

Application to Amend a Planning Permit S72

This form is only for an application under Section 72 of the Planning and Environment Act 1987

Section 1: PERMIT DETAILS

Planning Application No:	AMD0002/18
Address:	84 <u>Petschack</u> Road, Jindivick

Section 2: PERMIT APPLICANT

Name:	Charmaine Bagot		
Business:			
Postal Address:	P.O. Box 4142		
	Jindivick	Postcode:	3818
Telephone No. (H)	(W)	(M)	0407827923
Email Address:	<u>charmmy.b@icloud.com</u>		

Section 3: OWNER DETAILS (if different to the Applicant)

Name(s):	Charmaine and Chris Bagot		
Postal Address:	As Above		
		Postcode:	
Telephone No. (H)	(W)	(M)	
Email Address:			

Section 4: LAND DETAILS (Please complete either A or B - this information can be found on the Certificate of Title)

Option A:

Lot No:	Lot 2
Type of Plan: Please tick ✓	Lodge Plan <input checked="" type="checkbox"/> Title Plan <input type="checkbox"/> Plan of Subdivision <input type="checkbox"/>
Plan Number:	PLA0108/17

Option B:

Crown Allotment Number:	
Section Number:	
Parish/Township Name:	

Section 5: AMENDMENT DETAILS

You must give full details of the amendment being applied for. Insufficient or unclear information will delay your application. Please indicate the type of changes proposed to the proposed changes.

This application seeks to amend:

What the permit allows	<input type="checkbox"/>	Plans endorsed under
------------------------	--------------------------	----------------------

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Current conditions of the permit <input type="checkbox"/>	Other documents endorsed under the permit <input checked="" type="checkbox"/>
Does the amendment proposal breach, in anyway, a registered covenant, Section 173 agreement or restriction on Title?	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Not Applicable (no such covenant, section 173 agreement or restriction applies)	
If yes, you should contact Council for advice as to how to proceed with the application.	

Please provide details of the amendment: Provide plans clearly identifying all proposed changes to the endorsed plans, together with; any information required by the planning scheme, requested by Council or outlined in a Council checklist; and if required, include a description of the likely effect of the proposal.

We are hoping to change the position of the dwelling to be further up the hill. Please see attached plans.

Section 6: DEVELOPMENT COST

State the estimated total cost of the proposed development, including amendment.	Unchanged from initial application <input checked="" type="checkbox"/> Or Additional costs proposed through this amendment \$
Does the amendment proposal introduce any additional Permit Triggers? (eg: creation of easement, parking reduction) If yes, an additional application fee may be required.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Section 7: EXISTING CONDITIONS Provide a plan of the existing conditions if the conditions have changed since the time of the original permit application. Photos are also helpful.

Have the conditions of the land changed since the time of the original permit application?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, please provide details of the existing conditions:	

Section 8: DECLARATION This form must be signed. Complete box A or B

A. I declare that I am the Applicant and all information given is true and correct.	Applicant signature: Charmaine Bagot	Date: 02/09/2020
	B. I/We the Applicant declare that I/We have notified the owner about this application and that all information given is true and correct.	

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CHECK LIST Please ensure you have included the following items with your application form. Failure to provide all the information above may result in a delay in the processing of the application.

- A fully completed and **signed** copy of this form.
- The application fee (if not already paid). Most applications require a fee to be paid.
Contact Council to determine the appropriate fee.
- All necessary supporting information and documents - Including Endorsed Plans if applicable
- Full and current copy of title (no older than 60 days) for each individual parcel of land forming the subject site.

PLEASE FORWARD THIS APPLICATION TO

E-mail:	planning@bawbawshire.vic.gov.au	Mail:	Planning Department, Baw Baw Shire Council PO Box 304 Warragul VIC 3820
Phone:	5624 2411		
In Person:	Customer Service Centres 1 Civic Place Warragul OR 33 Young Street Drouin		

The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application.

These third parties generally include, but are not limited to:

- Transport Infrastructure Agencies such as VicRoads and VLine
- Energy/Utilities Providers
- Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

All information collected and held by Council is managed in accordance with Council's privacy policy which is available on our website. If you choose not to supply the requested information, it may impair the ability of Council to consider your application or prevent Council from communicating with you in relation to your application.

If you have any concerns or require access to the information held by Council, please contact us on 5624 2411.

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General Notes for Residential Works

General Notes (NCC 2016 BCA Vol 2)

- All materials and work practices shall comply with, but not limited to the Building Regulations 2018, National Construction Code Series 2016 Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein.
- Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2016 Building Code of Australia Volume 2.
- All materials and construction practice shall meet the Performance Requirements of the BCA. Where a performance solution is proposed then, prior to implementation or installation, it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the BCA.
- Glazing, including safety glazing, shall be installed to a size, type and thickness so as to comply with:
 - BCA Part 3.6 for Class 1 and 10 Buildings within a design wind speed of not more than N3; and
 - BCA Vol 1 Part B1.4 for Class 2 and 9 Buildings.
- Waterproofing of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS 3740-2010: *Waterproofing of Domestic Wet Areas*.
- These Drawings shall be read in conjunction with any House Energy Rating (HERS) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alteration.
- Step sizes (other than for spiral stairs) to be:
 - Risers (R) 190mm maximum and 115mm minimum
 - Going (G) 355mm maximum and 240mm minimum
 - 2R + 1G = 700mm maximum and 550mm minimum
 - with less than 125mm gap between open treads.
- All treads, landings and the like to have a slip-resistance classification of P3 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip-resistance classification of P3 for dry surface conditions and P4 for wet surface conditions.
- Provide barriers where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Barriers (other than tensioned wire barriers) to be:
 - 1000mm min. above finished surface level of balconies, landings or the like, and
 - 865mm min. above finished surface level of stair nosing or ramp, and
 - vertical with less than 125mm gap between, and
 - any horizontal element within the barrier between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/or treads.
- Wire barrier construction to comply with NCC 2016 BCA Part 3.9.2.3 for Class 1 and 10 Buildings and NCC 2016 BCA Volume 1 Part D2.16 for other Classes of Buildings.
- Top of hand rails to be minimum 865mm vertically above stair nosing and floor surface of ramps.
- Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around.

Where the building (excludes a detached Class 10) is located in a termite prone area the building is to be provided with a termite management system.

- Concrete stumps:
 - up to 1400mm long to be 100mm x 100mm (1 No. H.D. Wire)
 - 1401mm to 1800mm long to be 100mm x 100mm (2 No. H.D. Wires)
 - 1801mm to 3000mm long to be 125mm x 125mm (2 No. H.D. Wires)
 - 100mm x 100mm stumps exceeding 1200mm above ground level to be braced where no perimeter base brickwork provided.
- Buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of Table 4.1 of AS 4773.1-2010 'Masonry in small buildings' Part 1: Design.
- All stormwater to be taken to the legal point of discharge to the Relevant Authorities approval.
- These drawings shall be read in conjunction with all relevant structural and all other consultants' drawings/ details and with any other written instructions issued in the course of the contract.
- Site plan measurements in metres - all other measurements in millimetres unless noted otherwise.
- Figured dimensions take precedence over scaled dimensions.
- The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.
- The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.
- Installation of all services shall comply with the respective supply authority requirements.
- The Builder and Subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/ or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.
- These plans have been prepared for the exclusive use by the Client of Buildingdesigned ('The Designer') for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.
- A building Permit is required prior to the commencement of these works. The release of these documents is conditional to the Owner obtaining the required Building Permit.
- The Client and/or the Client's Builder shall not modify or amend the plans without the knowledge and consent of Buildingdesigned except where a Registered Building Surveyor makes minor necessary changes to facilitate the Building Permit application and that such changes are promptly reported back to Buildingdesigned.
- The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. All variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing any variation.
- (soil classification relocated)

STORMWATER

- 100mm DIA. Class 6 UPVC stormwater line laid to a minimum grade of 1:100 and connected to the legal point of stormwater discharge. Provide inspection openings at 9000mm C/C and at each change of direction. The cover to underground stormwater drains shall be not less than
 - 100mm under soil
 - 50mm under paved or concrete areas
 - 100mm under unreinforced concrete or paved driveways
 - 75mm under reinforced concrete driveways

SITE ENVIRONMENT DESIGN INFORMATION

Site Bushfire Attack Assessment (simplified method)

- Reference document 'AS 3959-2009 construction of buildings in bush fire prone areas'
- Relevant Fire Danger Index (FDI)- TBC
- Predominate vegetation:-
 - Classification- TBC
 - Type- TBC
 - Distance of site from predominate vegetation- TBC
 - Effective slope of land- TBC
 - Determination of Bushfire Attack Level (BAL)- TBC

Site Classification

- Site classification as Class: TBC
- Refer to soil report No: TBC
- By: TBC

Design Gust Wind Speed / Wind Classification

- Building tie-downs to be provided in accordance with AS1684-2010 for an assumed design gust wind speed / wind classification of TBC (subject to confirmation on site by Relevant Building Surveyor at first inspection) refer to AS1684 for construction requirements.

Climate Zone

- Climate zone for thermal design / thermal performance assessment : Zone 7.

Corrosion protection of built-in structural members

- Provide corrosion protection of built-in structural steel members such as steel lintels, shelf angles, connectors, accessories (other than wall ties) in accordance with Table 4.1 of AS4773.1-2010 *Masonry in Small Buildings, Part 1: Design* suitable for an Environment Classification of LOW

Corrosion protection for sheet roofing

- Provide corrosion protection for sheet roofing in accordance with BCA Table 3.5.1.1a suitable for an Environment Classification of LOW.

Property Report
Address: 84 PETSCHACK ROAD JINDIVICK 3818
Lot / Plan: Lot 1 PS818225
SPI (Standard Parcel Identifier): 1PS818225
Local Government (Council): BAW BAW Council Property Number: 32255
Directory Reference: VicRoads 96 G2

This property is in a designated bushfire prone area.

Parcel Details

Lot/Plan or Crown Description SPI
Lot 1 PS818225 1PS818225
State Electorates
Legislative Council: EASTERN VICTORIA
Legislative Assembly: NARRACAN

Utilities


Rural Water Corporation: Southern Rural Water
Melbourne Water Retailer: South East Water
Melbourne Water: inside drainage boundary
Power Distributor: AUSNET

Planning Zone Summary

Planning Zone: FARMING ZONE (FZ)
SCHEDULE TO THE FARMING ZONE (FZ)
Planning Overlay: DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY (DCPO)
DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY - SCHEDULE 1 (DCPO1)

Sheet Index				
ID	Layout Name	Revision	Published	Remark
PD-1	General Notes		<input checked="" type="checkbox"/>	
PD-2	Site Plan		<input checked="" type="checkbox"/>	
PD-3	Floor Plan		<input checked="" type="checkbox"/>	
PD-4	Roof Plan		<input type="checkbox"/>	
PD-5	Elevations		<input checked="" type="checkbox"/>	
PD-6	Schedules		<input checked="" type="checkbox"/>	
PD-7	Sections		<input type="checkbox"/>	
PD-8	Sections		<input type="checkbox"/>	
PD-9	Sections		<input type="checkbox"/>	
PD-10	Slab Plan		<input type="checkbox"/>	
PD-11	Electrical Layout		<input checked="" type="checkbox"/>	
PD-12	Floor Coverings		<input checked="" type="checkbox"/>	
PD-13	Internals		<input checked="" type="checkbox"/>	
PD-14	Internals		<input checked="" type="checkbox"/>	
PD-15	Perspectives		<input checked="" type="checkbox"/>	

Advertised



CUSTOM

Tyrrell Constructions Pty Ltd CDB-U 54497
Trading as G.J. Gardner Homes Warragul
2/131 North Rd, Warragul, Vic 3820

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54 QUEEN STREET WARRAGUL
email: info@buildingdesigned.com.au
mob: 0488 142 227
DP-AD 28770

CLIENT: Chris & Charmaine Bagot

DRAWING TITLE: Preliminary Design

SCALE: as noted @ A3

PROJECT: Proposed New Residence

84 PETSCHACK ROAD JINDIVICK

DRAWING:	SHEET SIZE:	AREA SUMMARY	
PD-1/15	A2	AREA	SQM
GJG9320/GJ370106		01 Living Area	307.70
DRAWN: GP		02 Garage Area	56.26
PLOT: 2/09/2020		03 Porch Area	9.58
DATE: DATE		04 Carport Area	54.73
		05 V'dah Area	3.54
		06 Pergola 1 Area	12.15
		07 Pergola 2 Area	12.30
			456.26 m²

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED MADE AFTER THE PERMIT APPLICATION PROCESS AS SET OUT IN THE PART OF THE VARIATION BY LAWS Act 1987, AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

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ENGINEER & BUILDER ADVICE

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS, ENGINEERS DESIGNS, COMPUTATIONS AND GEOTECHNICAL REPORTS.

WRITTEN SPECIFICATION TAKE PRECEDENCE OVER THESE DRAWINGS.

LOCAL AUTHORITIES TO ADVISE REQUIREMENTS FOR LOCATION OF LPOD

SEWER POINT LOCATION

AUTHORITIES ASSET LOCATIONS

SNOW LOAD REQUIREMENTS

FLOOD INUNDATION

BUSHFIRE PROTECTION

TERMITE TREATMENT

WIND SPEED

CALL 1100 DIAL BEFORE YOU DIG

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1

ALL STRUCTURAL MEMBERS INCLUDING BEAMS, LINTELS, BRACING AND TIE DOWNS AS PER ENGINEERS DESIGN

THE SITE CUT INDICATED IS APPROXIMATE ONLY. THE BUILDER SHALL ASSESS AND ADJUST THE CUTS AS NECESSARY TO ACCOMMODATE CONSTRUCTION VARIABLES SUCH AS:

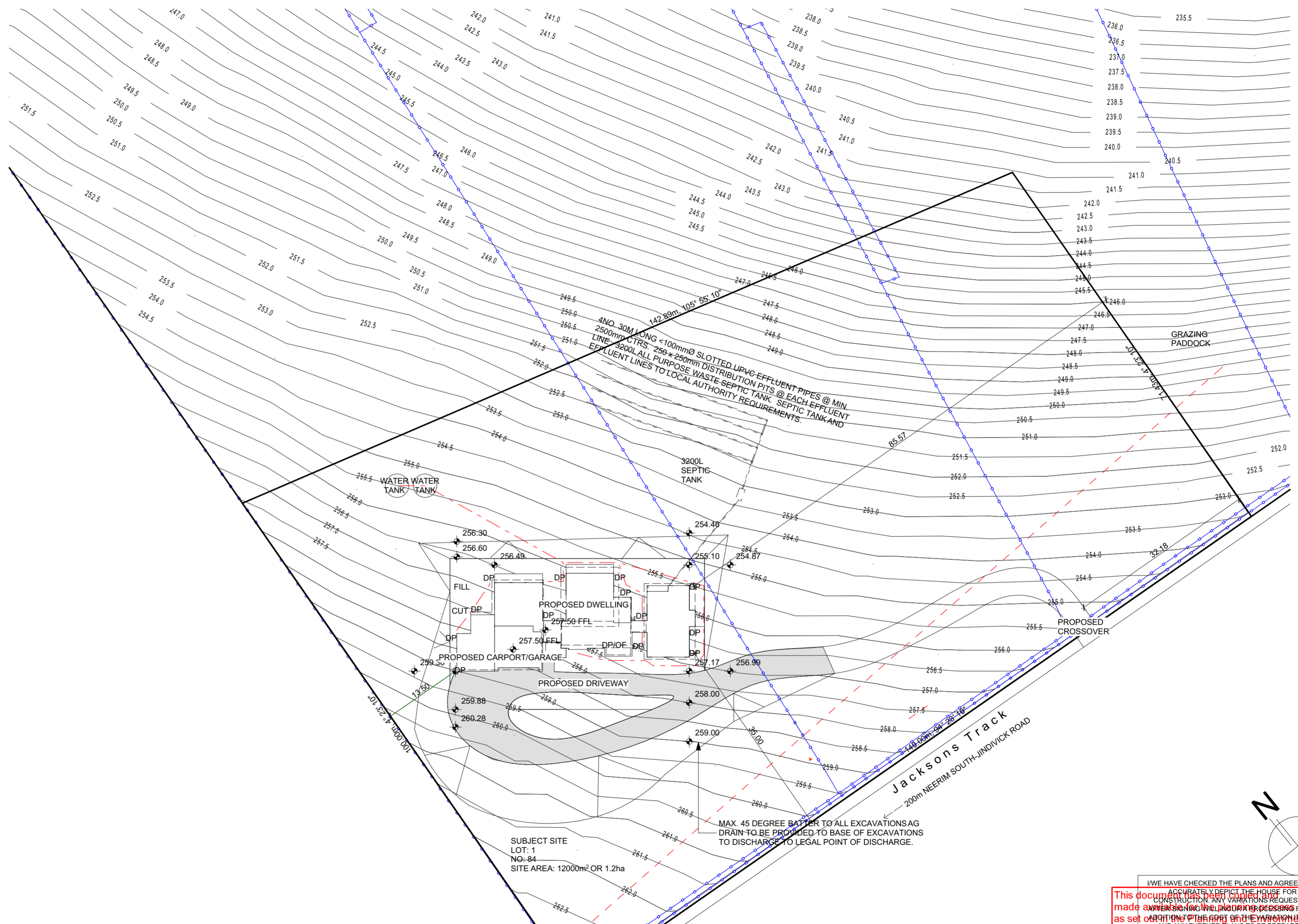
- SITE DRAINAGE
- SLAB FORMING/BOXING SYSTEM
- TERMITE TREATMENT/CONTROL SYSTEM
- PROPOSED LANDSCAPE FEATURES INCLUDING FINISHED LEVELS, BACKFILLING, PAVEMENT DEPTHS, CROSS FALLS FOR DRAINAGE ETC...

SITE CUTS SHOULD ALLOW FOR 100mm TOP SOIL BACK FILL TO LANDSCAPE AREAS UNLESS NOTED OTHERWISE. HOWEVER, CUTS ARE TO BE MINIMISED TO LIMIT THE NEED FOR EXCESSIVE BACKFILL.

ON SITES WHERE LANDSCAPED AREAS REQUIRE IN EXCESS OF 100mm BACK FILL CLEAN EXCAVATED MATERIAL MAY BE USED IN 150mm COMPACTED LAYERS TO WITHIN 100mm OF F.G.L

BACKFILL UNDER SLABS SHALL BE TO ENGINEER DESIGN/DETAILS.

ALL SITE CUTS ARE TO HAVE CROSS FALL TO PROVIDE POSITIVE DRAINAGE. THE TOE OF EVERY CUT BATTER TO BE PROVIDED WITH 90mm uPVC SLOTTED AGGI DRAIN CONNECTED TO STORMWATER SYSTEM VIA A SILT PIT.



Site Plan
SCALE 1:500

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G.J. Gardner. HOMES

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CLIENT:
Chris & Charmaine Bagot

DRAWING TITLE:
Preliminary Design

SCALE:
as noted @ A3

PROJECT: Proposed New Residence
84 PETSCHACK ROAD JINDIVICK

DRAWING: SHEET SIZE:
PD-2/15 A2

GJG9320/GJ370106

DRAWN: GP
PLOT: 2/09/2020

DATE: DATE

AREA SUMMARY		
AREA	SQM	
01 Living Area	307.70	
02 Garage Area	56.26	
03 Porch Area	9.58	
04 Carport Area	54.73	
05 V'dah Area	3.54	
06 Pergola 1 Area	12.15	
07 Pergola 2 Area	12.30	
TOTAL	456.26 m²	

IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED MADE BY THE BUILDER ARE AT THEIR OWN RISK AS SET OUT IN THE TERMS OF THE VARIATION TERMS AND ANY FURTHER PLANS TO BE PREPARED.

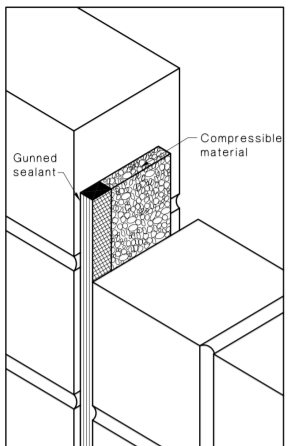
By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Page 5 of 19

OWNER SIGNED: _____ DATE: _____
OWNER SIGNED: _____ DATE: _____
BUILDER SIGNED: _____ DATE: _____

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1

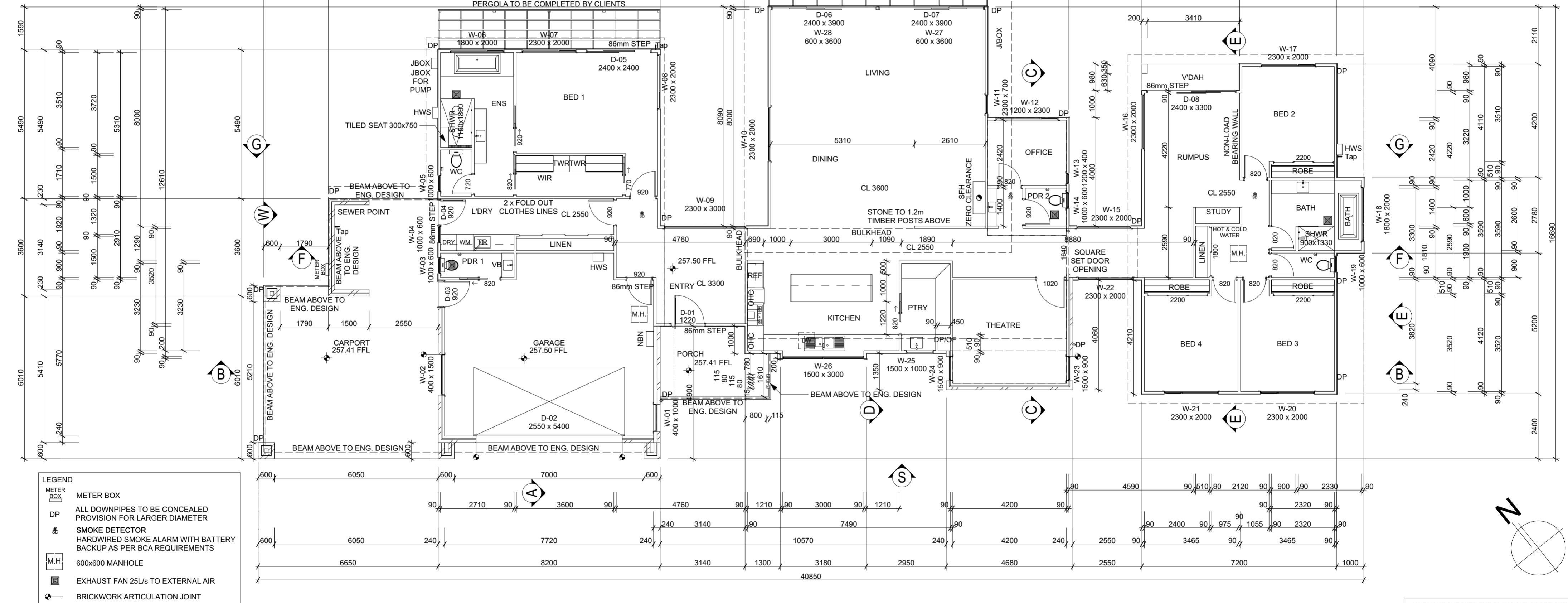
ALL STRUCTURAL MEMBERS INCLUDING BEAMS, LINTELS, BRACING AND TIE DOWNS AS PER ENGINEERS DESIGN



Residential Sustainability Measures Both the DTS and the Verification Method require that new Class 1 buildings also require a solar water heater system (which may include a heat pump water heater system) installed in accordance with the Plumbing Regulations 2008 or a rainwater tank receiving rainfall from a minimum catchment area of 50 square metres and having a minimum capacity of 2000 litres connected to all toilets in the building for the purpose of sanitary flushing.

WC HINGED DOOR TO HAVE REMOVABLE HINGES Smoke alarms must be located in accordance with NCC VOL. 2 3.7.2.3 and comply with AS 3786 and connected to the consumer mains power where consumer power is supplied to the building and interconnected where there is more than one alarm.

AS 3700 12.6.4.2 Articulation joints Articulation joints shall be provided in unreinforced masonry except where the slabs and footings have been designed in accordance with AS 2870 for non-articulated masonry. The width of articulation joints shall be not less than 10 mm for masonry up to 3 m in height and not less than 15 mm for masonry up to 6 m in height. When articulation joints are required, they shall be sealed to prevent moisture penetration and spaced at centres not exceeding the value given in Table 12.14. Articulation joints shall be placed at a distance from all corners not less than 0.5 m and not greater than 3.0 m



LEGEND table with symbols for Meter Box, Downpipes, Smoke Detectors, Manholes, Exhaust Fans, and Brickwork Articulation Joints.

Proposed Floor Plan SCALE 1:100

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AS SET OUT IN THE REPORT OF THE VARIATION WORKS AND ANY FURTHER PLANS TO BE PREPARED. Includes owner and builder signatures and dates.

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G.J. Gardner HOMES logo and contact information for Tyrrell Constructions Pty Ltd.

CUSTOM building designed logo and contact information for 54 Queen Street Warragul.

CLIENT: Chris & Charmaine Bagot DRAWING TITLE: Preliminary Design

PROJECT: Proposed New Residence 84 PETSCHACK ROAD JINDIVICK

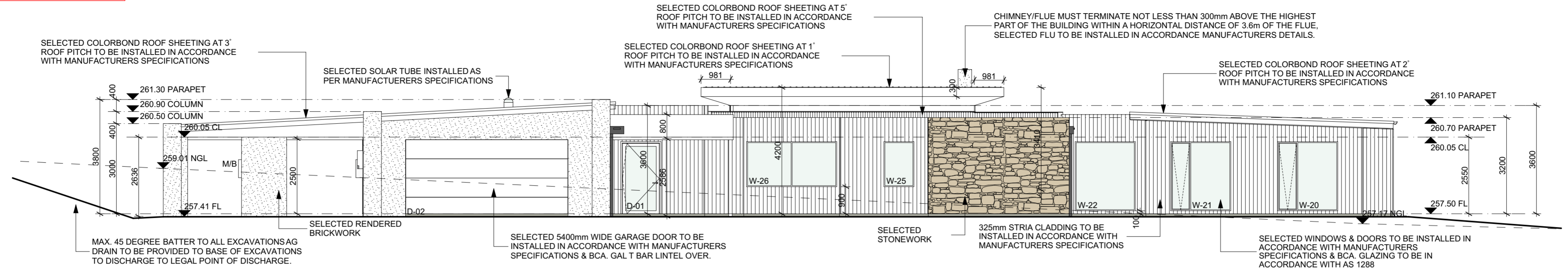
AREA SUMMARY table with columns for Area, SQM, and SQM. Rows include Living Area, Garage Area, Porch Area, Carport Area, V'dah Area, Pergola 1 Area, and Pergola 2 Area.

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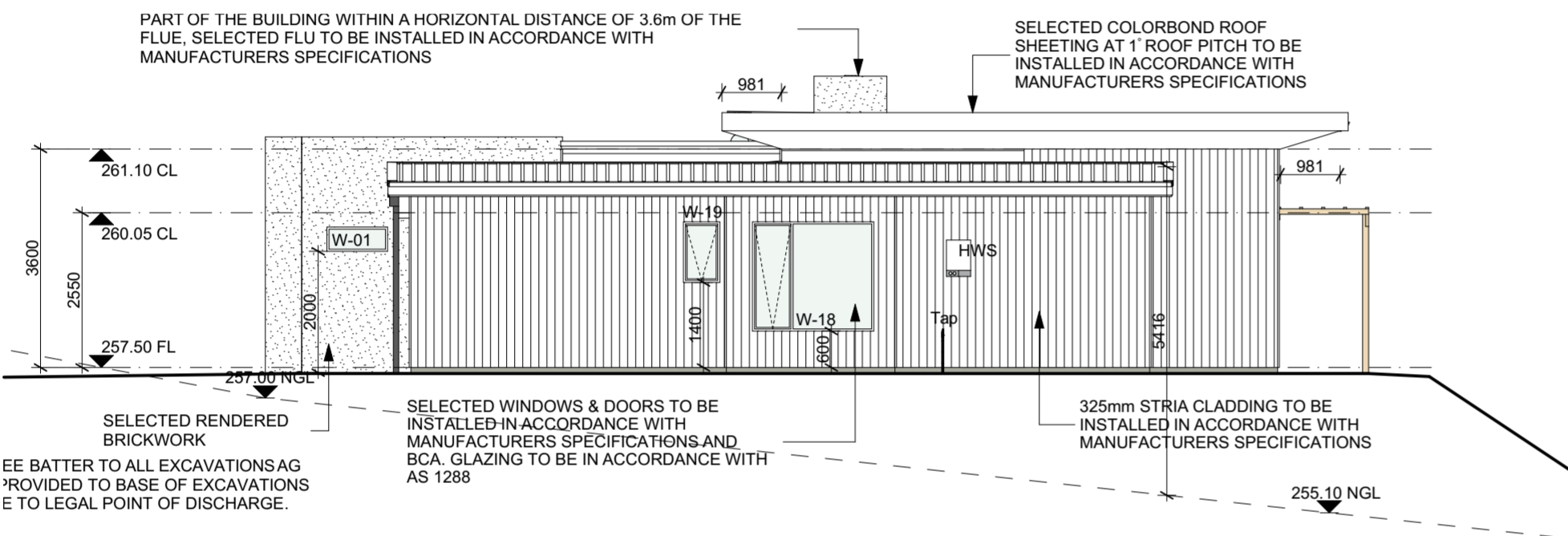
PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1

ALL STRUCTURAL MEMBERS INCLUDING BEAMS, LINTELS, BRACING AND TIE DOWNS AS PER ENGINEERS DESIGN

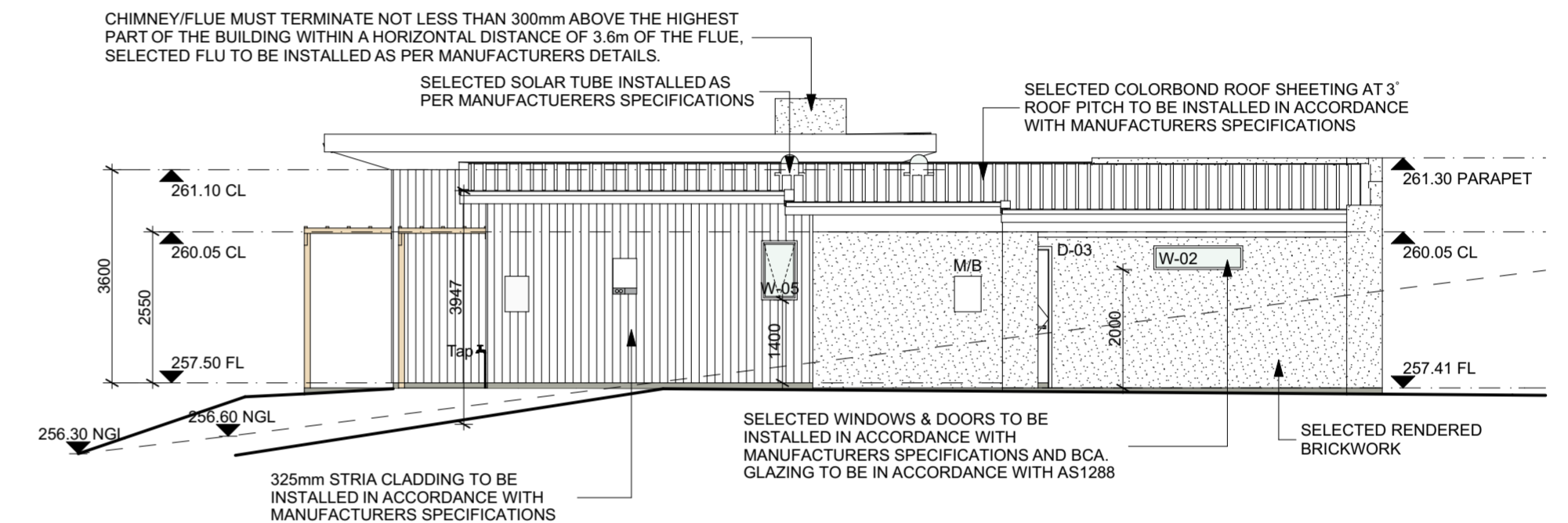
Axon 133mm Clad	243.78	Wall Area sqm Brick Veneer Stone Clad	29.47	Double Brick	90.89	FC Clad	13.49
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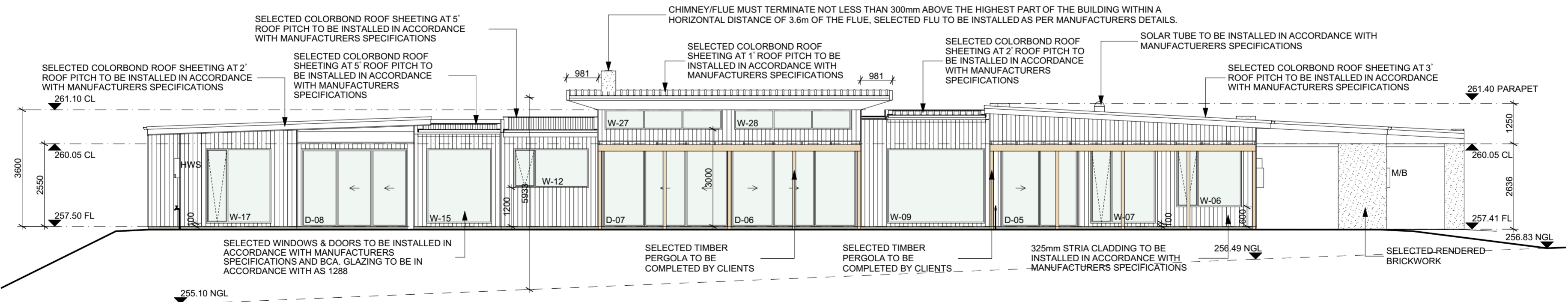
South Elevation
PD-3 SCALE 1:100



East Elevation
PD-3 SCALE 1:100



West Elevation
PD-3 SCALE 1:100



North Elevation
PD-3 SCALE 1:100

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OWNER SIGNED: _____ DATE: _____
 OWNER SIGNED: _____ DATE: _____
 BUILDER SIGNED: _____ DATE: _____

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CLIENT: Chris & Charmaine Bagot
 DRAWING TITLE: Preliminary Design
 SCALE: as noted @ A3

PROJECT: Proposed New Residence
 84 PETSCHACK ROAD JINDIVICK

DRAWING: SHEET SIZE: PD-5/15 A2
 GJG9320/GJ370106
 DRAWN: GP
 PLOT: 2/09/2020
 DATE: DATE

AREA SUMMARY		
AREA	SQM	
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	456.26 m²	

Z:\My Drive\Buildingdesigned\Drawings\GJ Gardner Warragul\GJG 9320 37010 Chris Bagot 1195 Jackson Track Jindivick\1-Model\GJG9320 - GJ37010 Chris & Charmaine Bagot 1195 Jacksons Track Jindivick PD REV F.pln

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1

ALL STRUCTURAL MEMBERS INCLUDING BEAMS, LINTELS, BRACING AND TIE DOWNS AS PER ENGINEERS DESIGN

Window Schedule																									
ID	W-01	W-02	W-03	W-04	W-05	W-06	W-07	W-08	W-09	W-10	W-11	W-12	W-13	W-14	W-15	W-16	W-17	W-18	W-19	W-20	W-21	W-22	W-23	W-24	W-25
Type	FIXED	FIXED	AWNING	AWNING	AWNING	AWNING	AWNING	AWNING	FIXED	FIXED	AWNING	AWNING	AWNING	AWNING	FIXED	FIXED	AWNING	AWNING	AWNING	AWNING	AWNING	FIXED	AWNING	AWNING	FIXED
Height	400	400	1000	1000	1000	1800	2300	2300	2300	2300	2300	1200	1200	1000	2300	2300	2300	1800	1000	2300	2300	2300	1500	1500	1500
Width	1000	1500	600	600	600	2000	2000	2000	3000	2000	700	2300	400	600	2000	2000	2000	2000	600	2000	2000	2000	900	900	1000
Notes																									

Window Schedule			
ID	W-26	W-27	W-28
Type	FIXED	FIXED	FIXED
Height	1500	600	600
Width	3000	3600	3600
Notes			

Door Schedule								
ID	D-01	D-02	D-03	D-04	D-05	D-06	D-07	D-08
Type	PIVOT	PANEL LIFT	HINGED	HINGED	SLIDING	SLIDING STACKER	SLIDING STACKER	SLIDING STACKER
Height	2340	2550	2340	2340	2400	2400	2400	2400
Width	1220	5400	920	920	2400	3900	3900	3300
Notes								

ITEM	PRODUCT DESCRIPTION	PRODUCT IMAGE
ROOF CLADDING	COLORBOND CUSTOMORB COLOUR: GULLY	
EXTERNAL CLADDING	AXON 133mm PAINT FINISH COLOUR: TBC	
EXTERNAL CLADDING	FEATURE STONE WORK COLOUR: CHARDONNAY LEDGESTONE	
EXTERNAL CLADDING	BRICK RENDER COLOUR: HAYMES SOLIDITY	
EXTERNAL CLADDING	BRICK RENDER COLOUR: HAYMES CLINKER BROWN	
WINDOW/DOOR FRAMES	ALUMINIUM COLOUR: BLACK	
GUTTER AND DOWNPIPES	COLORBOND COLOUR: TBC	
GARAGE DOOR	COLOUR: BLACK WALNUT	

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED MADE AFTER THE START OF CONSTRUCTION ARE AT THE RISK OF THE HOMEOWNER AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: _____ DATE: _____
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 BUILDER SIGNED: _____ DATE: _____

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G.J. Gardner. HOMES

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 mob: 0488 142 227
 DP-AD 28770

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CLIENT: Chris & Charmaine Bagot

DRAWING TITLE: Preliminary Design

SCALE: as noted @ A3

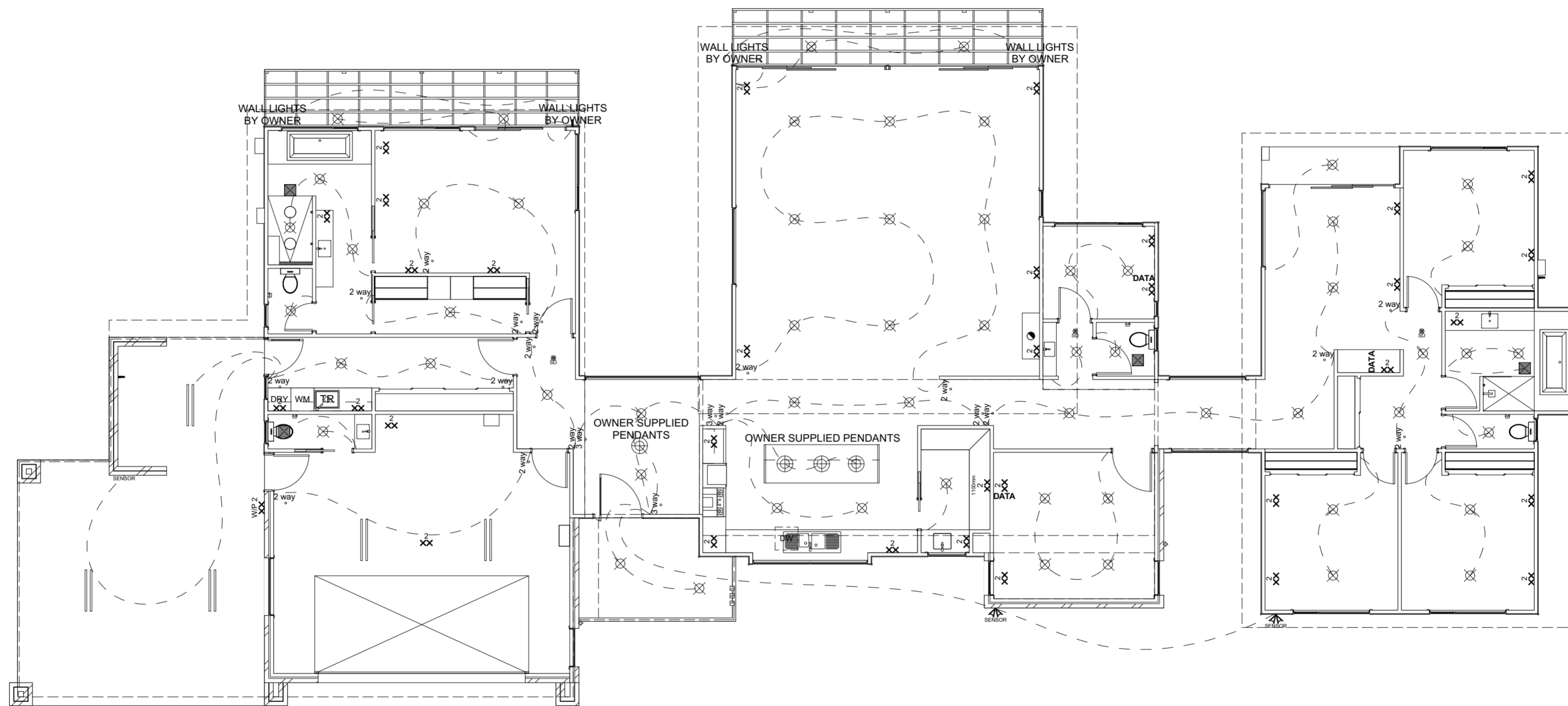
PROJECT: Proposed New Residence
 84 PETSCHACK ROAD JINDIVICK

DRAWING: PD-6/15	SHEET SIZE: A2
GJG9320/GJ370106	
DRAWN: GP	
PLOT: 2/09/2020	
DATE: _____	DATE: _____

AREA SUMMARY	
AREA	SQM
01 Living Area	307.70
02 Garage Area	56.26
03 Porch Area	9.58
04 Carport Area	54.73
05 V'dah Area	3.54
06 Pergola 1 Area	12.15
07 Pergola 2 Area	12.30
TOTAL	456.26 m²

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1

ALL STRUCTURAL MEMBERS INCLUDING BEAMS, LINTELS, BRACING AND TIE DOWNS AS PER ENGINEERS DESIGN

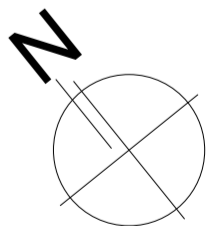


Electrical Plan
SCALE 1:100

ELECTRICAL LEGEND

- LIGHTING**
- (CLBH) Ceiling Light Batten Holder
 - (LED) LED Downlight
 - (EWL) External Wall Light
 - (FL) 1200 Fluro Light
 - (FSL) Flood / Spot Light
 - (PEN) Pendant Light
- POWER**
- (SPP) Single Power Point
 - (DPP) Double Power Point
 - (DWPP) Double W/Proof Power Point
 - (SWPP) Single W/Proof Power Point
 - (TV) T.V. Point
 - (TEL) Phone Point
 - (DATA) DATA Point
- MISCELLANEOUS**
- (EXH) Exhaust Fan
 - (CFL) Ceiling Fan & Light
 - (HWS) Hot Water Service
 - (JBOX) Junction Box
 - (SD) Smoke Detectors
 - (DIM) Dimmer Switch
 - 2 way (2W) Two Way Switch
 - 3 way (3W) Three Way Switch

Electrical Fittings		
Name	Symbol	Quantity
2W	2 way	18
3W	3 way	3
DATA	DATA	3
DPP	DPP	33
DWPP	DWPP	1
FL	FL	5
FSL	FSL	2
LED	LED	58
PEN	PEN	4



I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AS SET OUT IN THE REPORT OF THE VARIATIONS Act 1987. The information must not be used for any other purpose.

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DP-AD 28770

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CLIENT: Chris & Charmaine Bagot

DRAWING TITLE: Preliminary Design

SCALE: as noted @ A3

PROJECT: Proposed New Residence
84 PETSCHACK ROAD JINDIVICK

DRAWING: SHEET SIZE: PD-11/15 A2

GJG9320/GJ370106

DRAWN: GP
PLOT: 2/09/2020

DATE: DATE

AREA SUMMARY		
AREA	SQM	
01 Living Area	307.70	
02 Garage Area	56.26	
03 Porch Area	9.58	
04 Carport Area	54.73	
05 V'dah Area	3.54	
06 Pergola 1 Area	12.15	
07 Pergola 2 Area	12.30	
	456.26 m²	

REV	DETAILS	DATE

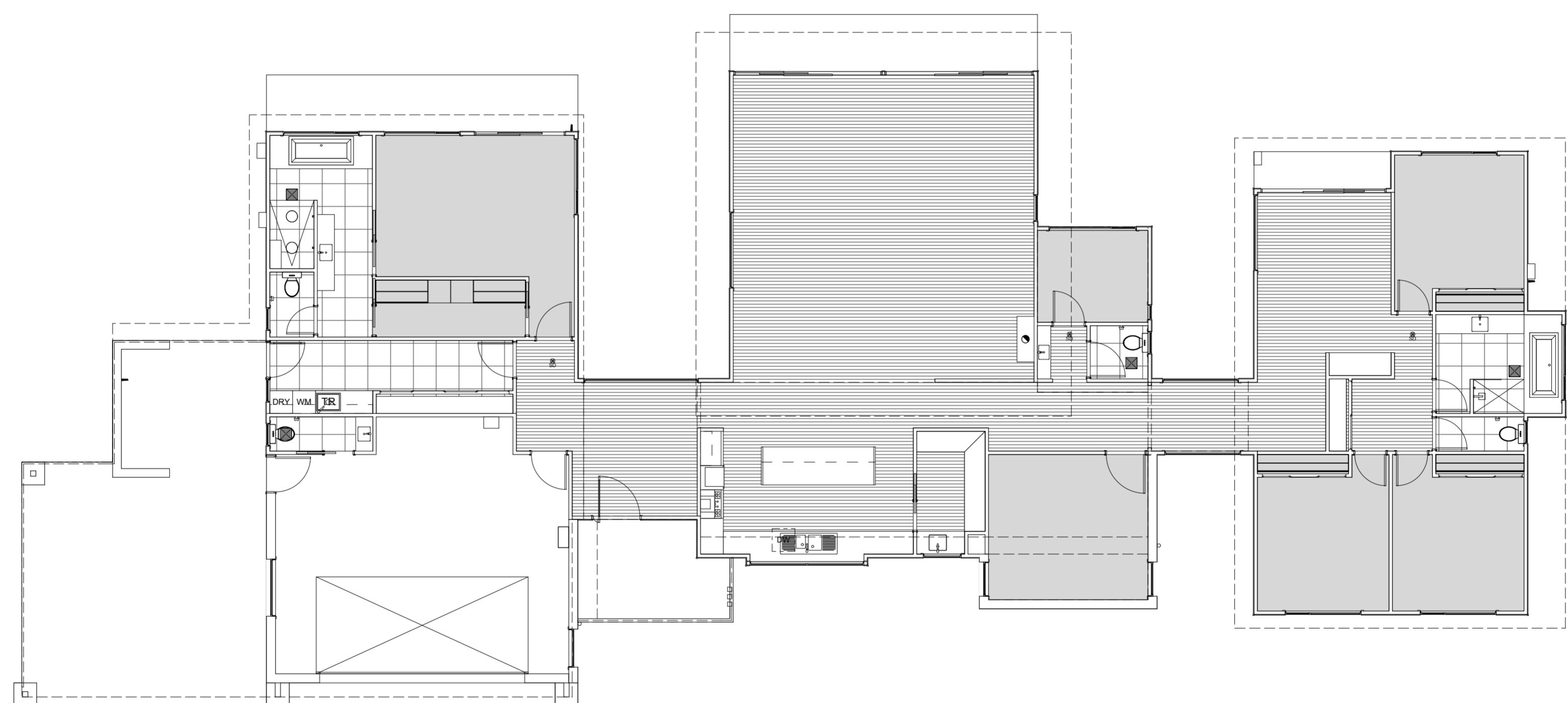
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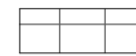


PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1

ALL STRUCTURAL MEMBERS INCLUDING BEAMS, LINTELS, BRACING AND TIE DOWNS AS PER ENGINEERS DESIGN

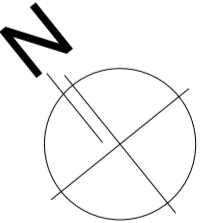
Floor Coverings

Carpet sqm	Tiles sqm	Timber sqm
92.19	34.85	155.53



-  PROVIDE SELECTED TILES
-  PROVIDE SELECTED CARPET
-  PROVIDE SELECTED TIMBER

Floor Coverings
SCALE 1:100



I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED MADE AFTER THE BUILDING PERMITS PROCESS AS SET OUT IN THE TERMS OF THE VARIATION PERMITS ACT 1987. AND ANY FURTHER PLANS TO BE PREPARED.

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 OWNER SIGNED: _____ DATE: _____
 BUILDER SIGNED: _____ DATE: _____

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 mob: 0488 142 227
 DP-AD 28770

CLIENT: Chris & Charmaine Bagot

DRAWING TITLE: Preliminary Design

SCALE: as noted @ A3

PROJECT: Proposed New Residence
 84 PETSCHACK ROAD JINDIVICK

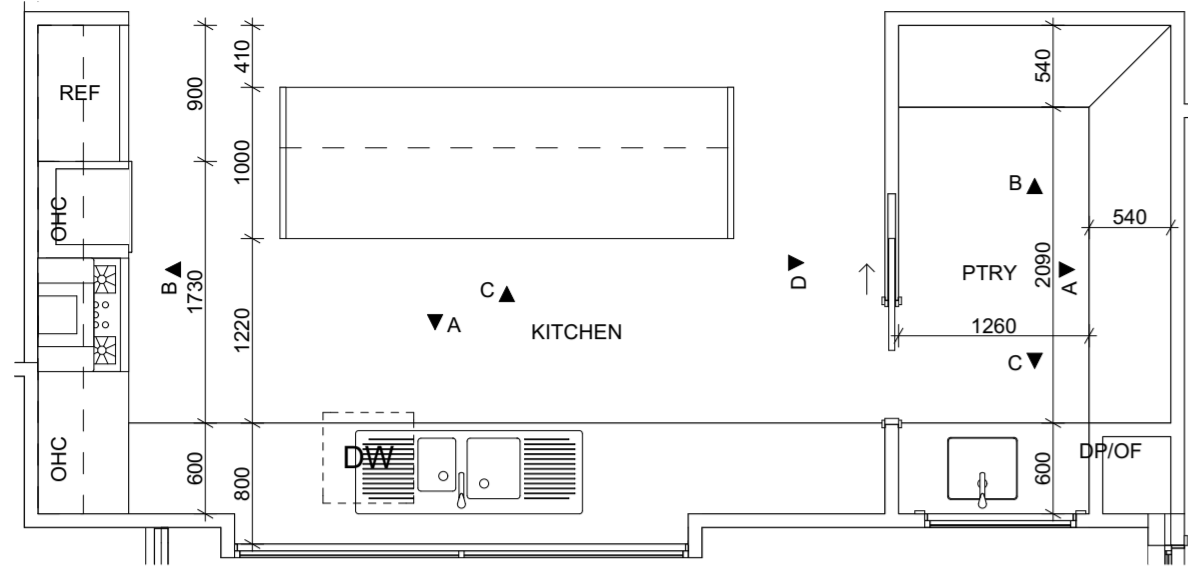
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GJG9320/GJ370106

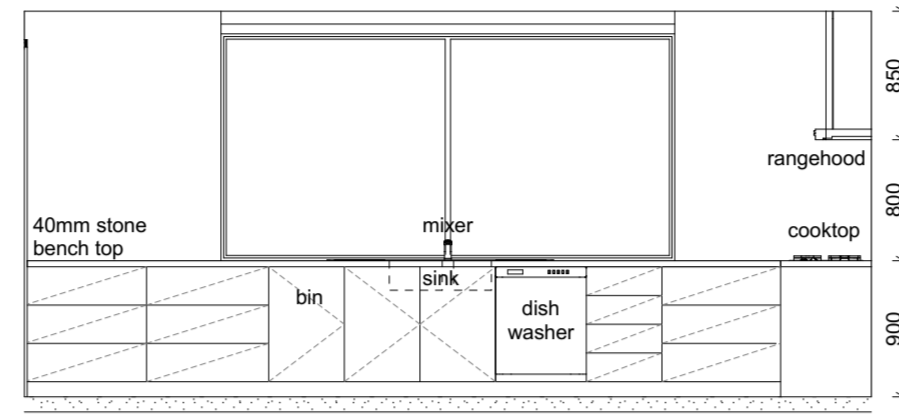
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 PLOT: 2/09/2020

DATE: _____

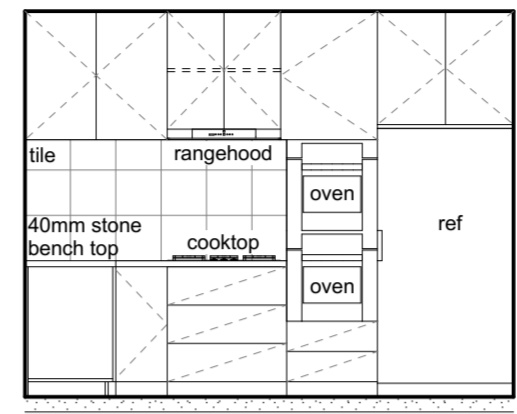
AREA SUMMARY		
AREA	SQM	DATE:
01 Living Area	307.70	
02 Garage Area	56.26	
03 Porch Area	9.58	
04 Carport Area	54.73	
05 V'dah Area	3.54	
06 Pergola 1 Area	12.15	
07 Pergola 2 Area	12.30	
TOTAL	456.26 m²	



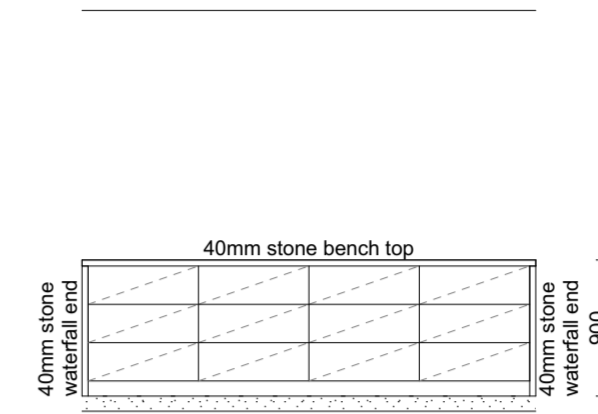
Kitchen Plan
SCALE 1:50



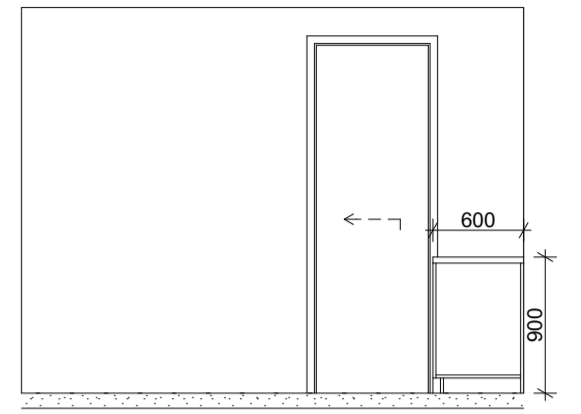
Kitchen Elevation A
SCALE 1:50



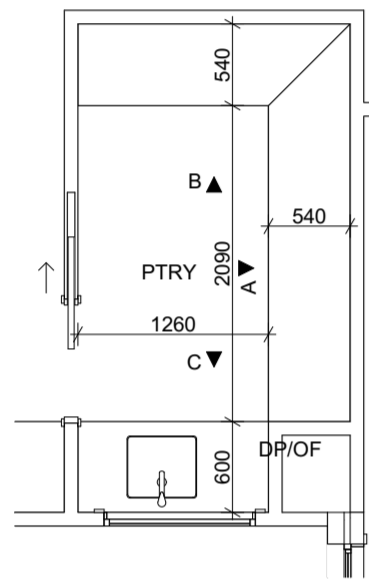
Kitchen Elevation B
SCALE 1:50



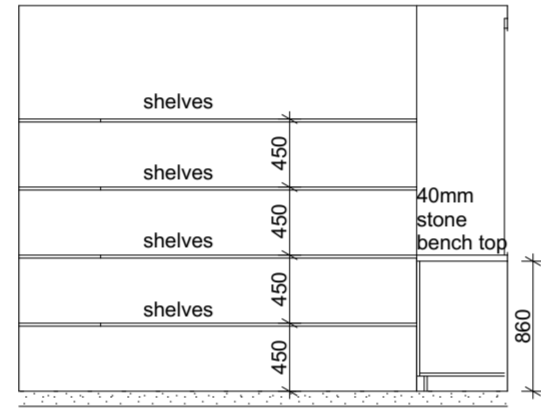
Kitchen Elevation C
SCALE 1:50



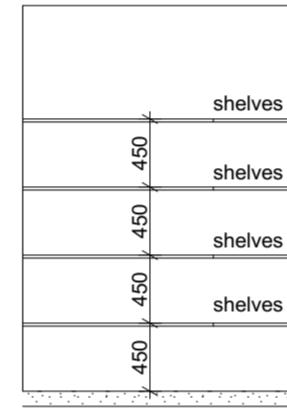
Kitchen Elevation D
SCALE 1:50



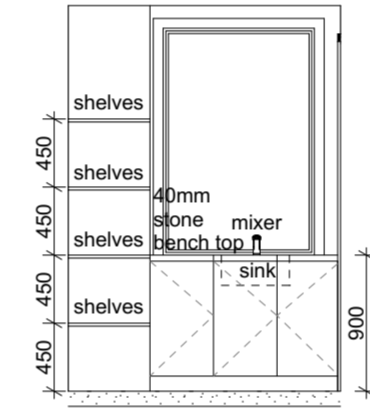
P'try Plan
SCALE 1:50



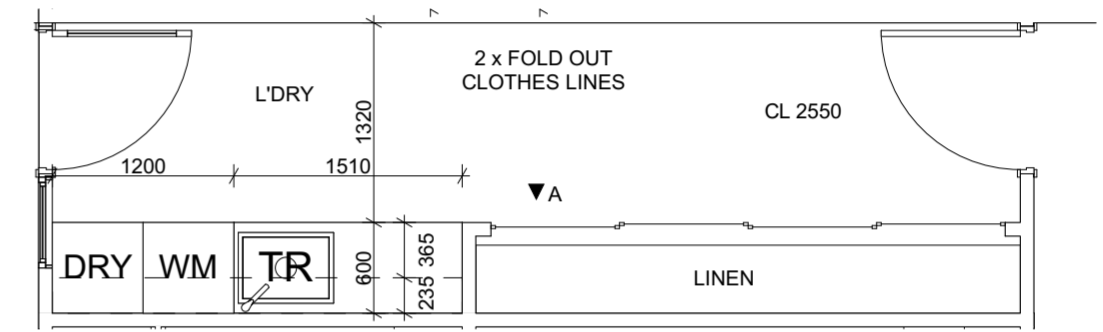
P'try Elevation A
SCALE 1:50



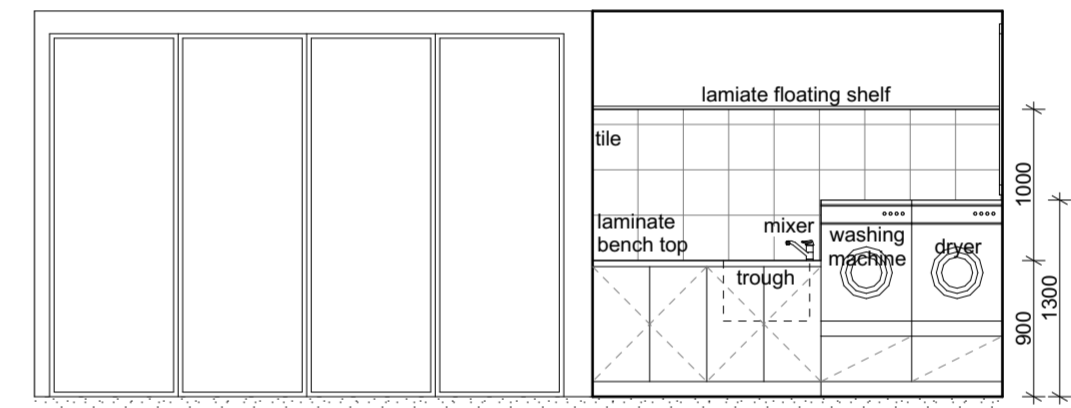
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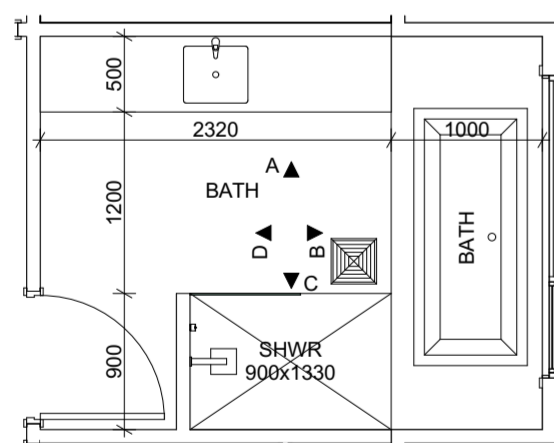
P'try Elevation C
SCALE 1:50



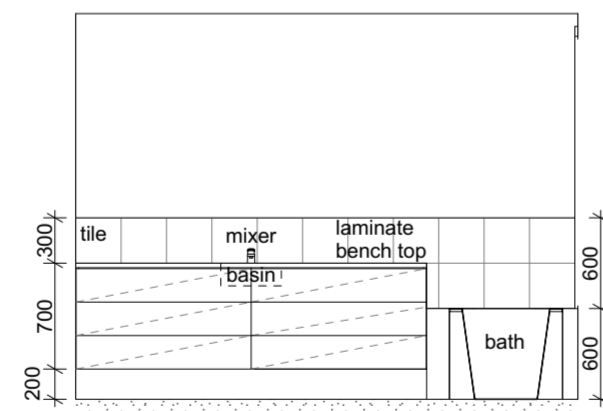
L'dry Plan
SCALE 1:50



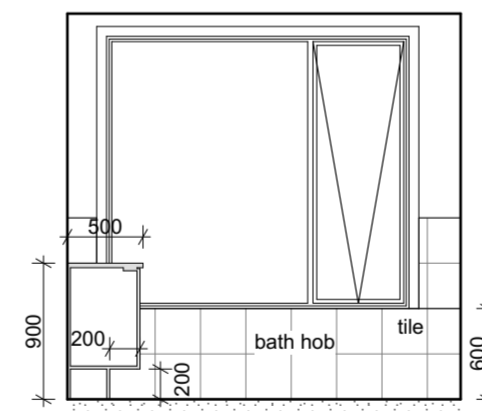
L'dry Elevation A
SCALE 1:50



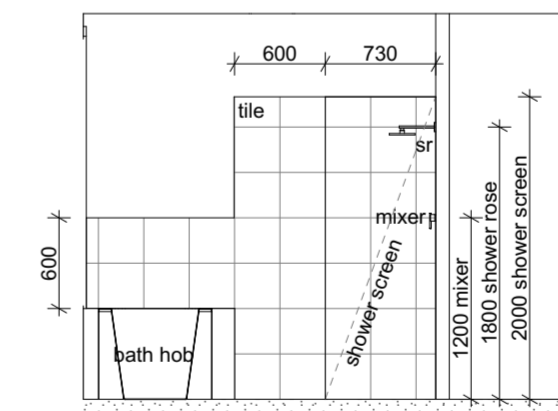
Bathroom Plan
SCALE 1:50



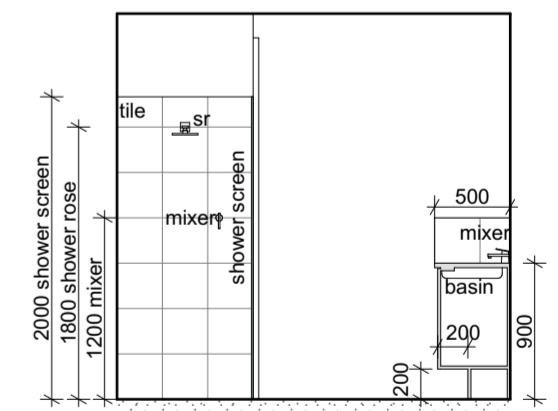
Bath Elevation A
SCALE 1:50



Bath Elevation B
SCALE 1:50



Bath Elevation C
SCALE 1:50



Bath Elevation D
SCALE 1:50

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED MADE AFTER THE SIGNING OF THE CONTRACT SHALL BE AT THE CLIENT'S RISK AND AT THE ARCHITECT'S FEE IN ACCORDANCE WITH THE ARCHITECTS ACT 1987. THE INFORMATION MUST NOT BE USED FOR ANY OTHER PURPOSE.

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 ARCHITECT SIGNED: _____ DATE: _____
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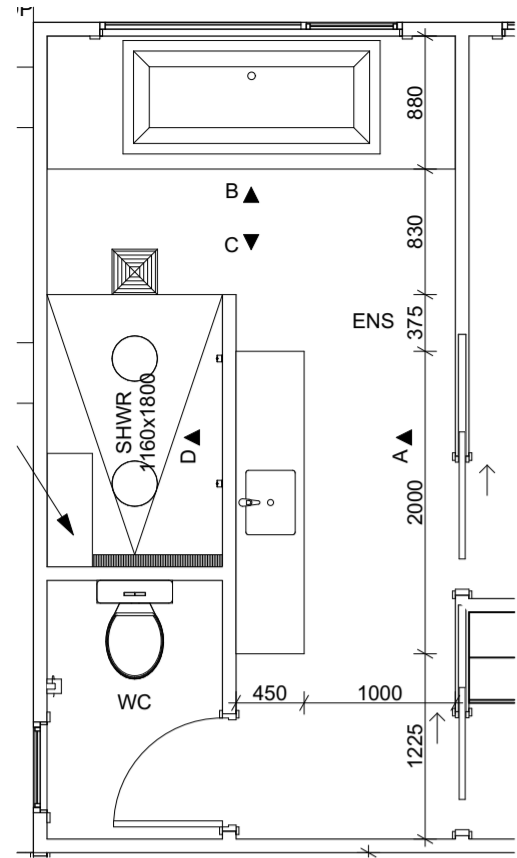
G.J. Gardner HOMES
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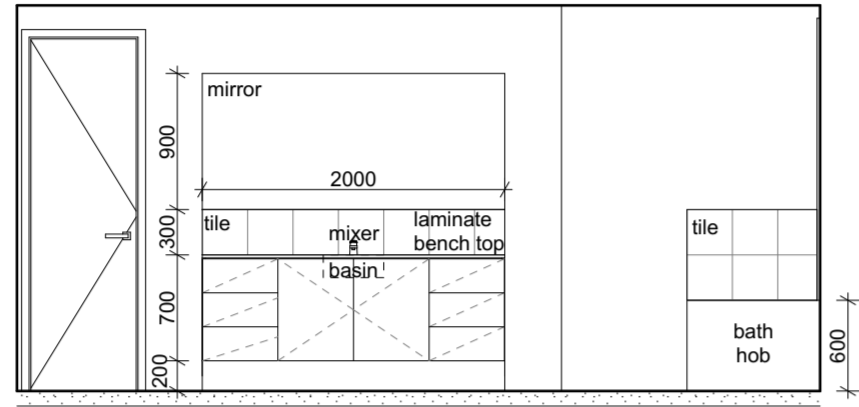
CLIENT: Chris & Charmaine Bagot
 DRAWING TITLE: Preliminary Design
 SCALE: as noted @ A3

PROJECT: Proposed New Residence
 84 PETSCHACK ROAD JINDIVICK

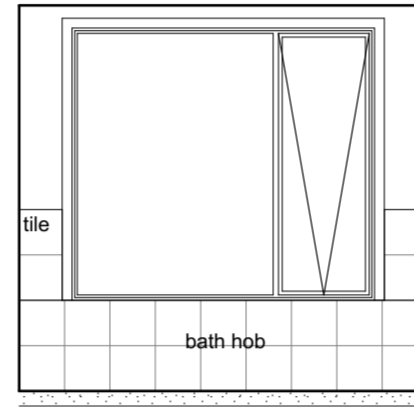
DRAWING: PD-13/15	SHEET SIZE: A2	AREA SUMMARY	
GJG9320/GJ370106		AREA	SQM
DRAWN: GP		01 Living Area	307.70
PLOT: 2/09/2020		02 Garage Area	56.26
DATE: _____	DATE: _____	03 Porch Area	9.58
		04 Carport Area	54.73
		05 V'dah Area	3.54
		06 Pergola 1 Area	12.15
		07 Pergola 2 Area	12.30
		TOTAL	456.26 m²



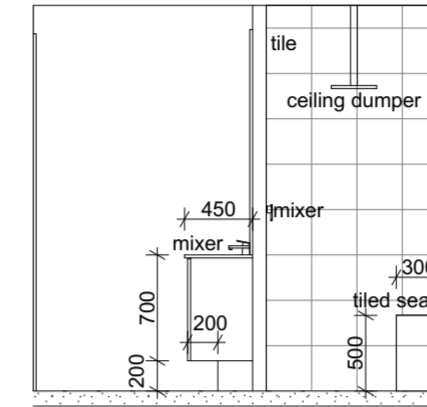
Ensuite Plan
SCALE 1:50



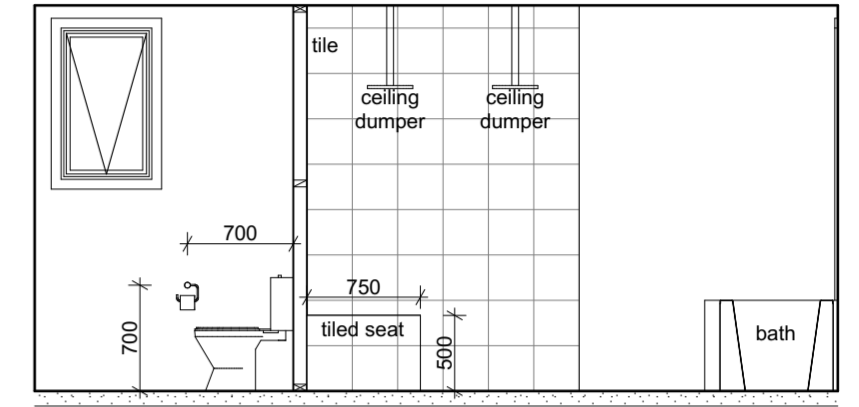
Ens Elevation A
SCALE 1:50



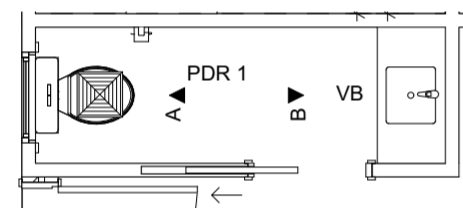
Ens Elevation B
SCALE 1:50



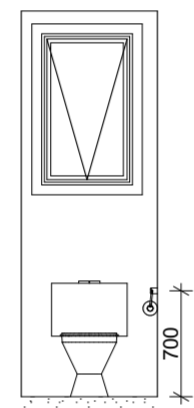
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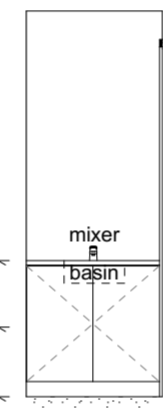
Ens Elevation D
SCALE 1:50



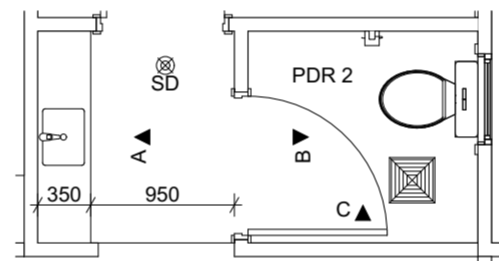
PDR 1 Plan
SCALE 1:50



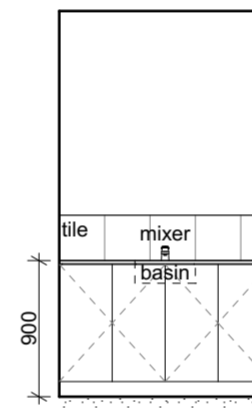
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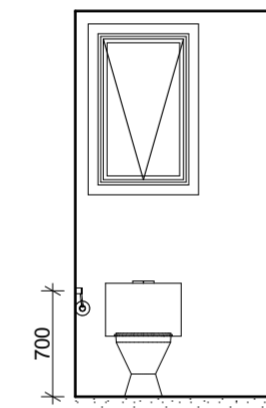
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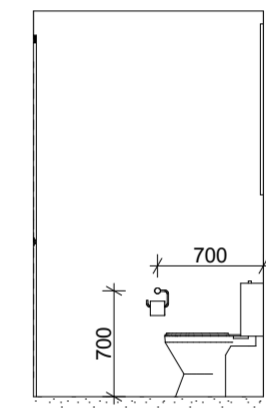
PDR 2 Floor Plan
SCALE 1:50



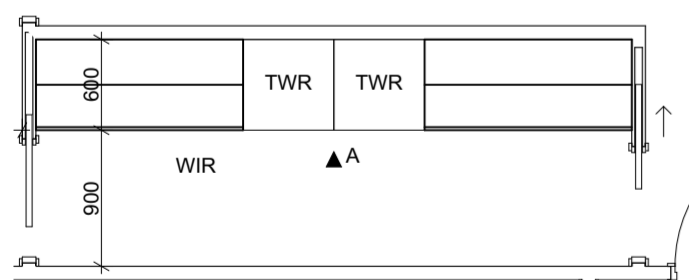
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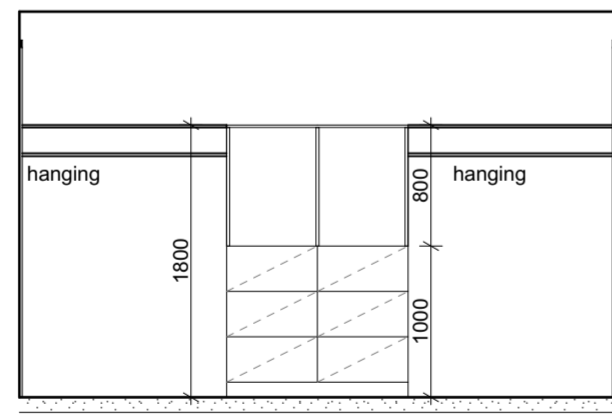
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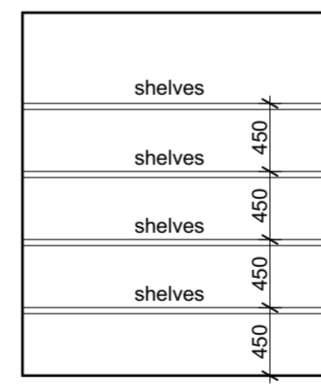
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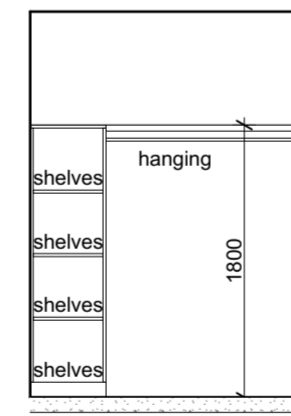
WIR Plan
SCALE 1:50



WIR Elevation A
SCALE 1:50



Typical Linen
SCALE 1:50



Typical Robe
SCALE 1:50

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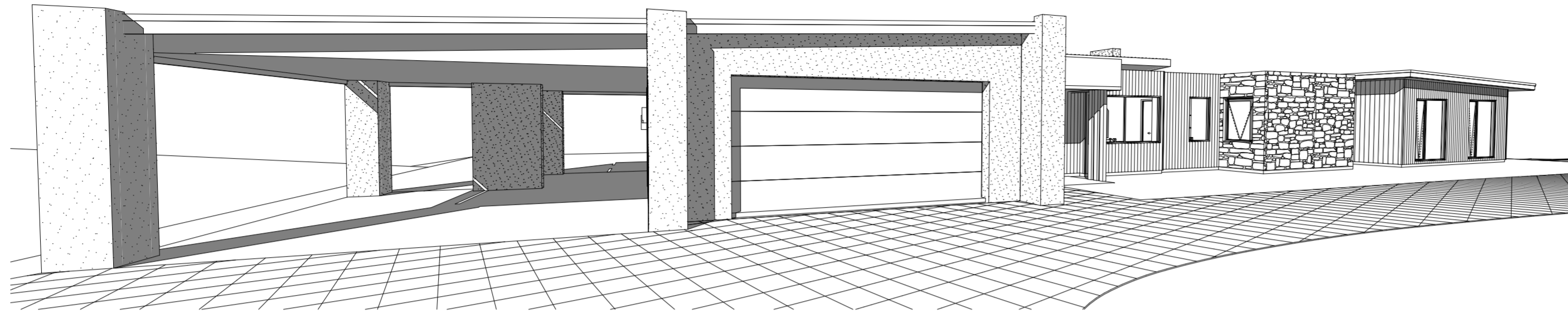
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SCALE: as noted @ A3

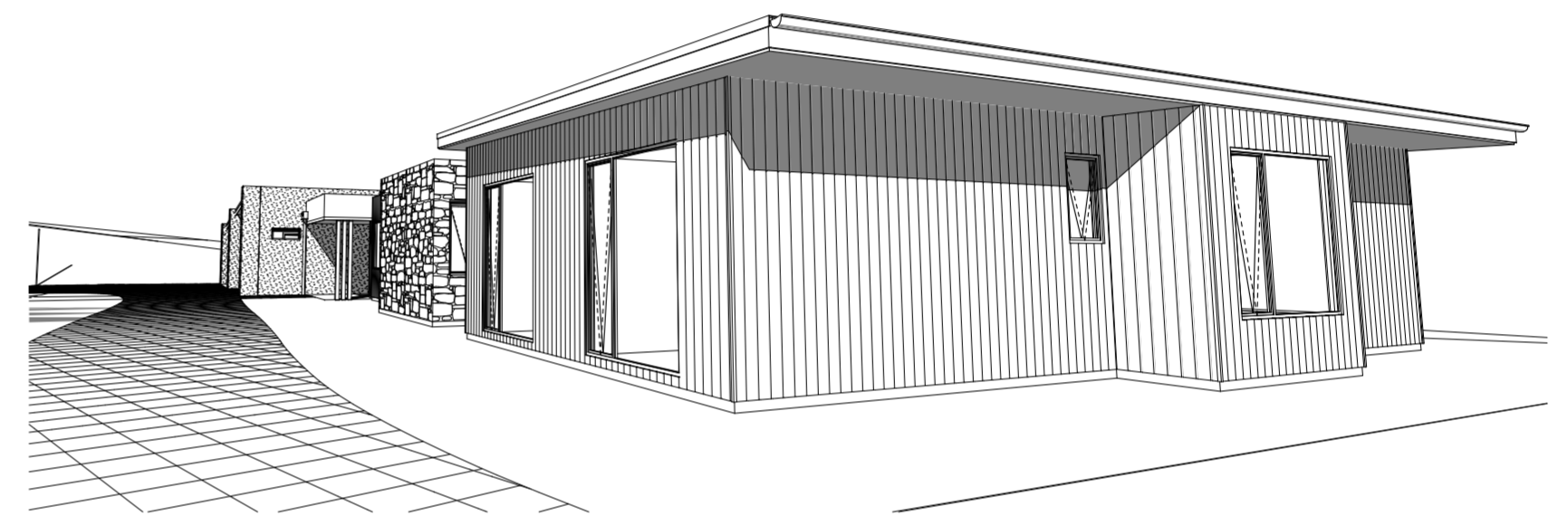
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 84 PETSCHACK ROAD JINDIVICK

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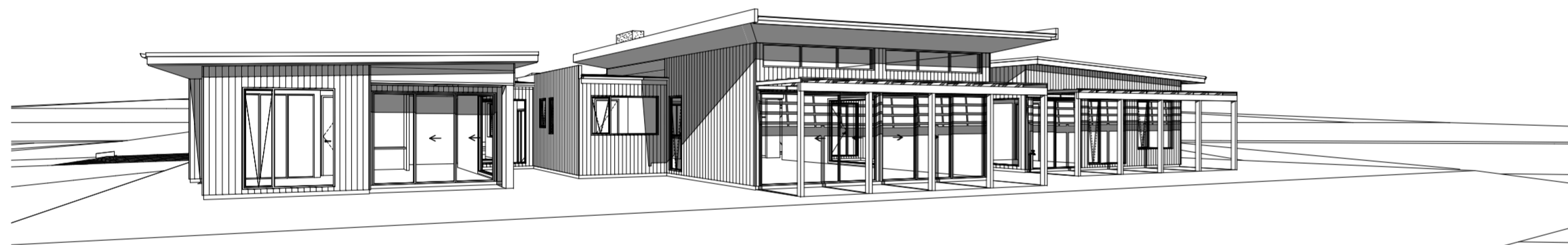
REV.	DETAILS	DATE



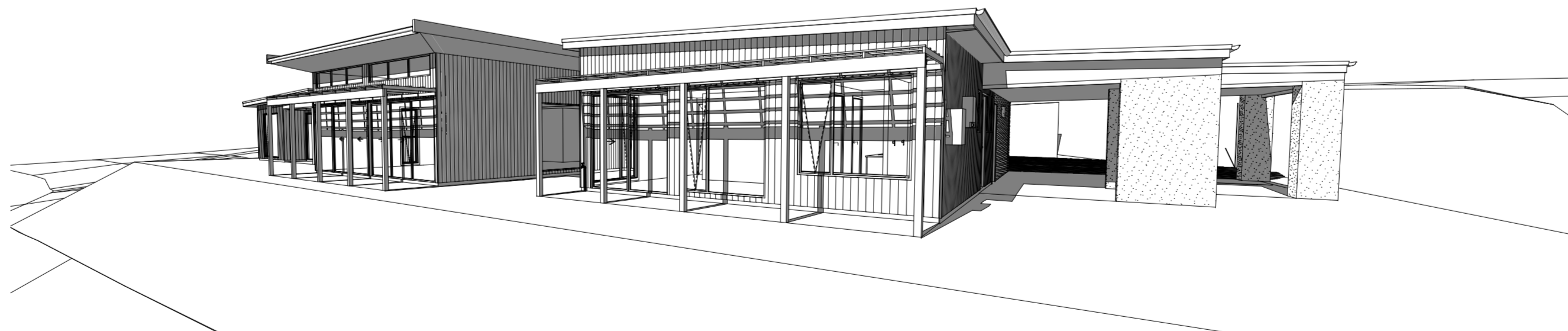
Perspective 1



Perspective 2



Perspective 3



Perspective 4

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED MADE AFTER THE WORKING DRAWINGS ARE AS SET OUT IN THE CONTRACT AND VARIATION TERMS AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: _____ DATE: _____
 OWNER SIGNED: _____ DATE: _____
 BUILDER SIGNED: _____ DATE: _____

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G.J. Gardner. HOMES

Tyrrell Constructions Pty Ltd CDB-U 54497
 Trading as G.J. Gardner Homes Warragul
 2/131 North Rd, Warragul, Vic 3820

CUSTOM

buildingdesigned
 54 QUEEN STREET WARRAGUL
 email: info@buildingdesigned.com.au
 mob: 0488 142 227
 DP-AD 28770

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CLIENT: Chris & Charmaine Bagot

DRAWING TITLE: Preliminary Design

SCALE: as noted @ A3

PROJECT: Proposed New Residence
 84 PETSCHACK ROAD JINDIVICK

DRAWING: PD-15/15
 SHEET SIZE: A2

GJG9320/GJ370106

DRAWN: GP
 PLOT: 2/09/2020

DATE: _____

AREA SUMMARY		
AREA	SQM	
01 Living Area	307.70	
02 Garage Area	56.26	
03 Porch Area	9.58	
04 Carport Area	54.73	
05 V'dah Area	3.54	
06 Pergola 1 Area	12.15	
07 Pergola 2 Area	12.30	
	456.26 m²	

Z:\My Drive\Buildingdesigned\Drawings\GJGardner Warragul\GJG 9320 37010 Chris Bagot 1195 Jackson Track Jindivick\1-Model\GJG9320 - GJ37010 Chris & Charmaine Bagot 1195 Jackson Track Jindivick PD REV F.pln

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 12014 FOLIO 685

Security no : 124085839157W
Produced 02/10/2020 08:59 AM

LAND DESCRIPTION

Lot 1 on Plan of Subdivision 818225Q.
PARENT TITLES :
Volume 10763 Folio 698 Volume 11456 Folio 547
Created by instrument PS818225Q 13/09/2018

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors
CHRISTOPHER JOHN BAGOT
CHARMAINE BAGOT both of 84 PETSCHACK ROAD JINDIVICK VIC 3818
PS818225Q 13/09/2018

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS818225Q FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AT413213T (E)	DISCHARGE OF MORTGAGE	Registered	09/07/2020
AT417171L (E)	TRANSFER CONTROL OF ECT	Completed	10/07/2020

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: JACKSONS TRACK JINDIVICK VIC 3818

ADMINISTRATIVE NOTICES

NIL

eCT Control 17888B WAKEFIELD VOGRIG & BOOTE LAWYERS
Effective from 10/07/2020

DOCUMENT END

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Document Type	Plan
Document Identification	PS818225Q
Number of Pages (excluding this cover sheet)	3
Document Assembled	05/10/2020 17:52

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PLAN OF SUBDIVISION		EDITION 1	Plan Number Advertised PS818225Q	
LOCATION OF LAND PARISH: JINDIVICK TOWNSHIP: _____ SECTION: _____ CROWN ALLOTMENT: 10F, 8(PT), 9A(PT), 9B(PT), 9C(PT), 10G(PT) & PART OF FORMER GOVT ROAD TITLE REFERENCE: C/T VOL 11456 FOL 547 C/T VOL 10763 FOL 698 LAST PLAN REFERENCE: PS700166M (LOT 2) PS518934G (LOT 2) POSTAL ADDRESS: 84 PETSCHACK ROAD JINDIVICK, 3818 MGA CO-ORDINATES: E: 405210 ZONE: 55 (of approx centre of land N: 5790750 GDA 94 in plan)		Council Name: Baw Baw Shire Council Council Reference Number: PLA0108/17.01 Planning Permit Reference: PLA0108/17 SPEAR Reference Number: S114039M Certification This plan is certified under section 6 of the Subdivision Act 1988 Statement of Compliance This is a statement of compliance issued under section 21 of the Subdivision Act 1988 Public Open Space A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made Digitally signed by: Lyndal Farrar for Baw Baw Shire Council on 26/02/2018		
VESTING OF ROADS AND/OR RESERVES		NOTATIONS		
IDENTIFIER	COUNCIL/BODY/PERSON			
Nil	Nil			
NOTATIONS		OTHER PURPOSE OF PLAN: TO VARY THE POSITION OF THE EASEMENT E-1 SHOWN ON LOT 2 PS518934G TO THE LOCATION SHOWN HEREON GROUNDS FOR VARIATION: PLANNING PERMIT PLA 0108/17 AND AS REQUIRED BY AUSNET ELECTRICITY SERVICES PTY LTD		
DEPTH LIMITATION: 15.24m Below the surface. Applies to the land marked A only				
SURVEY: Lot 1 on this plan is based on survey. STAGING: This is not a staged subdivision. Planning Permit No. PLA0108/17 This survey has been connected to permanent mark No(s). _____ In Proclaimed Survey Area No. _____				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	TRANSMISSION OF ELECTRICITY	SEE DIAG	AN212898D	AUSNET ELECTRICITY SERVICES PTY LTD
E-2	POWERLINE	SEE DIAG	PS522944E - SECTION 88 ELECTRICITY INDUSTRY ACT 2000	TXU ELECTRICITY PTY LTD
E-3	SUPPLY OF WATER	SEE DIAG	C/E C459084	WARRAGUL WATERWORKS TRUST
E-4 & E-7	SUPPLY OF WATER	SEE DIAG	C/E C408904	WARRAGUL WATERWORKS TRUST
E-5	SUPPLY OF WATER	5	C/E T592541F	TARAGO WATER BOARD
E-3, E-4, E-5 & E-7	PIPELINE OR ANCILLARY PURPOSES	SEE DIAG	PS700166M - SECTION 136 OF THE WATER ACT 1989	CENTRAL GIPPSLAND REGION WATER CORPORATION
E-6 & E-7	POWERLINE	SEE DIAG	PS700166M - SECTION 88 ELECTRICITY INDUSTRY ACT 2000	SPI ELECTRICITY PTY LTD
E-8	TRANSMISSION OF ELECTRICITY	SEE DIAG	1884668	S.E.C.V.
E-9	WATER SUPPLY	SEE DIAG	PS319124E	LOTS ON PS319124E
E-10	POWERLINE	12	THIS PLAN - SECTION 88 ELECTRICITY INDUSTRY ACT 2000	AUSNET ELECTRICITY SERVICES PTY LTD
Beveridge Williams development & environment consultants Warragul ph : 56232257 www.beveridgewilliams.com.au		REF RW12337 DRG No. RW12337ps.lcd	ORIGINAL SHEET 1 OF 1 SHEETS SIZE: A3	PLAN REGISTERED
		Digitally signed by: Dean Norman Sheddon (Beveridge Williams & Co Pty Ltd - Traralgon), Surveyor's Plan Version (02), 20/02/2018, SPEAR Ref: S114039M	TIME: 10.34am DATE: 13 / 9 / 2018	HEATH RICHARDS Assistant Registrar of Titles

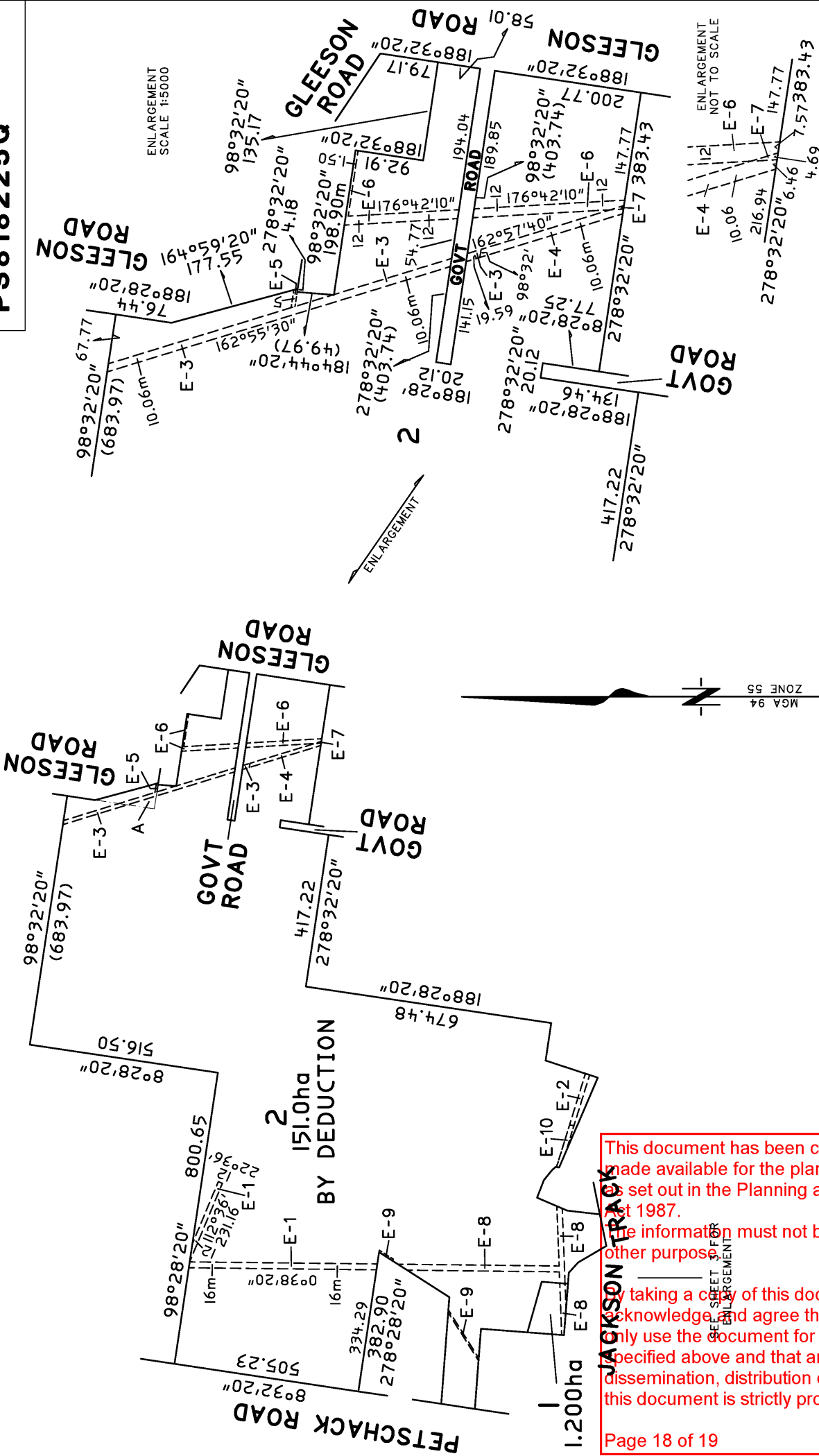
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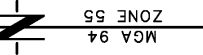
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Plan Number
PS818225Q

ENLARGEMENT
SCALE 1:5000



ENLARGEMENT
2



MGA 94
ZONE 55

ENLARGEMENT
NOT TO SCALE

REF: RW12337	DRG No. RW12337ps.icd
ORIGINAL SHEET SIZE: A3	SHEET 2

SCALE 1:10000
LENGTHS ARE IN METRES

100 0 100 200 300 400

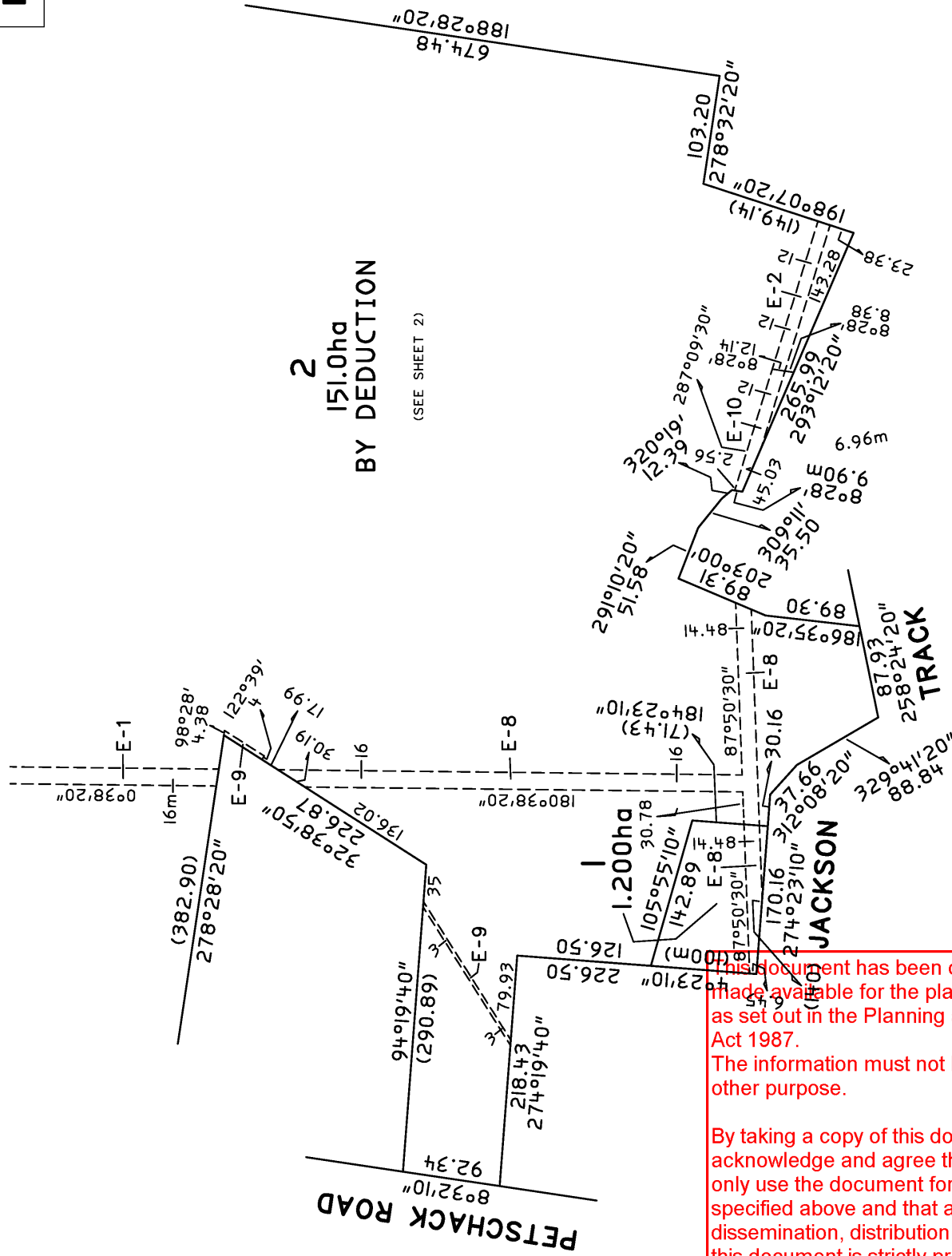
Digitally signed by: Dean Norman Sneeddon (Beveridge Williams & Co Pty Ltd - Traralgon), Surveyor's Plan Version (02), 20/02/2018, SPEAR Ref: S114039M

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BW Beveridge Williams & Co
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Plan Number
PS818225Q



REF: RW12337		DRG No. RW12337ps.lcd	
ORIGINAL SHEET SIZE: A3	SHEET 3		
Digitally signed by: Baw Baw Shire Council, 26/02/2018, SPEAR Ref: S114039M			

SCALE 1:4000	40 0 40 80 120 160
LENGTHS ARE IN METRES	
Digitally signed by: Dean Norman Sneedon (Beveridge Williams & Co Pty Ltd - Traralgon), Surveyor's Plan Version (02), 20/02/2018, SPEAR Ref: S114039M	

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