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Proposed C143bawb

SCHEDULE 2 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO2**

DROUIN TOWN CENTRE

1.0

Design objectives

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Proposed C143bawb

To encourage a vibrant and walkable town centre with a variety of architectural styles that complement the existing historic fine grain pattern of development.

To ensure a high-quality public realm where new development and ground floor enhancement reinforces community cohesion through bustling laneways and treelined frontages incorporated wherever possible.

To promote active frontages to streets, laneways and public spaces.

To support a new mid-rise built form character for the Drouin Town Centre to ensure consistency with the *Drouin Township Plan 2020-2036*.

To encourage simplified and unobtrusive signs that complement the character of the activity centre.

2.0

Buildings and works

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Proposed C143bawb

A permit is required to construct a building or construct or carry out works.

This does not apply to:

- The installation of an automatic teller machine.
- An alteration to an existing building façade provided:
 - The alteration does not include the installation of an external roller shutter.
 - At least 80 per cent of the building façade at ground level is maintained as an entry or window with clear glazing.
- An awning that projects over a road if it is authorised by the relevant public land manager.

The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

Building height and setbacks

- Development should not exceed the building heights shown on Plan 1 to this clause.
- Provide a transitional building scale at the interface with residential zoned land or heritage places.
- Encourage higher scale development within the core of the commercial area.
- Provide zero lot setbacks to the front and side of buildings on properties as shown on Plan 1 to this clause to a height of 12m.
- Set the upper floors of buildings back a minimum of 3m from street frontages for the portion of the building above 12.0m.

Building form and design

- Ensure development activates street frontages in accordance with Plan 1 of this Clause. Activation to Commercial Place should be encouraged as appropriate to individual business requirements.
- Building façades should be composed with an appropriate scale, rhythm and proportion that responds to the building's use and the character of the surrounding area.
- Maximise the development potential of sloping sites through split level development, minimizing cut/fill.

- Conceal plant and rooftop equipment from the surrounding street views through measures such as including them within the roof form or behind a feature parapet street wall.
- Bin enclosures and other storage should be located at the rear of buildings and screened from view to ensure a tidy presentation onto streets, pedestrian areas, laneways and public parking areas.
- Maintain the existing ‘fine grain’ appearance of buildings within the core retail areas which is created by the width of individual shopfronts.
- Encourage development on the east side of Hope Street to provide through access to the car park and extended pedestrian walkways to the rear.

Active frontages

- All buildings with active street frontages to provide a minimum 80% active façade.
- Pedestrian entries into buildings should promote safety for building users, provide adequate weather protection and should be clearly visible, , well lit and directly face the street or adjoining public space.
- All upper floors facing Young Street should focus views to Civic Park to the north. Residential floors should have northern facing balconies and living areas.

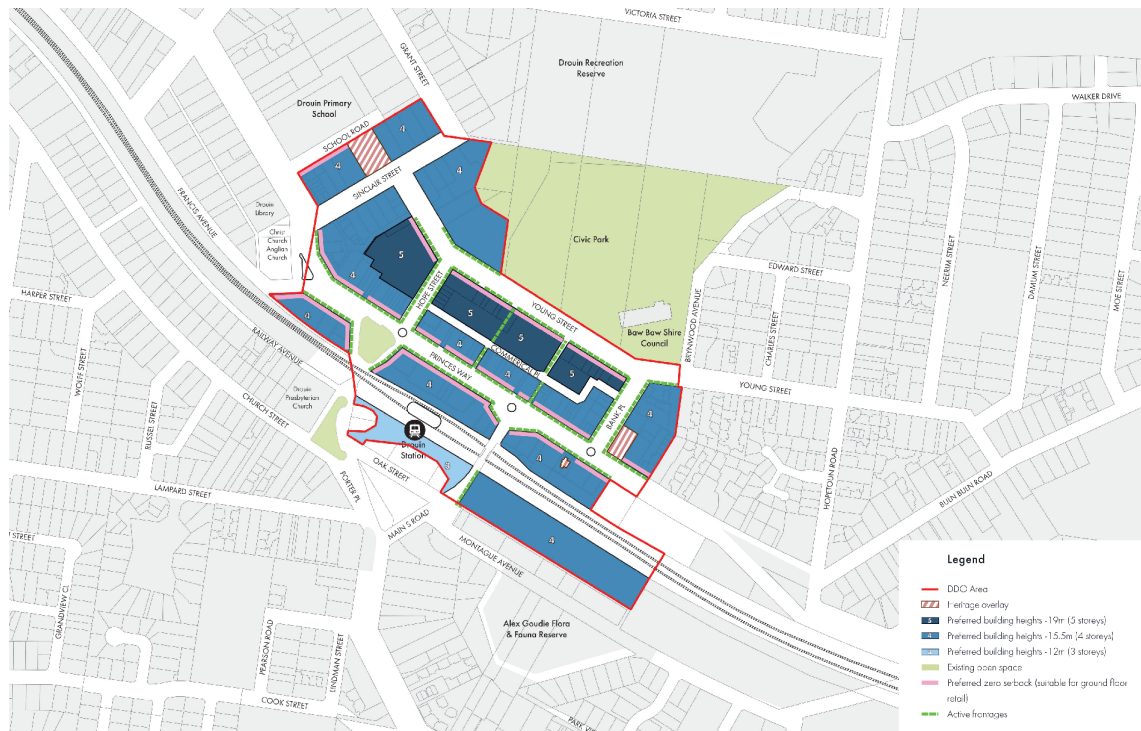
Vehicle access and parking

- Minimise the number of vehicle crossovers and where possible provide access from laneways or secondary street frontages.
- Locate on-site parking for vehicles to have a minimal visual impact on the streetscape and adjoining public spaces.
- All parking areas, including entry and exit points, should be well lit and clearly identified with signage.
- For multi-storey buildings with basement parking, vehicle access points should be separate from pedestrian access points.
- Views of vehicles on upper storeys should be screened from public spaces.
- Where multi-deck car parking buildings are located on retail streets, screen the car park with ground level shop fronts or other effective screening treatments.
- Loading facilities should be located away from active frontages as shown on Plan 1 and screened from public spaces.

Landscaping

- New development to be well landscaped to complement the landscape treatments of adjoining streets and public spaces.

Plan 1 – Built Form Heights and Active Frontages



Exemption from notice and review

An application for construction of a building or to construct or carry out works is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Act.

3.0

Proposed C143bawb

Subdivision

None specified.

4.0

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Signs

Sign requirements are at Clause 52.05. All land located within the Commercial 1 Zone is in Category 1.

In addition to the requirements at Clause 52.05, advertising signs should:

- Be of a size and height that is complementary to the built form of the building and surrounding landscape, and not detract from public view lines.
- Be located within parapet silhouettes and architectural features so as not to visually dominate the building.
- Be limited in number and incorporate limited detail other than is necessary to identify the building name and key tenants.
- Be consolidated in mixed use and commercial developments to avoid the visual clutter of signage and displays.

5.0

Proposed C143bawb

Application requirements

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A report detailing how the proposed development responds to the design objectives of this schedule.
- Three dimensional diagrams or visualisation showing the proposed building in the context of the surrounding activity centre buildings.

6.0

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Proposed C143bawb

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- For any application seeking to vary the preferred maximum building height:
 - Whether the design minimises the visibility/visual intrusion of additional levels above the preferred building height.
 - Whether the development comprises significant economic and residential benefit to Drouin such as providing a mixed use of small/medium format commercial, food and drink premises and a variety of apartment sizes.
- Whether any variations to providing zero lot setbacks (where required) will increase the active frontage and engagement with the public realm including through the provision of landscaping, outdoor furniture and the like.