022">SPOS 496m²</td> </tr> </table>	Existing Dwelling	POS 526m ²		SPOS 496m ²
Existing Dwelling	POS 526m ²				
	SPOS 496m ²				

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	<table border="1"> <tr> <td>Unit 2</td> <td>POS 450m²</td> <td>SPOS 450m²</td> </tr> <tr> <td>Unit 3</td> <td>POS 378m²</td> <td>SPOS 372m²</td> </tr> </table> <p>All dwellings can access the secluded private open via the living room.</p>	Unit 2	POS 450m ²	SPOS 450m ²	Unit 3	POS 378m ²	SPOS 372m ²
Unit 2	POS 450m ²	SPOS 450m ²					
Unit 3	POS 378m ²	SPOS 372m ²					
55.05-5 Solar access to open space objective	<p>Complies. Private open space has been located to the north of each unit, allowing adequate solar access to the open space and creating useable and sunlit secluded private open space with good amenity.</p>						
55.05-6 Storage objective	<p>Complies. 6m³ of storage has been included in the design of the garage for Unit 3, and 6m³ of storage has been provided in the form of a shed for Unit 2, ensuring adequate storage facilities and achieving Standard B30.</p>						
55.06 Detailed Design							
55.06-1 Design detail objective	<p>Complies The proposed design is sympathetic to the existing neighbourhood character seen in the immediate vicinity of the subject site. Clause 21.04-7 Longwarry outlines that residential development should be encouraged on underutilised residential land which has access to reticulated sewerage and community facilities, and this proposal allows for the site to be developed to its full potential, with the land providing an excellent opportunity for further housing within the township boundary. The design of the units has taken into consideration existing built form in the neighbourhood. The façade articulation and detailing is appropriate for the neighbourhood, and the design has limited the appearance of sheer walls through the use of prominent front porches and garages set back from the entryways to minimise the appearance of bulk from the street. The window and door proportions, cladding materials and roof style are typical of those already seen in the neighbourhood. The design is of a high architectural standard and has been designed to enhance the streetscape and to contribute to the quality of future housing in Longwarry.</p>						
55.06-2 Front fences objective	<p>Complies No front fences are proposed within 3m of a street as part of this development. The open front setback will contribute to a sense of openness and spaciousness already seen along Cook Road.</p>						
55.06-3 Common property objectives	<p>Not applicable A shared driveway is common property as part of this proposal, and has been designed to be practical, attractive and easily maintainable.</p>						
55.06-4 Site services objectives	<p>Complies The proposed development has made provision for sufficient space and facilities for services to be installed and maintained efficiently and economically in the layout and design of the dwellings.</p>						

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	Designated bin and recycling areas have been incorporated into the development in a conveniently accessible location that is not visually dominant in the design. Please refer to the supporting architectural documentation for further clarification on the location of bin and mailbox locations for each unit.
--	--

Clause 56 – Residential Subdivision

The purpose of Clause 56 that is relevant in supporting this application is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework;*
- *To create liveable and sustainable neighbourhoods and urban places with character and identity; and,*
- *To achieve residential subdivision outcomes that appropriately respond to the site and its context for regional cities and towns.*

The following table is an assessment of the proposal against the relevant provisions of Clause 56 (ResCode):

CLAUSE	RESPONSE
56.03 LIVEABLE AND SUSTAINABLE COMMUNITIES	
56.03-4 Built environment objective	Complies. This submission proposes a safe, functional and attractive residential development that is consistent with the emerging development trends and neighbourhood character seen in Longwarry. The proposal will provide increased housing stock in a region experiencing significant growth. The materials selected are sympathetic to those seen in the area, and the building height is responsive to the prevalence of single storey dwellings in the neighbourhood.
56.03-5 Neighbourhood character objective	Complies The subdivision design is responsive to the emerging subdivision pattern being seen in elongated lots in Longwarry. Neighbourhood character in Longwarry features built form of various size, type and age. This proposed development contributes to housing diversity and lot size diversity in the neighbourhood and provides housing choice that meets the needs of emerging demographic trends in the area – couple families with and without children. No significant vegetation or site features are present on site.
56.04 LOT DESIGN	
56.04-1 Lot diversity and distribution objective	Complies. The proposed subdivision provides for higher housing density within the township boundary and within walking distance of the activity centre.
56.04-2 Lot area and building envelopes objective	Complies The proposed subdivision application is accompanied by a development application showing how the lots will be developed. The proposed dwellings have been designed taking into consideration solar access, private open space, vehicle access and

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	parking, water management and easements. No significant vegetation and site features are present on site.
56.04-3 Solar orientation of lots objective	Complies. The proposed subdivision and development provides good solar orientation of lots, with the private open space for each lot to gain northern solar gains.
56.04-5 Common area objectives.	Not applicable A common driveway is proposed as part of this development.
56.05 URBAN LANDSCAPE	
56.05-1 Integrated urban landscape objective	Not applicable The proposed subdivision does not create streets.
56.06 ACCESS AND MOBILITY MANAGEMENT	
56.06-1 Integrated mobility objectives	Complies. The subject site is located within close proximity (600m walk) to the Longwarry Train Station to access the regional public transport network. The subject site is within walking distance to a range of facilities and services, including a school, healthcare, shops, parks and transport ultimately supporting reduced car dependence.
56.06-2 Walking and cycling network objectives	Complies. The proposed subdivision does not impede upon the safe and direct movement of pedestrians or cyclists between neighbourhoods. The proposed subdivision provides an opportunity for infill development in a location that is highly supported by services and enhances and further cements the townships role as a local service provider.
56.06-4 Neighbourhood street network objective	Not applicable. No new streets are proposed as part of this submission.
56.06-5 Walking and cycling network detail objectives	Not applicable. No footpaths, shared path or cycle path networks are proposed as part of this submission.
56.06-7 Neighbourhood street network detail objective	Not applicable. No street carriageways and verge designs are included in this submission.
56.06-8 Lot access objective	Complies The subdivision design has allowed for the provision of safe vehicle access between roads and lots.
56.07 INTEGRATED WATER MANAGEMENT	
56.07-1 Drinking water supply objectives	Complies An adequate, cost-effective supply of drinking water will be provided to the boundary of all lots in the subdivision. The supply of drinking water will be designed and constructed in accordance with the requirements and to the satisfaction of the relevant water authority.

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56.07-2 Reused and recycled water objective	Complies Reused and recycled water will be provided where available.
56.07-3 Waste water management objective	Complies The subdivision will provide a waste water system that is adequate and will manage effluent in a way that is appropriate for the public and environmental health. The waste water system will be designed, constructed and managed in accordance with the requirements and to the satisfaction of the relevant water authority and the Environment Protection Authority.
56.07-4 Stormwater management objectives	Complies The proposed subdivision stormwater management system will be designed and managed in accordance with the requirements and to the satisfaction of the relevant drainage authority.
56.08 SITE MANAGEMENT	
56.08-1 Site management objectives	Complies The site will be managed prior to and during the construction period in a manner that limits any potential for environmental impacts. Litter, concrete and other construction wastes will be contained on site and disposed of appropriately.
56.09 UTILITIES	
56.09-1 Shared trenching objectives	Complies. Shared trenching will be used where possible in the provision of reticulated services for water, gas, electricity and telecommunications in order to minimise land allocation for underground services.
56.09-2 Electricity, telecommunications and gas objectives	Complies Utilities will be provided to the boundary of each lot in a timely, efficient and cost effective manner, with all utility supply systems designed in accordance with the requirements of the relevant supply agency.
56.09-3 Fire hydrants objective	Not applicable.
56.09-4 Public lighting objective	Not applicable.

5. Conclusion

It is submitted that the proposal is consistent with the relevant policies and provisions of the Baw Baw Planning Scheme and should receive Council's support for the following reasons:

- The proposal is consistent with the State and Local Planning Policy Framework and the purposes of the General Residential Zone- Schedule 1.
- The proposed development has met the relevant objectives and standards of Clauses 55 and 56.
- The proposal has been designed in accordance with a floor level determined by Melbourne Water to meet the requirements of the Land Subject to Inundation Overlay.

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- The proposal does not overshadow any existing rooftop solar energy systems on dwellings on adjoining lots.
- The proposed pattern of subdivision and spacing between buildings is respectful of those seen in the neighbourhood and reflect emerging transitional housing trends within the township boundary of Longwarry.
- The removal of vegetation is in accordance with Clause 52.17 and has met the application requirements and decision guidelines of the *Guidelines for removal, destruction or lopping of native vegetation* (Department of Environment, Land, Water and Planning, 2017).

As such, it is requested that the planning officers at Baw Baw Shire Council look favourably on the application and approve the subdivision subject to reasonable and relevant conditions.

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PLAN OF SUBDIVISION

EDITION 1

PS 907469 P

Advertised

LOCATION OF LAND

PARISH: Drouin West
 TOWNSHIP: Longwarry
 SECTION: 6
 CROWN ALLOTMENT: 23
 CROWN PORTION: ---
 TITLE REFERENCE: Vol. 9844 Fol. 365

LAST PLAN REFERENCE: Lot 1 on TP 822164W
 POSTAL ADDRESS: 16 Cook Road, LONGWARRY 3816
 (at time of subdivision)

MGA CO-ORDINATES: E: 391 650 ZONE: 55
 (of approx centre of land in plan) N: 5 781 400 GDA 2020

Council Name: Baw Baw Shire Council

EXPLANATORY NOTE:

WARNING: This plan is unregistered.
 Alterations may be required by Council and the Registrar of Titles prior to Registration, Nobelius Land Surveyors accepts no responsibility whatsoever for any loss or damage suffered.

VESTING OF ROADS AND/OR RESERVES

NOTATIONS

IDENTIFIER	COUNCIL/BODY/PERSON
Nil	Nil

CP No.1 Denotes Common Property No.1

NOTATIONS

DEPTH LIMITATION: 15.24m below the surface

SURVEY:
 This plan is based on survey.

STAGING:
 This is not a staged subdivision.
 Planning Permit No.

This survey has been connected to permanent marks No(s).

In Proclaimed Survey Area No. ---

LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE OWNERS CORPORATIONS. FOR DETAILS OF ANY OWNERS CORPORATIONS INCLUDING PURPOSE, RESPONSIBILITY, OR ENTITLEMENT & LIABILITY SEE OWNERS CORPORATION SEARCH REPORT, OWNERS CORPORATION ADDITIONAL INFORMATION AND IF APPLICABLE, OWNERS CORPORATION RULES.

EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easements and rights implied by Section 12(2) of the Subdivision Act 1988 apply to all of the land in this plan.

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	Sewerage	2.00	This Plan	South East Water Corporation

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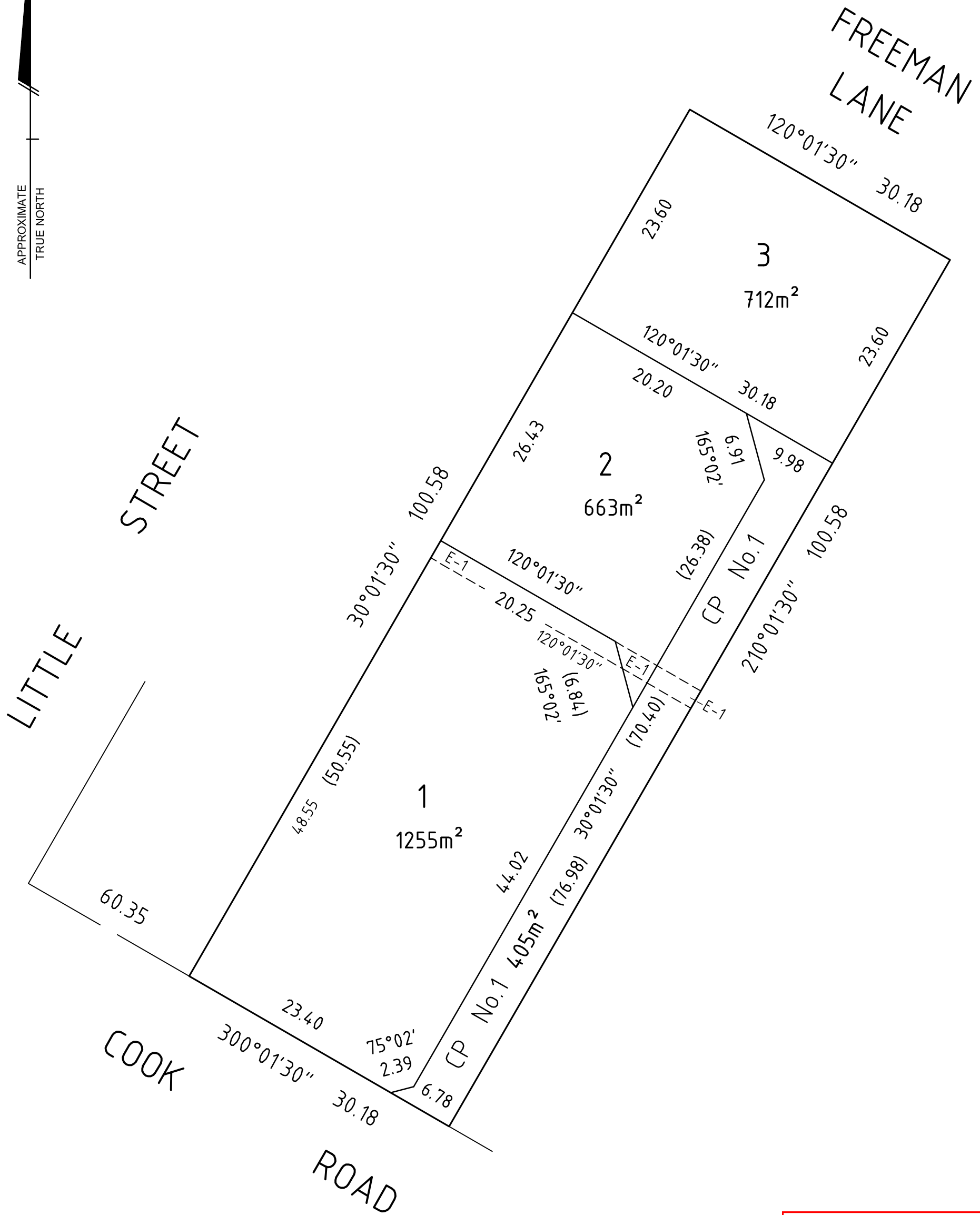


P.O. BOX 461
 PAKENHAM 3810
 Ph 03 5941 4112
 mail@nobelius.com.au

SURVEYORS FILE REF: 19677

LICENSED SURVEYOR: T. D. WALKER
 VERSION 2

ORIGINAL SHEET SIZE: A4 SHEET 1 OF 2

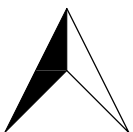


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See Sheet 1 for Explanatory Note

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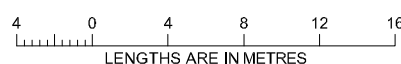
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NOBELIUS LAND SURVEYORS



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mail@nobelius.com.au

SCALE
1:400



LICENSED SURVEYOR: T. D. WALKER
VERSION 2

ORIGINAL SHEET
SIZE: A3

SHEET 2

PLAN OF SURVEY 16 COOK ROAD LONGWARRY

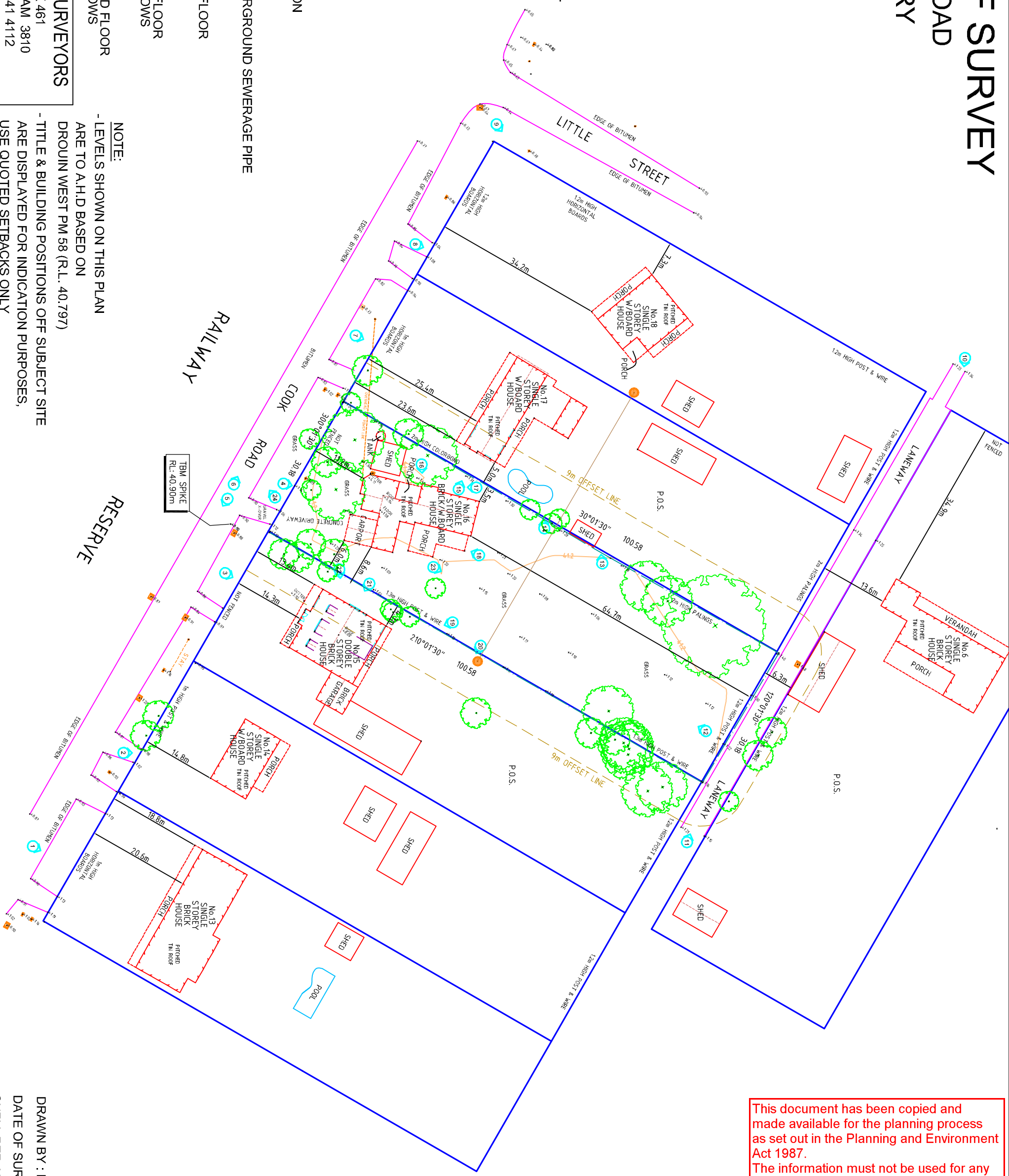
SCALE 1:750 (A3)

- LEGEND**
- GRATE
 - SIDE ENTRY PIT
 - VALVE
 - WATER METER
 - TELSTRA PIT
 - POWER POLE
 - HYDRANT
 - DRAINAGE PIT
 - SEWER PIT
 - GAS METER
 - PHOTO POSITION & DIRECTION

- DENOTES UNDERGROUND SEWERAGE PIPE
- DENOTES FIRST FLOOR BUILDING LINE
- DENOTES FIRST FLOOR HABITABLE WINDOWS
- DENOTES GROUND FLOOR HABITABLE WINDOWS

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 P.O. BOX 461
 PAKENHAM 3810
 Ph 03 5941 4112
 Fax 03 5941 7359
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- NOTE:**
- LEVELS SHOWN ON THIS PLAN ARE TO A.H.D BASED ON DROUIN WEST PM 58 (R.L. 40.797)
 - TITLE & BUILDING POSITIONS OFF SUBJECT SITE ARE DISPLAYED FOR INDICATION PURPOSES, USE QUOTED SETBACKS ONLY
 - P.O.S DENOTES PRIVATE OPEN SPACE

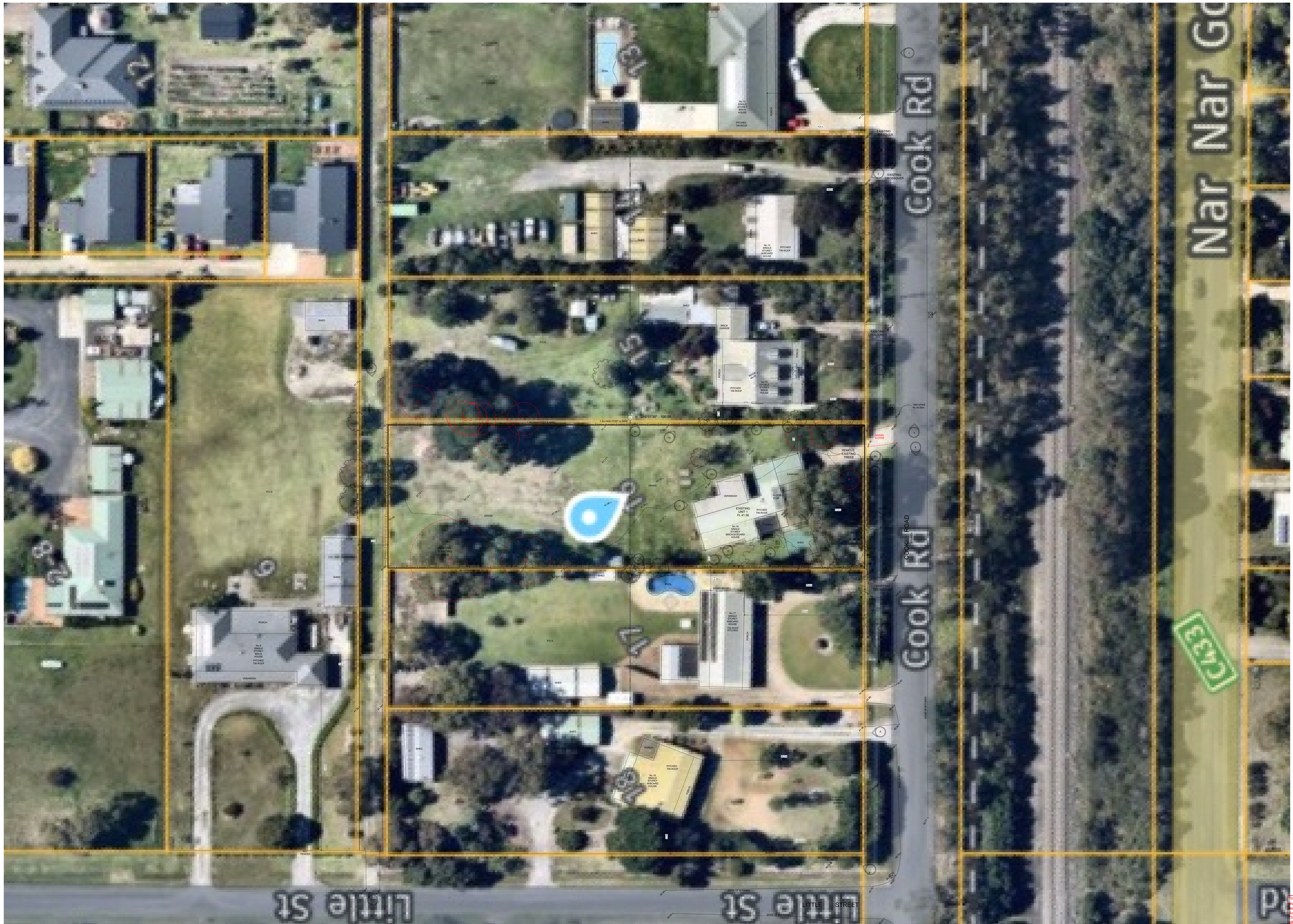


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DRAWN BY : H. STEPHENS
 DATE OF SURVEY : 24/06/2021
 SURV. REF. NO. 19677



NEIGHBOURHOOD AND SITE DESCRIPTION

220

-  EXISTING TREES TO REMAIN
TREE PROTECTION ZONE (GREEN)
STRUCTURAL ROOT ZONE (RED)
-  EXISTING VEGETATION TO BE REMOVED

AG's DRAFTING SERVICE

ANDREW BERRY DP-AD 43292
 P.O. BOX 373, MACKINNAH VIC 3810 0424 589 793
 www.agdrafting.com.au andrew@agdrafting.com.au

UNIT DEVELOPMENT

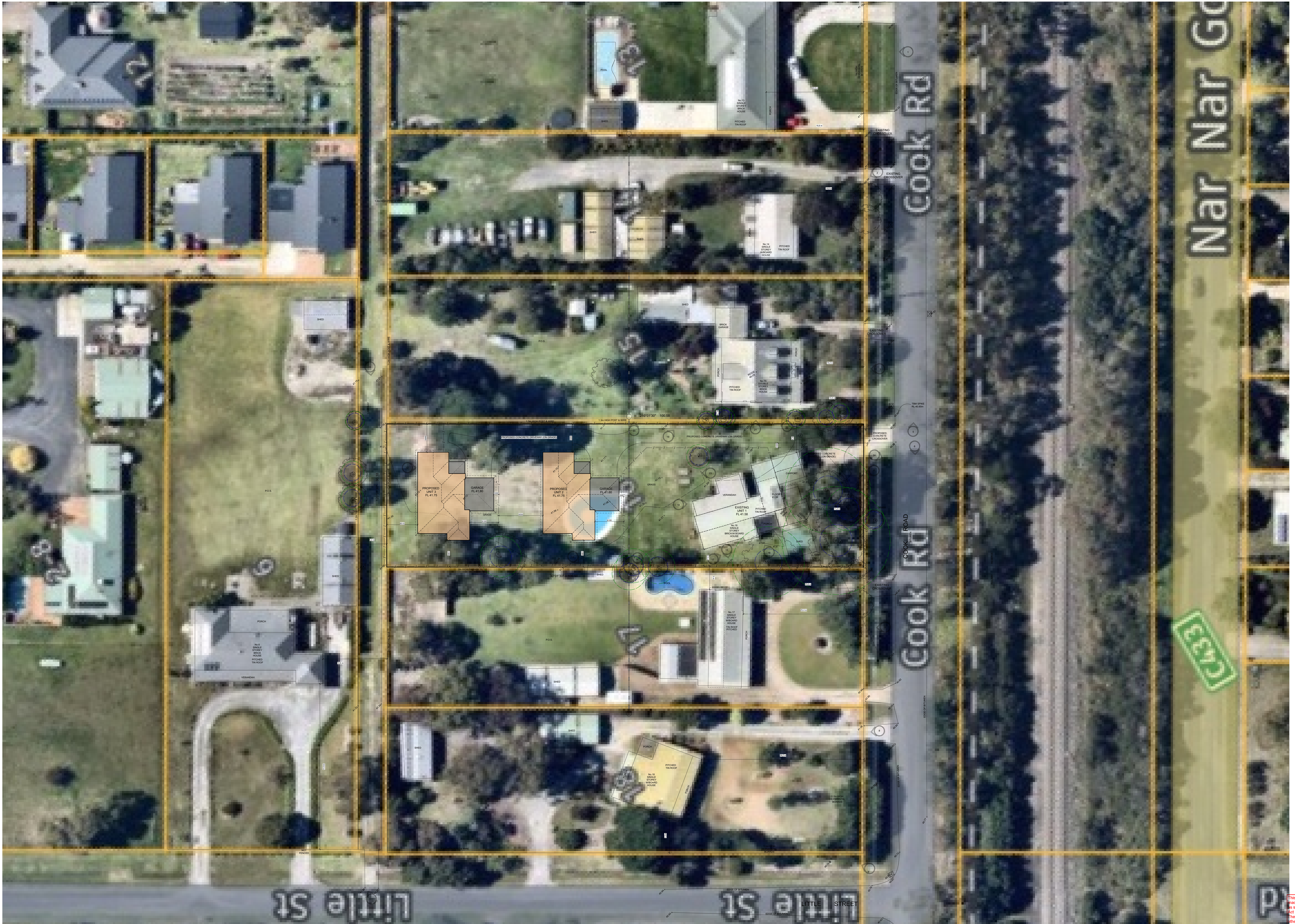
JACINTA HURST
 16 COOK ROAD, LONGWARRY VIC 3816

REV.	DESCRIPTION
A.	COUNCIL RFI LETTER DATED 01/03/2022

NOTE: OWNER TO ENSURE A BUILDING PERMIT IS OBTAINED PRIOR TO ANY WORK COMMENCING ON SITE.

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 DWG No: 21074-TP



DESIGN RESPONSE
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UNIT DEVELOPMENT
 JACINTA HURST
 16 COOK ROAD, LONGWARRY VIC 3816

REV.	DESCRIPTION
A.	COUNCIL RFL LETTER DATED 01/03/2023

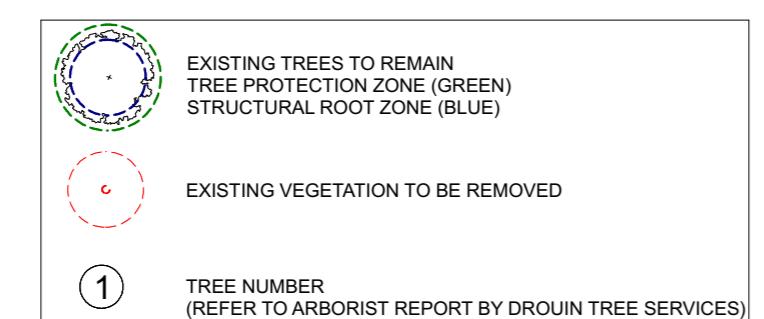
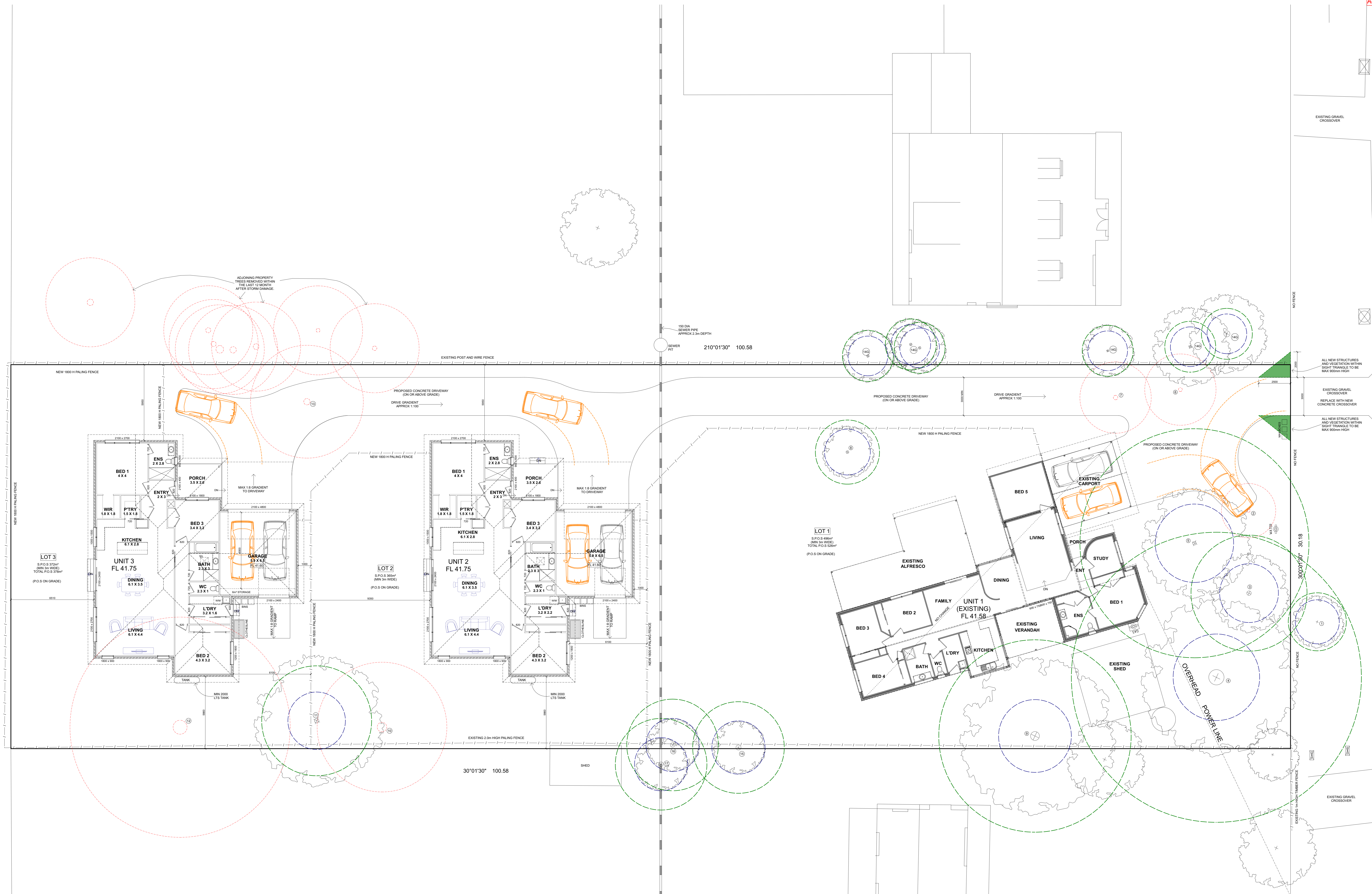
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 DATE: 09/12/2021
 SHEET 2 OF 5
 SHEET SIZE: A0
 DWG No: 21074-TP

FREEMAN LANE
(LANE WAY)

COOK ROAD



AREAS:	
SITE TOTAL:	3035m ²
UNIT 1 (EXISTING)	
HOUSE:	185m ²
CARPORT:	31m ²
PORCH:	16.5m ²
VERANDAH:	49.5m ²
SHED:	25.5m ²
TOTAL:	317.5m ²
UNIT 3 S.P.O.S = 372m ² (MIN 3.0m WIDE)	
HOUSE:	157.5m ²
CARPORT:	42.5m ²
PORCH:	8.5m ²
TOTAL:	218.5m ²
UNIT 2 S.P.O.S = 496m ² (MIN 3.0m WIDE)	
HOUSE:	240m ²
CARPORT:	36.5m ²
PORCH:	8.5m ²
TOTAL:	325m ²
UNIT 2 S.P.O.S = 450m ² (MIN 3.0m WIDE)	
HOUSE:	166.5m ²
CARPORT:	36.5m ²
PORCH:	8.5m ²
TOTAL:	213.5m ²
PERMEABLE COVERAGE	1879m ²
GARDEN AREAL:	1875m ²
	61.5%

FLOOR PLAN
1:100

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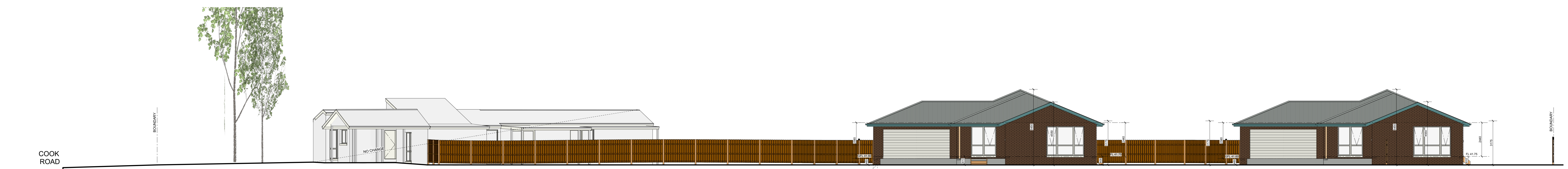
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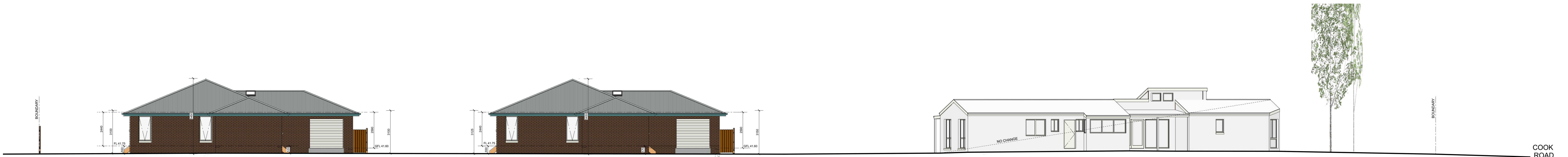
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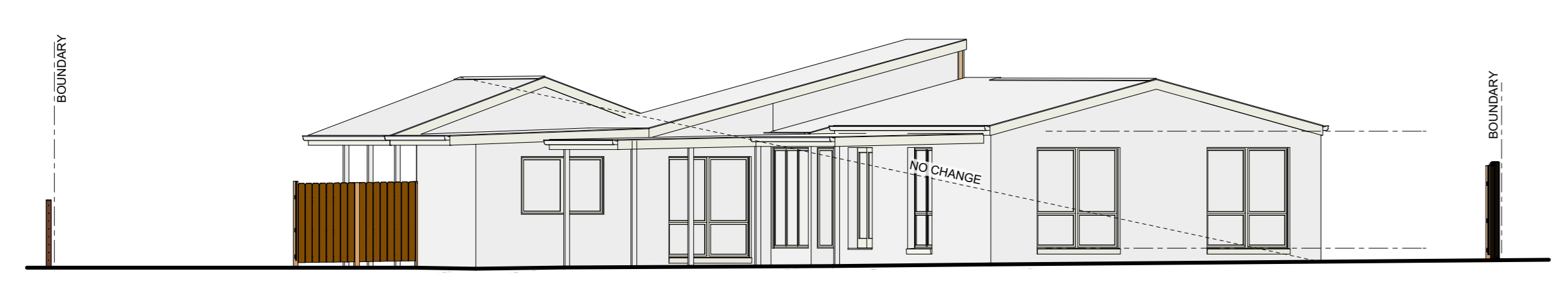
Scale: AS SHOWN
 Date: 09/12/2021
 SHEET 3 OF 5
 SHEET SIZE: A0
 DWG No: 21074-1P



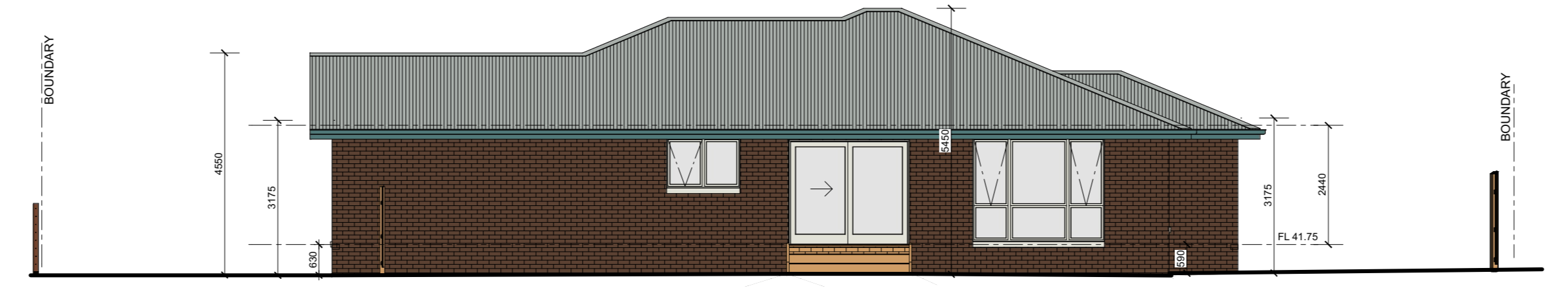
EAST ELEVATION
1:100



WEST ELEVATION
1:100



NORTH ELEVATION
1:100 (EXISTING UNIT 1)



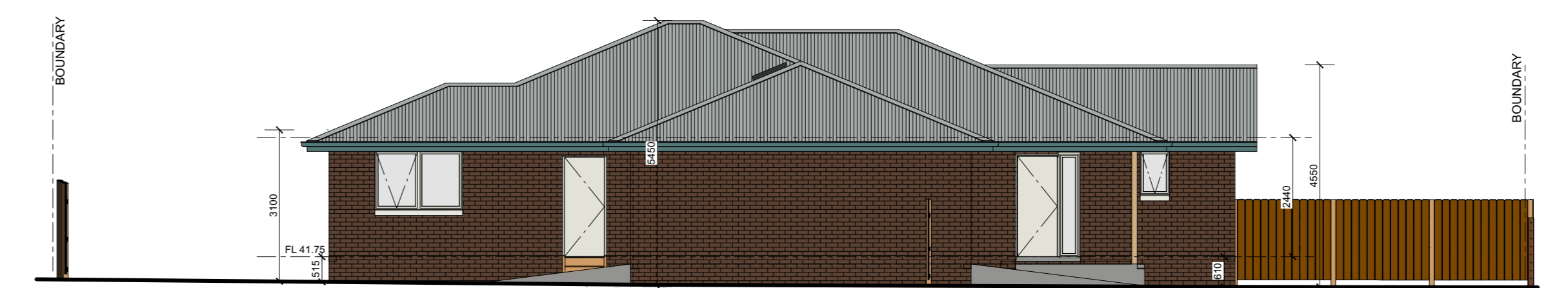
NORTH ELEVATION
1:100 (UNIT 2)



NORTH ELEVATION
1:100 (UNIT 3)



SOUTH ELEVATION
1:100 (UNIT 2)



SOUTH ELEVATION
1:100 (UNIT 3)



COOK STREET, STREET SCAPE
1:100

MATERIAL/COLOUR SCHEDULE	
ROOF:	GREY
BRICKWORK:	BROWN
TRIMS:	LIGHT GREEN
WINDOWS:	OFF WHITE
DRIVEWAY:	NATURAL CONCRETE

NOTE:
NO SITE CUTS AS PART OF DEVELOPMENT

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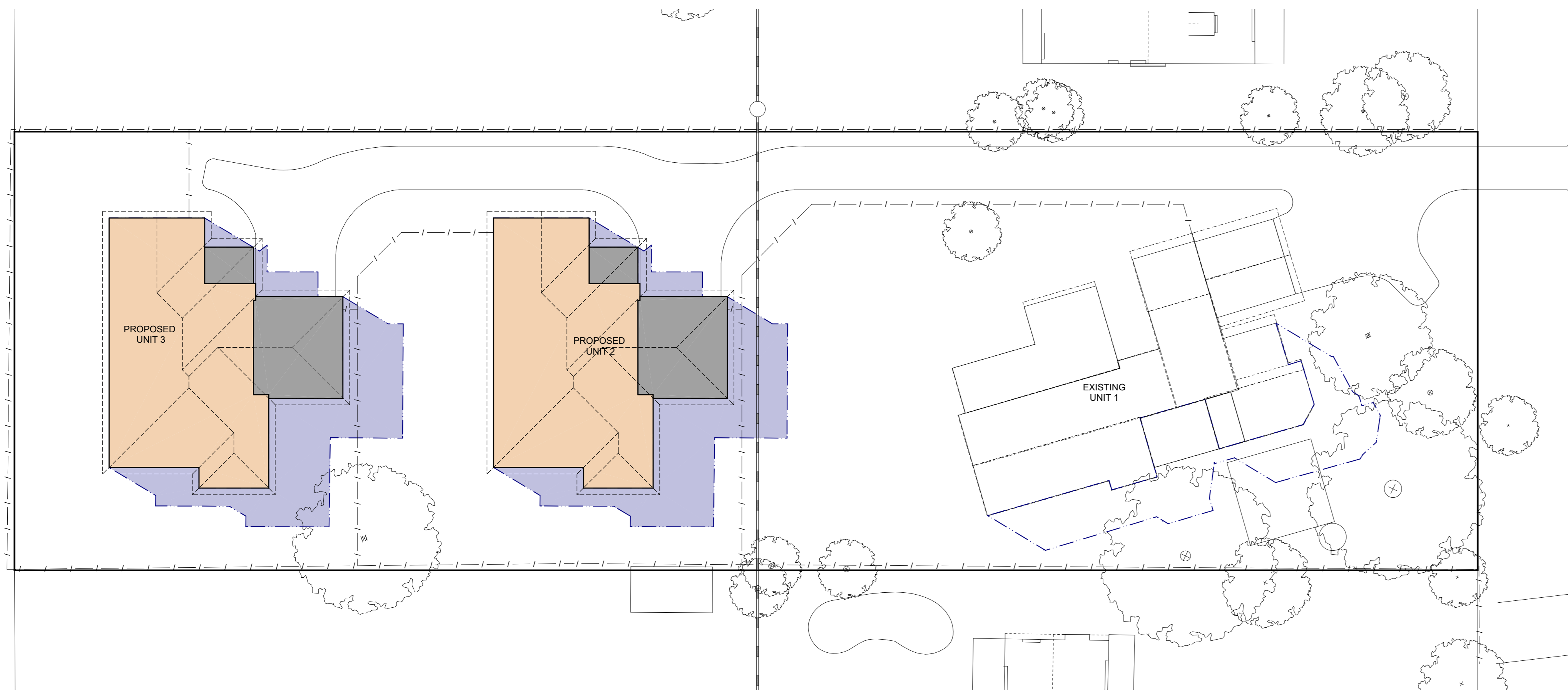
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Ag's DRAFTING SERVICE
 ANDREW BERRY
 P.O. BOX 373, PAKENHAM VIC 3810
 www.agsdrafting.com.au andrew@agsdrafting.com.au

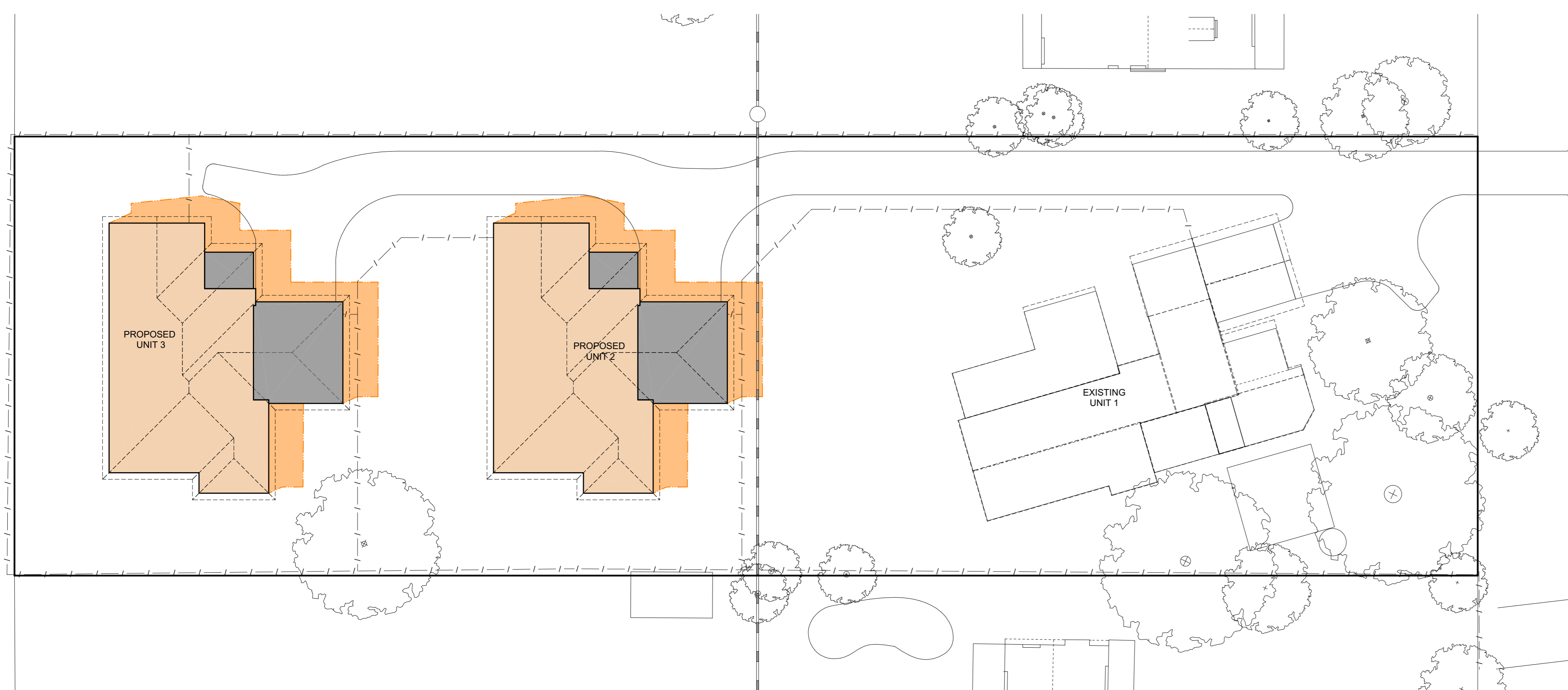
UNIT DEVELOPMENT
 JACINTA HURST
 16 COOK ROAD, LONGWARRY VIC 3816

REV.	DESCRIPTION
A.	COUNCIL RFL LETTER DATED 01/03/2022

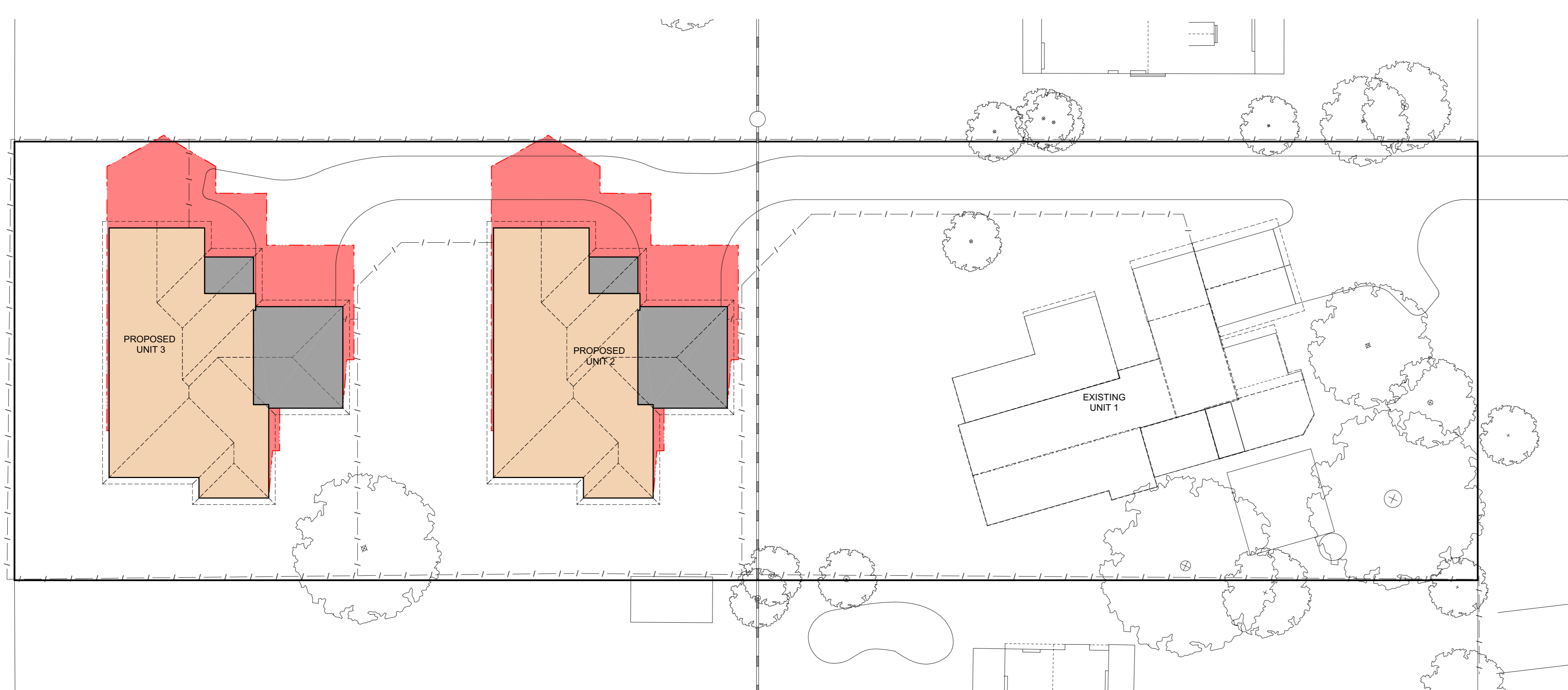
NOTE: OWNER TO ENSURE A BUILDING PERMIT IS OBTAINED (IF REQUIRED) PRIOR TO ANY WORK COMMENCING ON SITE.



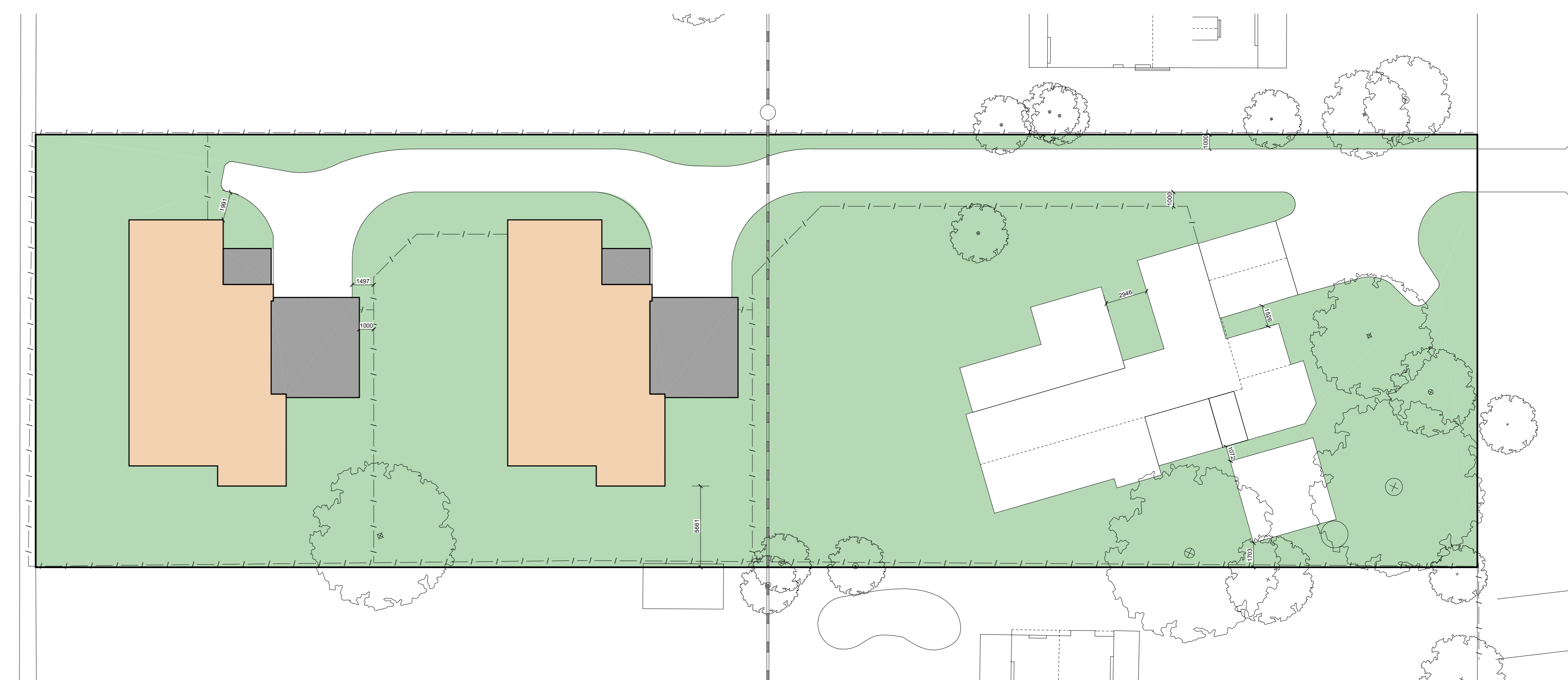
9am SHADOWS
1:200



12pm SHADOWS
1:200



3pm SHADOWS
1:200

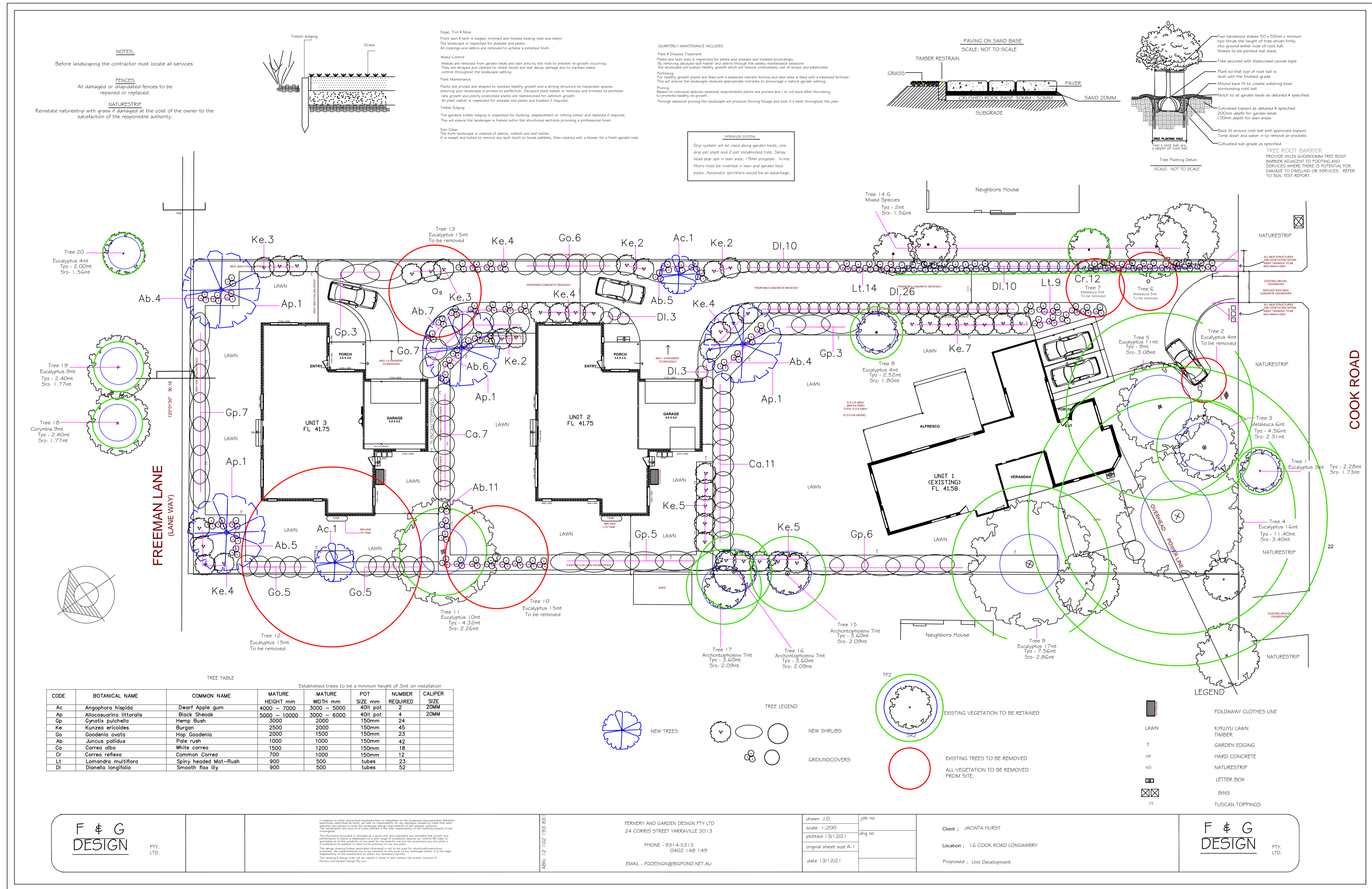


GARDEN AREA LAYOUT
1:200

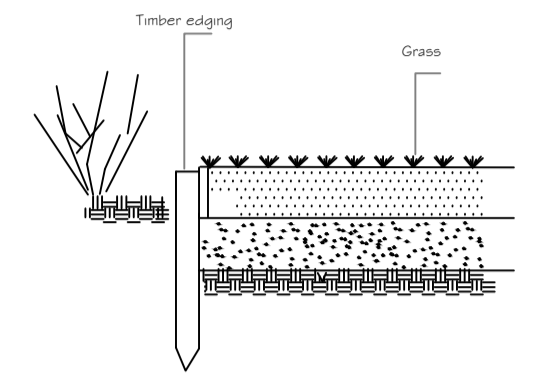
SITE AREA = 3035m²
GARDEN AREA = 1875m² = 61.5%

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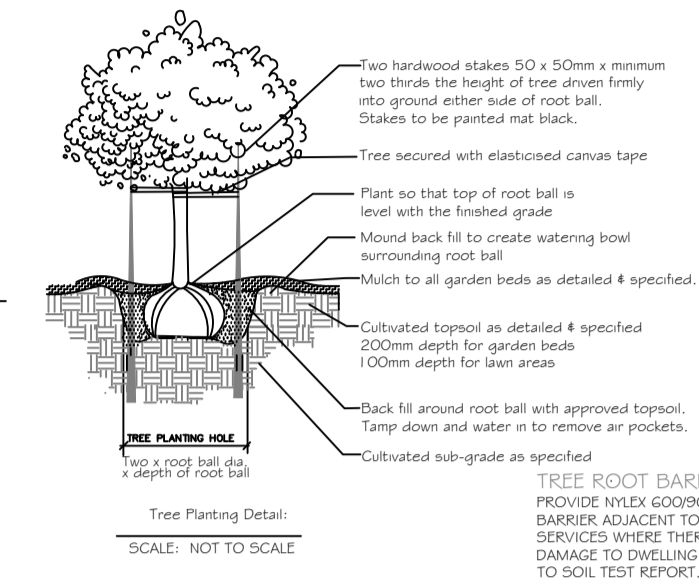
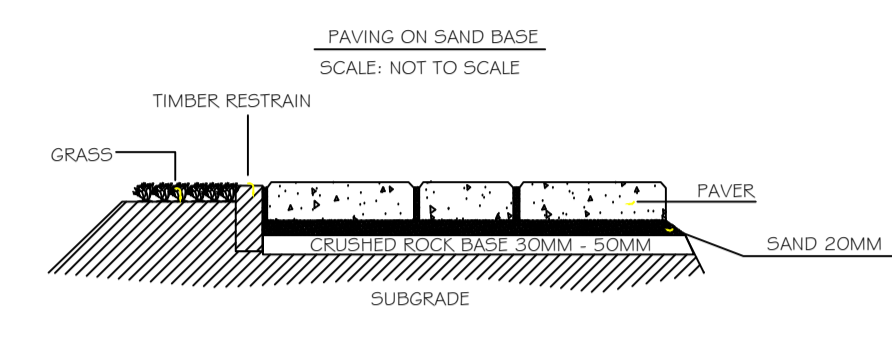
NOTES:
 Before landscaping the contractor must locate all services.
FENCES:
 All damaged or dilapidated fences to be repaired or replaced.
NATURESTRIP:
 Reinstatement naturestrip with grass if damaged at the cost of the owner to the satisfaction of the responsible authority.



Edge, Top 4 Mm
 Front lawn 4 mm x edging, trimmed and rounded locking rest and sharp.
 The landscape is expected for immediate and years.
 All clippings and debris are removed to achieve a polished finish.
Wood Control
 Plants and lawn area is inspected for weeds and treated accordingly.
 Weeds are removed from garden beds and lawn area by the root to prevent re-growth occurring.
 They are disposed and cleaned to other roads and self-sealing damage and to maintain weed control throughout the landscape setting.
Plant Maintenance
 Plants are pruned and shaped to maintain healthy growth and a strong structure to manipulate spaces ensuring your landscape is pruned to perfection. Decayed plant matter is removed and treated to promote new growth and newly installed plants are supported for optimum growth.
 All plant matter is expected for disease and pests and treated if required.
Teaser Edging
 The garden border edging is expected for locking, displacement or rotting timber and repaired if required.
 This will ensure the landscape is framed within the structural sections providing a professional finish.
Site Clean
 The final landscape is cleaned of debris, rubbish and leaf matter.
 It is swept and hosed to remove any silt, mulch or loose pebbles, then cleaned with a blower for a fresh garden look.

QUARTERLY MAINTENANCE INCLUDES
Plant & Lawn Care
 Plants and lawn area is inspected for weeds and treated accordingly.
 Weeds are removed from garden beds and lawn area by the root to prevent re-growth occurring.
 They are disposed and cleaned to other roads and self-sealing damage and to maintain weed control throughout the landscape setting.
Fertilisation
 The healthy growth plants are fed with a balanced nutrient formula and lawn area is fed with a balanced fertilizer.
 This will ensure the landscape receives appropriate nutrients to encourage a mature garden setting.
Pruning
 Based on individual species seasonal requirements plants are pruned and / or cut back after flowering to promote healthy re-growth.
 Through seasonal pruning the landscape will produce strong foliage and look it's best throughout the year.
Tree Care
 The final landscape is cleaned of debris, rubbish and leaf matter.
 It is swept and hosed to remove any silt, mulch or loose pebbles, then cleaned with a blower for a fresh garden look.

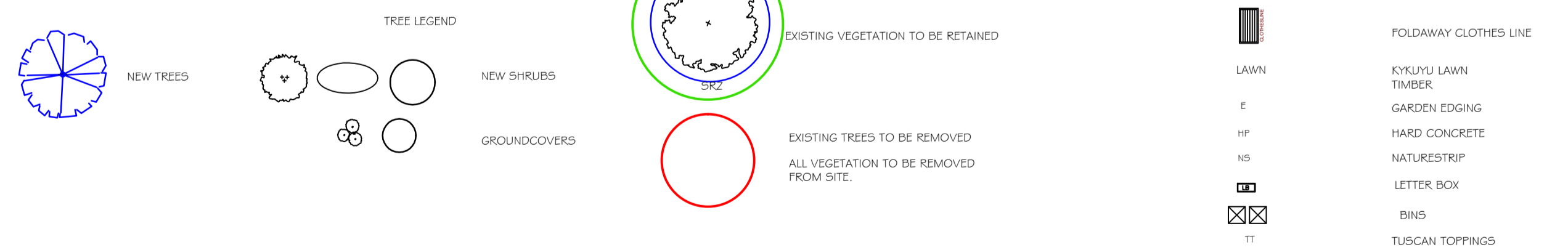
IRRIGATION SYSTEM
 Drip system will be used along garden beds, one drip per plant and 2 per established tree. Spray head pop ups in lawn area, 18mm polypipe. In-line filters must be installed in lawn and garden bed pipes. Automatic sprinklers would be an advantage.



TREE ROOT BARRIER
 PROVIDE 100% GROUNDWATER TREE ROOT BARRIER ADJACENT TO FOOTING AND SERVICES WHERE THERE IS POTENTIAL FOR DAMAGE TO DWELLING OR SERVICES. REFER TO SOIL TEST REPORT.

ESTABLISHED TREES TO BE A MINIMUM HEIGHT OF 3MT ON INSTALLATION

CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT mm	MATURE WIDTH mm	POT SIZE mm	NUMBER REQUIRED	CALIPER SIZE
Ac	Angophora hispida	Dwarf Apple gum	4000 - 7000	3000 - 5000	40lt pot	2	20MM
Ap	Allocasuarina littoralis	Black Sheoak	5000 - 10000	3000 - 5000	40lt pot	4	20MM
Gp	Gynatrix pulchella	Hemp Bush	3000	2000	150mm	24	
Ke	Kunzea ericoides	Burrag	2500	2000	150mm	45	
Go	Gardenia ovata	Hop Gardenia	2000	1500	150mm	23	
Ab	Juncus pallidus	Pole rush	1000	1000	150mm	42	
Ca	Correa alba	White Correa	1500	1200	150mm	18	
Cr	Correa reflexa	Common Correa	700	1000	150mm	12	
Lt	Lamandra multiflora	Spiry headed Mat-Rush	900	500	tubes	23	
DI	Dianella longifolia	Smooth fox lily	900	500	tubes	52	



F & G DESIGN

PTY. LTD.

ABN: 12 021 193 031

FERNEY AND GARDEN DESIGN PTY LTD
 24 CORRIE STREET YARRAVILLE 3013
 PHONE: 9314 5315
 0402 148 149
 EMAIL: FGD@F&GDESIGN.COM.AU

drawn J.D.
 scale 1:200
 plotted 13/1/2021
 original sheet size A-1
 date 13/1/2021

job no
 dfg no
 Client: JACINTA HURST
 Location: 1 G COOK ROAD LONGWARRY
 Proposed: Unit Development

F & G DESIGN

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