



Application to Amend a Planning Permit S72

This form is only for an application under Section 72 of the Planning and Environment Act 1987

Section 1: PERMIT DETAILS

| | |
|--------------------------|----------------------------------|
| Planning Application No: | PLA0008/06 |
| Address: | 18 Rodier Road Yarragon VIC 3823 |

Section 2: PERMIT APPLICANT

| | |
|-------------------|--|
| Name: | [REDACTED] |
| Business: | Yarragon Village Pty Ltd atf Yarragon Village Unit Trust |
| Postal Address: | [REDACTED] |
| Telephone No. (H) | [REDACTED] |
| Email Address: | [REDACTED] |

Section 3: OWNER DETAILS (If different to the Applicant)

| | | | | | |
|-------------------|----------|-----|--|-----------|--|
| Name(s): | As above | | | | |
| Postal Address: | As above | | | Postcode: | |
| | | (W) | | (M) | |
| Telephone No. (H) | | (W) | | (M) | |
| Email Address: | | | | | |

Section 4: LAND DETAILS (Please complete either A or B – this information can be found on the Certificate of Title)

Option A:

| | |
|-----------------------------|---|
| Lot No: | S14, S15, S16, S17 |
| Type of Plan: Please tick ✓ | Lodge Plan <input type="checkbox"/> Title Plan <input type="checkbox"/> Plan of Subdivision <input checked="" type="checkbox"/> |
| Plan Number: | PS606836R |

Option B:

| | |
|-------------------------|--|
| Crown Allotment Number: | |
| Section Number: | |
| Parish/Township Name: | |

Section 5: AMENDMENT DETAILS You must give full details of the amendment being applied for. Insufficient or unclear information will delay your application. Please indicate the type of changes proposed to the permit and list the details of the proposed changes.

This application seeks to amend:

| | |
|---|---|
| What the permit allows <input type="checkbox"/> | Plans endorsed under the permit <input checked="" type="checkbox"/> |
|---|---|

Current conditions of the permit Other documents endorsed under the permit

Does the amendment proposal breach, in anyway, a registered covenant, Section 173 agreement or restriction on Title?

 Yes No Not Applicable (no such covenant, section 173 agreement or restriction applies)

If yes, you should contact Council for advice as to how to proceed with the application.

Please provide details of the amendment: Provide plans clearly identifying all proposed changes to the endorsed plans, together with; any information required by the planning scheme, requested by Council or outlined in a Council checklist; and if required, include a description of the likely effect of the proposal.

We are amending internal floorplan to better suit residents and increasing some units from 2 to 3 bedrooms. The setback and floor plate has in most case not changed.

Section 6: DEVELOPMENT COST

State the estimated total cost of the proposed development, including amendment.

Unchanged from initial application

Or

Additional costs proposed through this amendment \$


Does the amendment proposal introduce any additional Permit Triggers? (eg: creation of easement, parking reduction)
If yes, an additional application fee may be required. Yes No**Section 7: EXISTING CONDITIONS** Provide a plan of the existing conditions if the conditions have changed since the time of the original permit application. Photos are also helpful.

Have the conditions of the land changed since the time of the original permit application?

 Yes No

If yes, please provide details of the existing conditions:

Section 8: DECLARATION This form must be signed. Complete box A or B

| | | |
|---|---|------------------|
| A. I declare that I am the Applicant and all information given is true and correct. | Applicant signature:  | Date: 31/05/2021 |
| B. I/We the Applicant declare that I/We have notified the owner about this application and that all information given is true and correct. | Applicant Signature: | Date: |

CHECK LIST Please ensure you have included the following items with your application form. *Failure to provide all the information above may result in a delay in the processing of the application.*

- A fully completed and **signed** copy of this form.
- The application fee (if not already paid). Most applications require a fee to be paid.
Contact Council to determine the appropriate fee.
- All necessary supporting information and documents – Including Endorsed Plans if applicable
- Full and current copy of title (no older than 60 days) for each individual parcel of land forming the subject site.

PLEASE FORWARD THIS APPLICATION TO

| | | | |
|-------------------|--|--------------|---|
| E-mail: | planning@bawbawshire.vic.gov.au | Mail: | Planning Department, Baw Baw Shire Council PO Box 304 Warragul VIC 3820 |
| Phone: | 5624 2411 | | |
| In Person: | Customer Service Centre: 33 Young Street Drouin | | |

The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application.

These third parties generally include, but are not limited to:

- Transport Infrastructure Agencies such as VicRoads and VLine
- Energy/Utilities Providers
- Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

All information collected and held by Council is managed in accordance with Councils Privacy Policy which is available on our website. If you choose not to supply the requested information it may impair the ability of Council to consider your application or prevent Council from communicating with you in relation to your application.

If you have any concerns or require access to the information held by Council, please contact us on 5624 2411.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 11162 FOLIO 639
No Coft exists

Security no : 124098799790B
Produced 06/07/2022 01:00 PM

LAND DESCRIPTION

Common Property 1 on Plan of Subdivision 606836R.
PARENT TITLE Volume 11153 Folio 270
Created by instrument PS606836R 08/10/2009

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor

OWNERS CORPORATION 1 PLAN NO. PS606836R of 2/41 BREED STREET TRARALGON VIC
3844
PS606836R 08/10/2009

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances affecting Common Property that are derived from an
encumbrance shown on titles to lots affected by the Owners Corporation.

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section
24 Subdivision Act 1988 and any other encumbrances shown or entered on the
plan set out under DIAGRAM LOCATION below.

NOTICE Section 9(1)(a) Retirement Villages Act 1986
AF164344J 28/06/2007

DIAGRAM LOCATION

SEE PS606836R FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 53 RODIER ROAD YARRAGON VIC 3823

OWNERS CORPORATIONS

The land in this folio is affected by
OWNERS CORPORATION 1 PLAN NO. PS606836R

DOCUMENT END



Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Victorian Land Registry Services.

| | |
|---|-------------------------|
| Document Type | Plan |
| Document Identification | PS606836R |
| Number of Pages (excluding this cover sheet) | 7 |
| Document Assembled | 23/03/2022 15:10 |

Copyright and disclaimer notice:

© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act 1968 (Cth) and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. None of the State of Victoria, LANDATA®, Victorian Land Registry Services Pty. Ltd. ABN 86 627 986 396 as trustee for the Victorian Land Registry Services Trust ABN 83 206 746 897 accept responsibility for any subsequent release, publication or reproduction of the information.

The document is invalid if this cover sheet is removed or altered.

| | | | | |
|--|-------------------------|---|-------------------|--|
| PLAN OF SUBDIVISION | | STAGE NO. | EDITION 12 | PS 606836 R |
| Location of Land Parish: WARRAGUL Township: ----- Section: 15A Crown Allotment: 4 (PART) Crown Portion: ----- Title Reference: VOL. 11153 FOL. 270 Last Plan Reference: LOT 1 PS 545625 S Postal Address: 18 RODIER ROAD YARRAGON, 3823 MGA Co-ordinates E 417680 N 5770180 Zone: 55 | | Council Certificate and Endorsement Council Name: BAW BAW SHIRE COUNCIL Ref. PS 69106.01 1. This plan is certified under section 6 of the Subdivision Act 1988. 2. This plan is certified under section 11(7) of the Subdivision Act 1988. Date of original certification under section 6 3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988. OPEN SPACE (i) A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made. (ii) The requirement has been satisfied. (iii) <input checked="" type="checkbox"/> The requirement is to be satisfied in Stage 8 Council delegate <i>Andrew</i> Council seal Date 17/04/2009 Re-certified under section 11(7) of the Subdivision Act 1988 Council Delegate Council Seal Date ----- / ----- / ----- | | |
| Vesting of Roads and/ or Reserve | | | | |
| Identifier | Council / Body / Person | | | |
| NIL | NIL | | | |
| Notations | | | | |
| Staging | | This is a staged subdivision Planning Permit No. | | |
| Depth Limitation | | 15 metres | | |
| COMMON PROPERTY NO. 1 CONTAINS A PRIVATE ROAD CALLED WILLOW BOULEVARD | | | | |
| LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE OWNERS CORPORATIONS FOR DETAILS OF ANY OWNERS CORPORATIONS INCLUDING PURPOSE, RESPONSIBILITY, ENTITLEMENT & LIABILITY SEE OWNERS CORPORATION SEARCH REPORT, OWNERS CORPORATION ADDITIONAL INFORMATION AND IF APPLICABLE, OWNERS CORPORATION RULES | | | | |
| Survey This plan is based on survey This survey has been connected to Permanent Mark No(s) In Proclaimed Survey Area No. | | | | |
| Easement Information | | | | |
| Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road) | | | | LR use only |
| Easements & Rights pursuant to Section 12(2) of the Subdivision Act 1988 apply to the land in this plan. | | | | Statement of Compliance/ Exemption Statement |
| Easement Reference | Purpose | Width (Metres) | Origin | Land Benefited/In Favour Of |
| E-1 | PIPELINE | 20.12 | Instrument A98398 | GAS AND FUEL CORPORATION OF VICTORIA |
| | | | | Received <input checked="" type="checkbox"/> |
| | | | | Date 23 / 9 / 09 |
| THIS IS A LAND VICTORIA COMPILED PLAN | | | | |
| FOR DETAILS SEE MODIFICATION TABLE HEREIN | | | | |
| SHEET 1 OF 6 SHEETS | | | | |
| AMS CONSULTING LAND SURVEYORS SUITE 10, 322 MOUNTAIN HIGHWAY, WANTIRNA, 3152 TELEPHONE: (03) 9720 8500 FACSIMILE: (03) 9720 8500 MOBILE: 0418 361 193 EMAIL: amso@bigpond.net.au | | LICENSED SURVEYOR ANDREW MALCOLM SMITH Signature <i>[Signature]</i> Date 31 / 3 / 2009 REF. 2343-2 VERSION 4 2343STAGEDVER4.dwg | | Date 17/04/2009 Council Delegate Signature Original sheet size A3 |

APPLIES TO MASTER PLAN (STAGE 1) ONLY



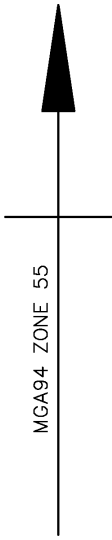
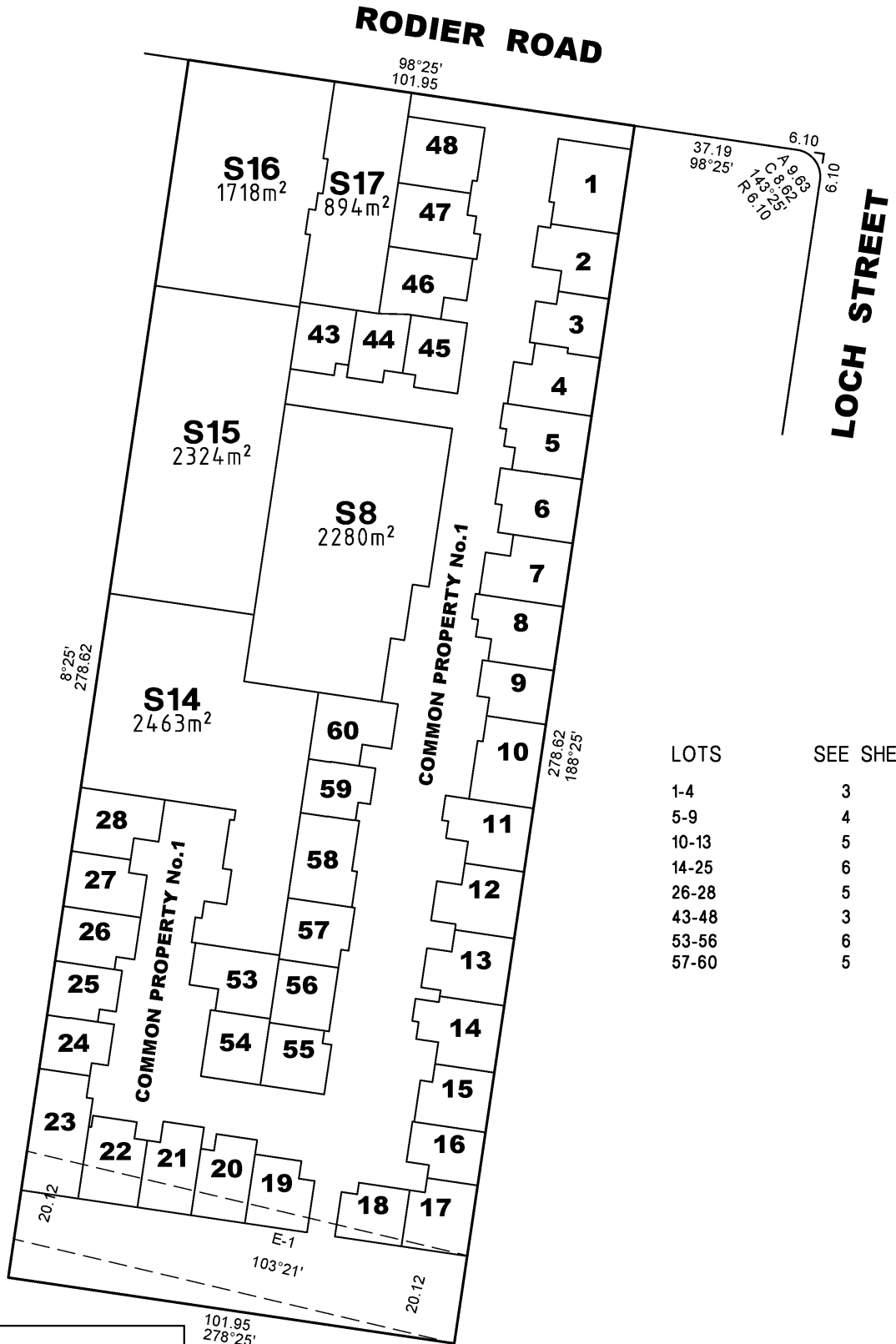
ACN 058 815 993

PLAN OF SUBDIVISION

STAGE NO.

Plan Number

PS 606836 R



| LOTS | SEE SHEET |
|-------|-----------|
| 1-4 | 3 |
| 5-9 | 4 |
| 10-13 | 5 |
| 14-25 | 6 |
| 26-28 | 5 |
| 43-48 | 3 |
| 53-56 | 6 |
| 57-60 | 5 |

AMS CONSULTING LAND SURVEYORS

SUITE 12, 42-50 STUD ROAD, BAYSWATER, 3153
 PO BOX 6141, WANTIRNA MALL, 3152
 TELEPHONE: (03) 9720 5001
 FACSIMILE: (03) 9720 5001
 MOBILE: 0418 361 193
 EMAIL: amso@bigpond.net.au



ACN 058 815 993

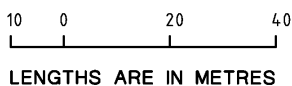
Sheet 2

ORIGINAL

SCALE

LICENSED SURVEYOR :ANDREW MALCOLM SMITH

SCALE SHEET SIZE
 1:1000 A3



Signature Date 7 /11 /2019

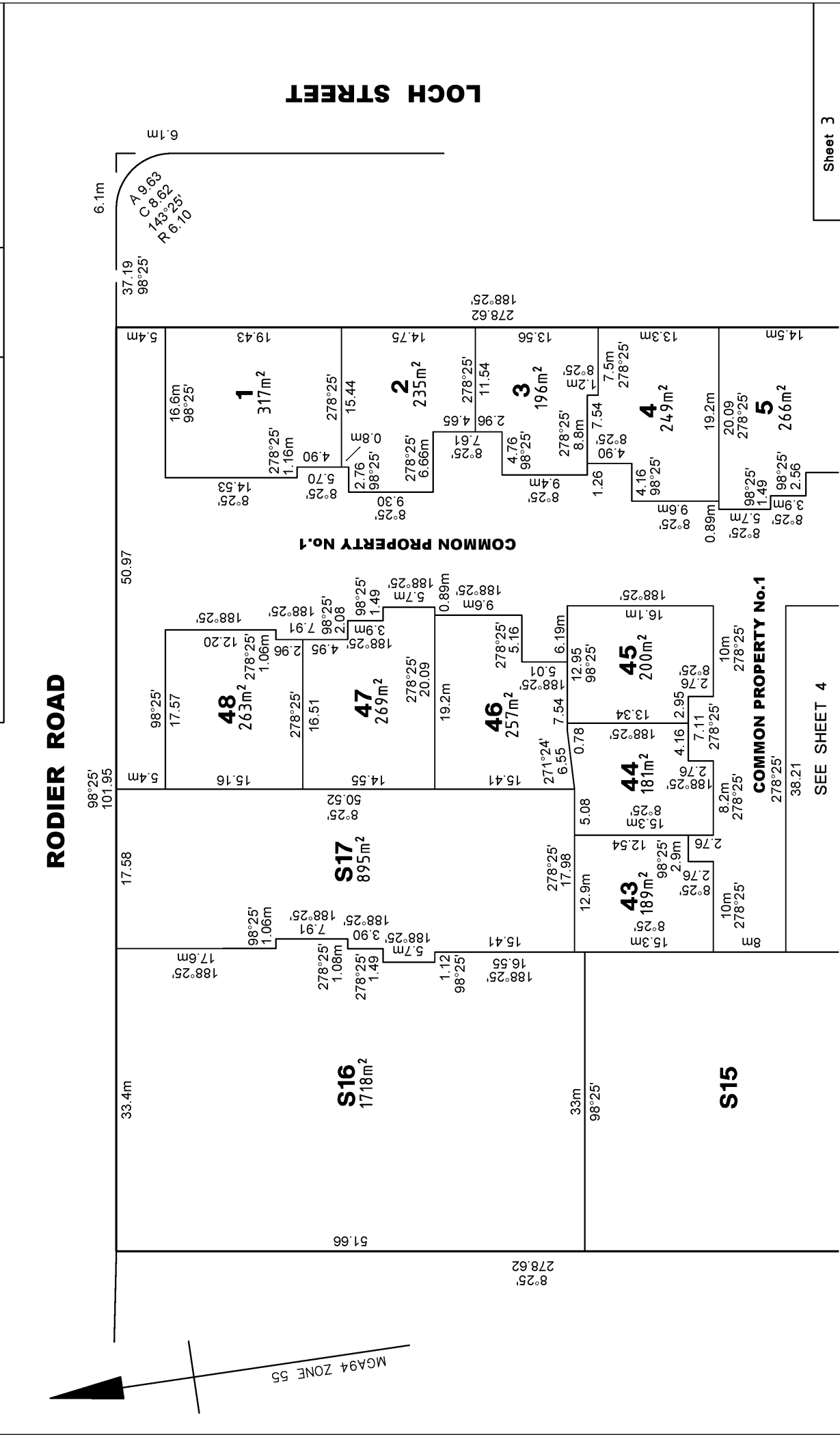
REF.2343-2 VERSION 1

2343COMPILEDTOSTAGE13.dwg

Date / /
 Council Delegate Signature
 Original sheet size A3

PLAN OF SUBDIVISION

Plan Number
PS 606836 R



| | | |
|--|------------------------------------|---|
| ORIGINAL | SCALE 1:400 | SHEET SIZE A3 |
| AM CONSULTING LAND SURVEYORS SUITE 12, 42-50 STURD ROAD, BAYSWATER, 3153 PO BOX 6141, WANTIRNA MALL, 3152 TELEPHONE: (03) 9720 5001 FACSIMILE: (03) 9720 5001 MOBILE: 0418 361 193 EMAIL: amso@bigpond.net.au ACN 068 815 993 | SCALE LENGTHS ARE IN METRES | LICENSED SURVEYOR : Signature, Date 7 / 11 / 2019 REF. 2343-2 VERSION 1 2343COMPILEDTOSTAGET13.dwg |
| Sheet 3 Date / / Council Delegate Signature Original sheet size A3 | | |

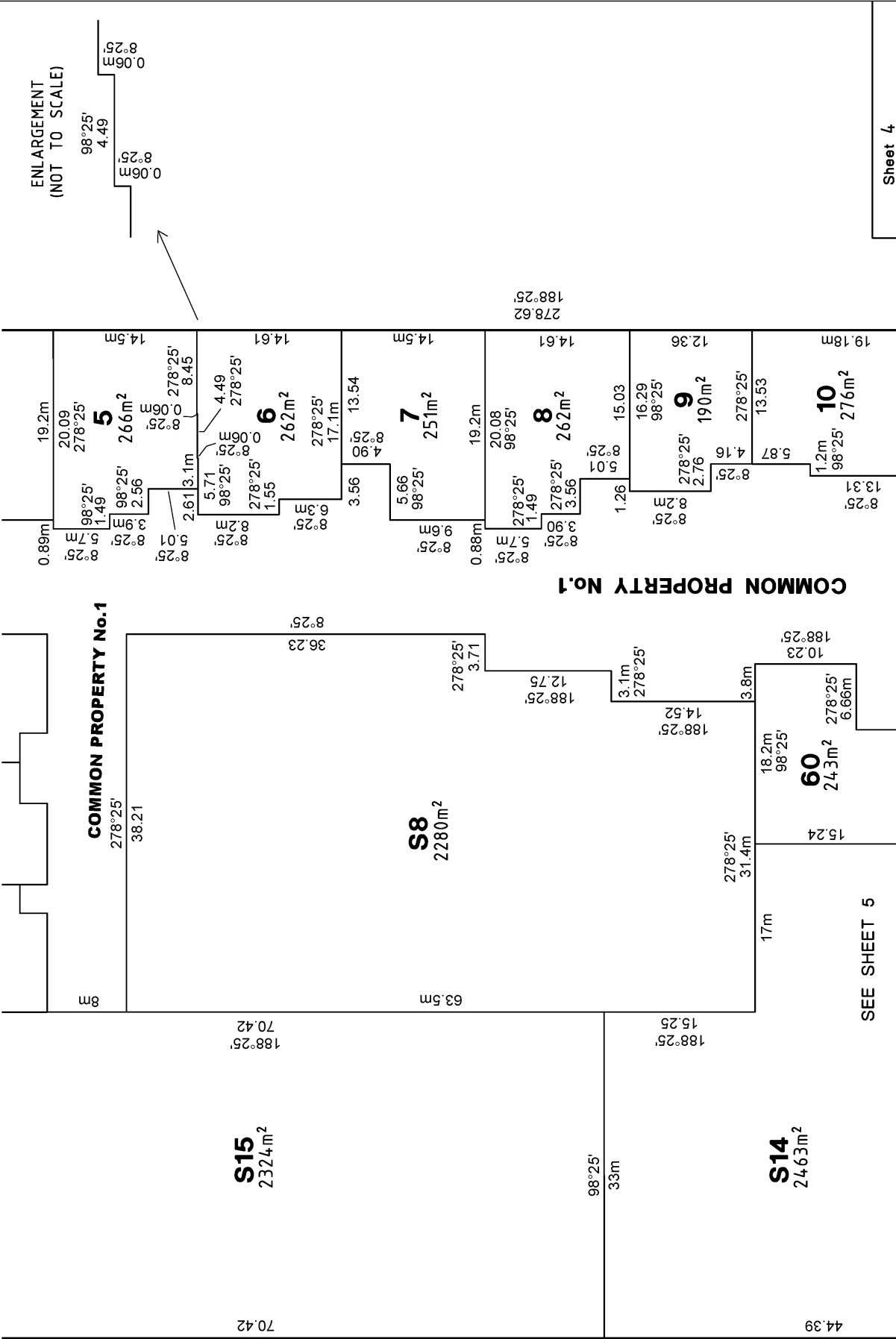
SEE SHEET 3

PLAN OF SUBDIVISION

Plan Number

PS 606836 R

STAGE NO



Sheet 4

AMS CONSULTING LAND SURVEYORS
 SUITE 12, 42-50 STUD ROAD, BAYSWATER, 3153
 PO BOX 6141, WANTIRNA MALL, 3152
 TELEPHONE: (03) 9720 5001
 FACSIMILE: (03) 9720 5001
 MOBILE: 0416 361 193
 EMAIL: amsso@bigpond.net.au
 ACN 058 815 993



ORIGINAL SCALE 1:400 SHEET SIZE A3

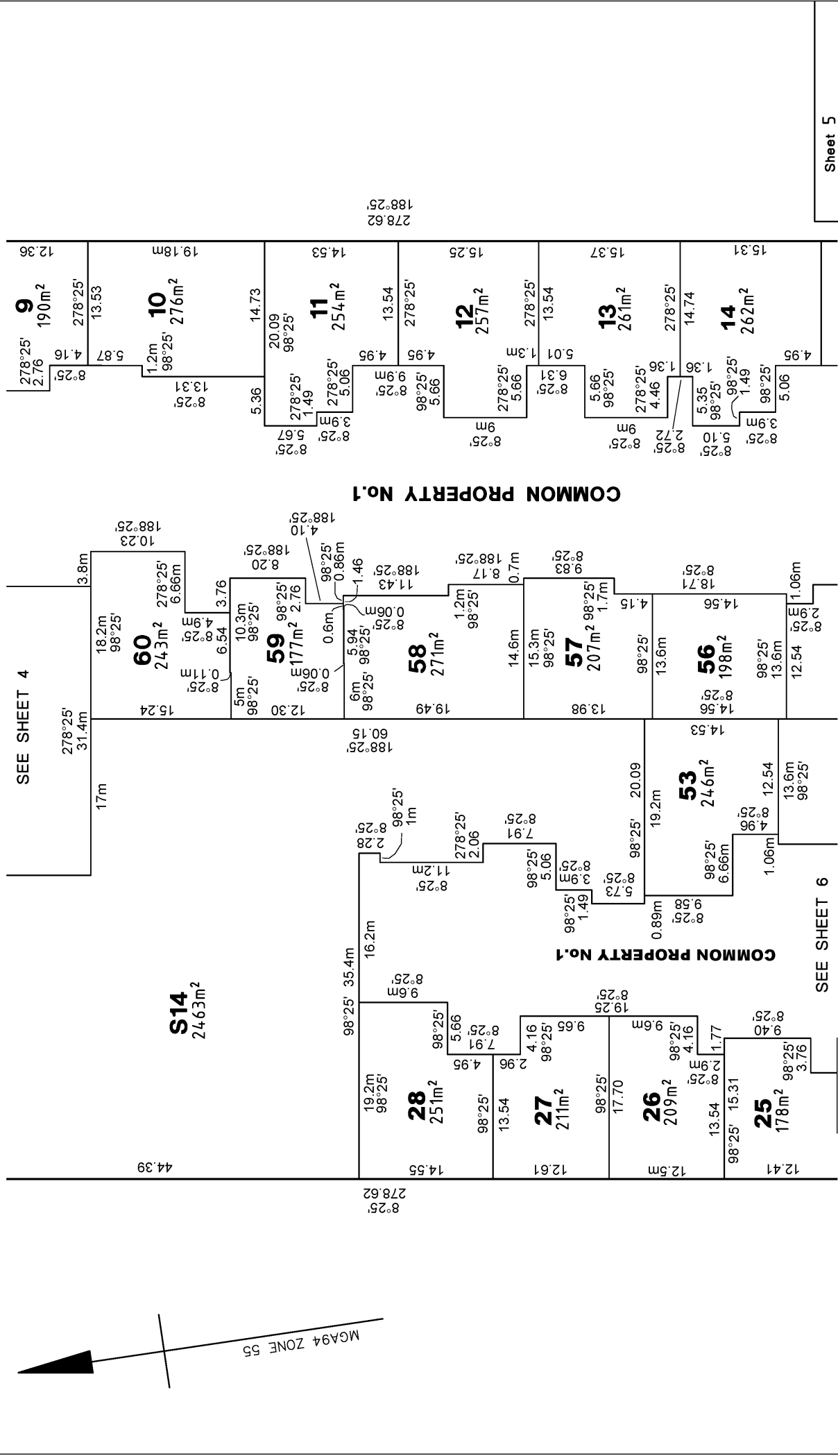
SCALE
 4 0 8 16
 LENGTHS ARE IN METRES

LICENSED SURVEYOR : **ANDREW MALCOLM SMITH**
 Signature Date **7 / 11 / 2019**
 REF. **2343-2** VERSION **1**
 2343COMPILDTOSTAGE13.dwg

.....
 Date / /
 Council Delegate Signature
 Original sheet size A3

PLAN OF SUBDIVISION

Plan Number
PS 606836 R

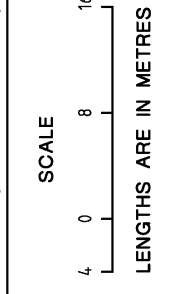


Sheet 5

LICENSED SURVEYOR : **ANDREW MALCOLM SMITH**

Signature Date **7 / 11 / 2019**

REF. **2343-2** VERSION **1** 2343COMPILDTOSTAGET13.dwg



ORIGINAL

SCALE **1:400**

SHEET SIZE **A3**

AMS CONSULTING LAND SURVEYORS
 SUITE 12, 42-50 STUD ROAD, BAYSWATER, 3153
 PO BOX 6141, WANTIRNA MALL, 3152
 TELEPHONE: (03) 9720 5001
 FACSIMILE: (03) 9720 5001
 MOBILE: 04 18 361 193
 EMAIL: amse@bigpond.net.au

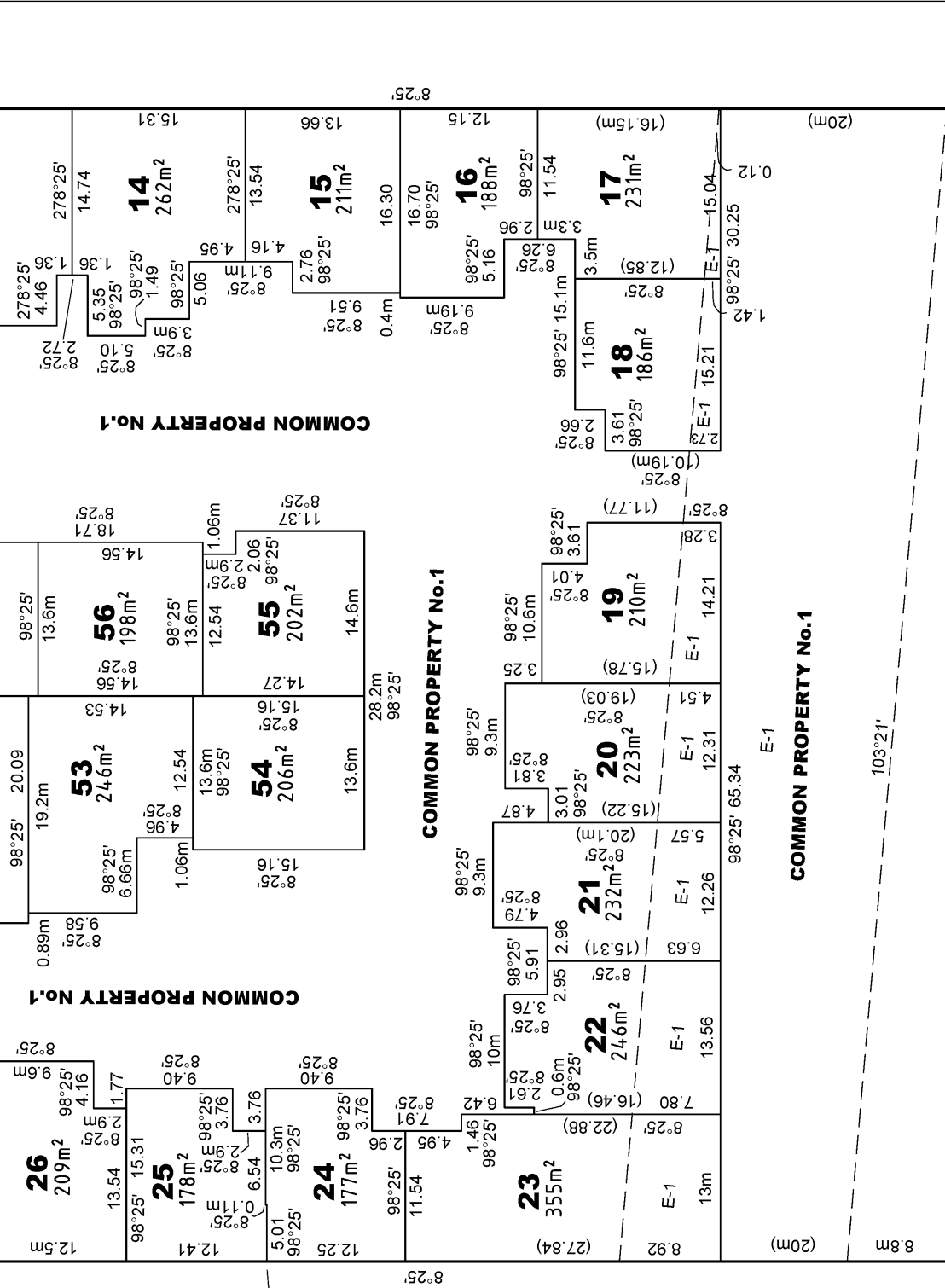
ACN 058 815 993

PLAN OF SUBDIVISION

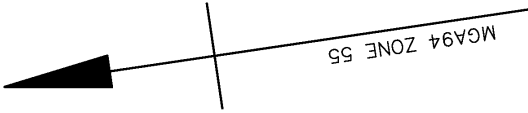
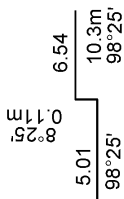
STAGE NO

Plan Number
PS 606836 R

SEE SHEET 5



ENLARGEMENT
(NOT TO SCALE)



101.95
278°24'50"

Sheet 6

AMS CONSULTING LAND SURVEYORS

SUITE 12, 42-50 STUD ROAD, BAYSWATER, 3153
 PO BOX 6141, WANTIRNA MALL, 3152
 TELEPHONE: (03) 9720 5001
 FACSIMILE: (03) 9720 5001
 MOBILE: 04 18 361 193
 EMAIL: amso@bigpond.net.au
 ACN 058 815 993



ORIGINAL

SCALE

SHEET SIZE

A3

LENGTHS ARE IN METRES

SCALE



LICENSED SURVEYOR : ANDREW MALCOLM SMITH

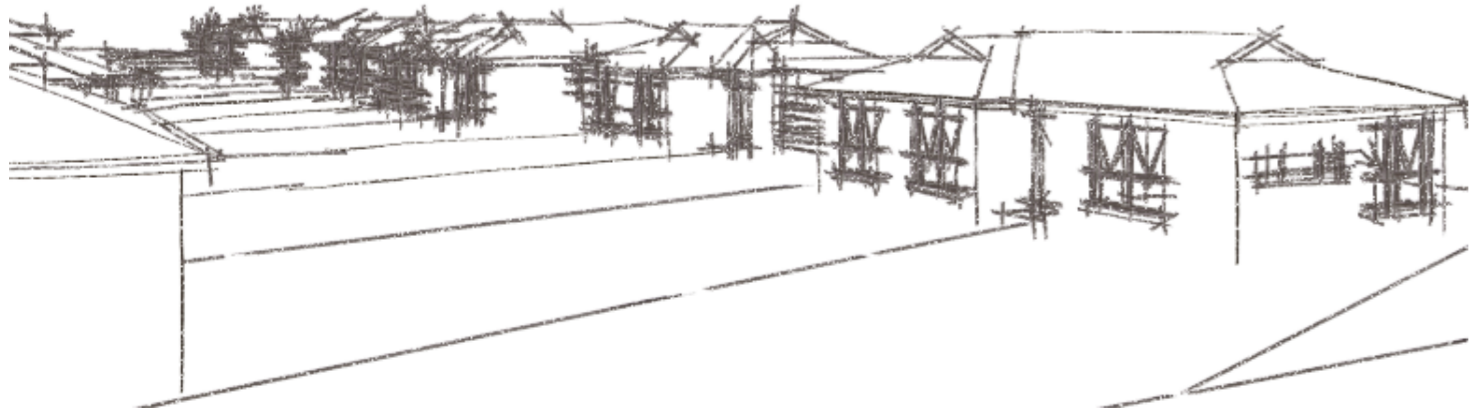
Signature Date 7 / 11 / 2019

REF. **2343-2** VERSION **1**

2343COMPILDTOSTAGET13.dwg

.....
Date / /
Council Delegate Signature

Original sheet size A3



LAZAROVSKI DESIGN

LAZAROVSKI DESIGN PTY LTD
MELBOURNE: 101 MORAY ST SOUTH MELBOURNE VIC 3205
GEE LONG: L1/87 LITTLE MALOP ST GEE LONG VIC 3220
hello@lazarovski.com.au | 1300 95 88 88 | CDP-AD 64532

© COPYRIGHT 2021 THESE DRAWINGS ARE NOT TO BE COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN CONSENT OF THE AUTHOR

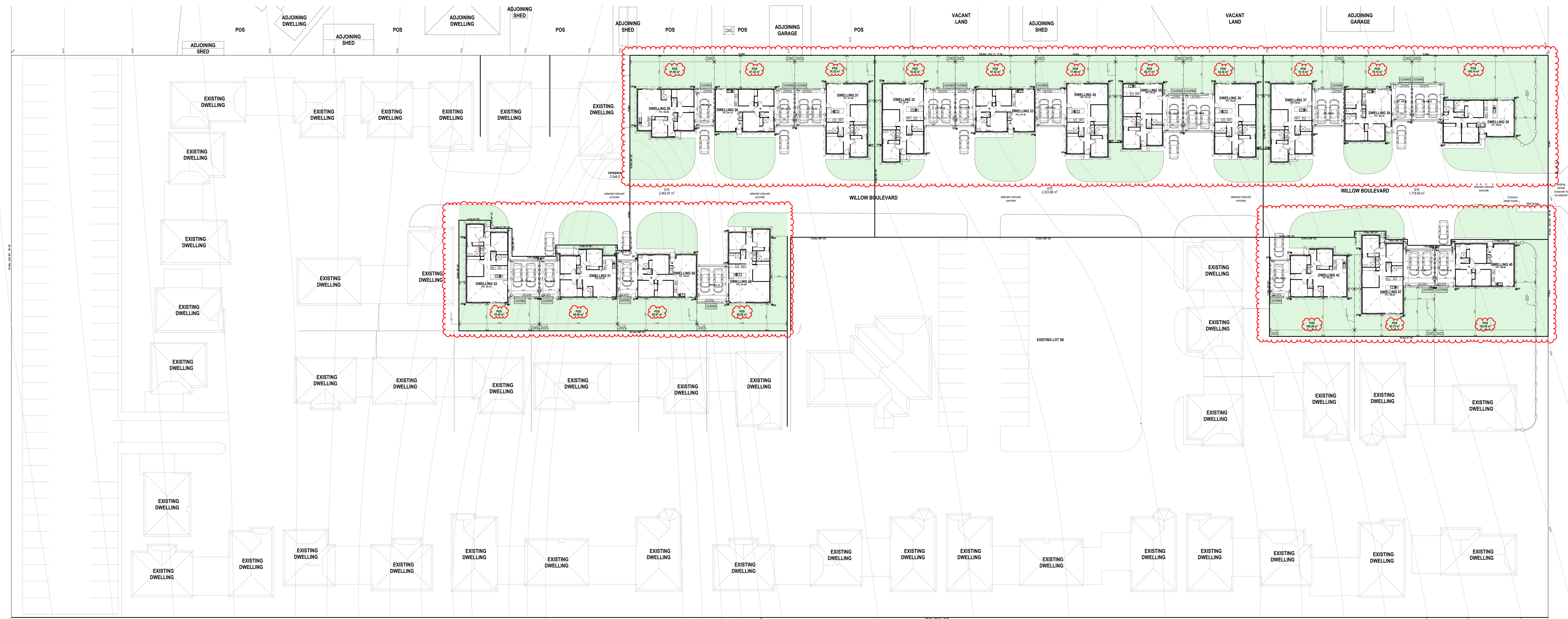
CONTENTS

| | |
|-----|-----------------------------|
| A01 | COVER PAGE |
| A02 | SITE PLAN 1:200 |
| A03 | GROUND FLOOR PLAN (D29-D31) |
| A04 | GROUND FLOOR PLAN (D32-D34) |
| A05 | GROUND FLOOR PLAN (D35-D36) |
| A06 | GROUND FLOOR PLAN (D37-D39) |
| A07 | GROUND FLOOR PLAN (D40-D42) |
| A08 | GROUND FLOOR PLAN (D49-D50) |
| A09 | GROUND FLOOR PLAN (D51-D52) |
| A10 | ELEVATIONS |
| A11 | ELEVATIONS |
| A12 | ELEVATIONS |
| A13 | ELEVATIONS |

WORKING DRAWINGS

PROPOSED:
DWELLINGS:
D29-D42 & D49-D52

AT:
53 RODIER ROAD
YARRAGON VIC 3823



- LEGEND**
- A/C air conditioner
 - HWS hot water service - min 500mm from title boundary
 - RWT rain water tank - min 50m² catchment area, connected to all toilets for the purpose of sanitary flushing
 - DP denotes 100/250 g.p. downpipe
 - existing tree to be retained
 - existing tree to be removed

SITE PLAN

SITE ANALYSIS

| | |
|---------------|-------------------------|
| site area | 28,405.31m ² |
| built up area | 2,308.59m ² |
| site coverage | 8.13% |

GARDEN AREA

| | |
|-------------|------------------------|
| site area | 7,399.87m ² |
| garden area | 2,868.37m ² |
| | 38.76% |

NOTES:

Levels to be determined on site by builder where cut and fill is required prior to construction of any works. Any discrepancies shall be verified prior to any construction by the builder. Cut & fill to the site shall be re-confirmed on every job prior to commencement of any works by the builder. Refer to the surveyor's last report for clarity and spot level locations.

The builder/contractor must ensure that no part of the proposed structure including drainage and footings is to encroach over the title boundary. Provide a survey plan from a licensed land surveyor should the builder not be able to determine the location of the title boundary.

STORMWATER NOTES:

Stormwater inspection openings at every 9m & every change of direction

Downpipes at 12m max spacings

Downpipes to be within 1.2m of valleys or overflow to gutters

min 100mm diameter UPVC pipe with 1:100 min fall AS 3600.3 typ.

Stormwater to be taken to legal point of discharge & to the satisfaction of the Responsible Authority, as per Relevant Building Surveyors requirements. The Responsible Authority is to ensure that the stormwater connection is confirmed prior to any works being carried out.

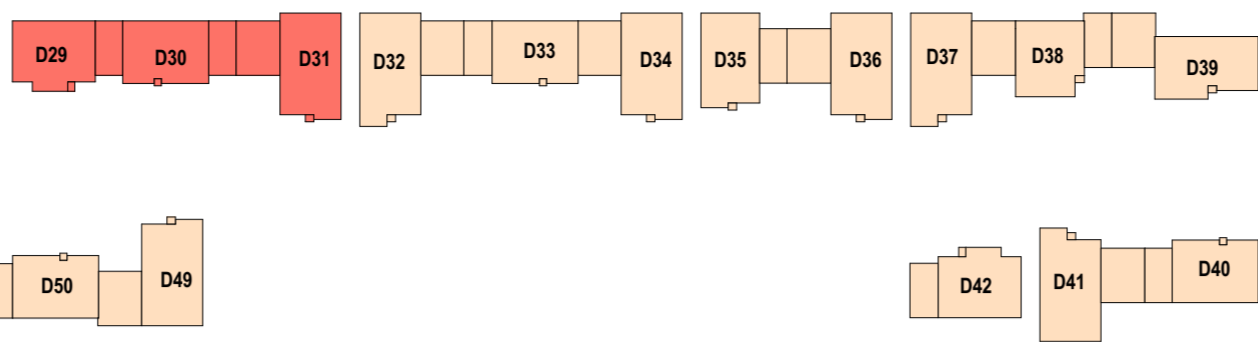
Refer to engineer's design and documentation for all stormwater details, stormwater layout & downpipe locations

CAR PARKING CALCULATIONS

| Dwelling | Bedrooms | Car Spaces | Garage |
|-------------|----------|------------|-------------------------------|
| Dwelling 29 | 3 | 2 | Single garage w/ tandem space |
| Dwelling 30 | 3 | 2 | Single garage w/ tandem space |
| Dwelling 31 | 3 | 2 | Double garage |
| Dwelling 32 | 3 | 2 | Double garage |
| Dwelling 33 | 3 | 2 | Single garage w/ tandem space |
| Dwelling 34 | 3 | 2 | Double garage |
| Dwelling 35 | 3 | 2 | Single garage w/ tandem space |
| Dwelling 36 | 3 | 2 | Double garage |
| Dwelling 37 | 3 | 2 | Double garage |
| Dwelling 38 | 3 | 2 | Single garage w/ tandem space |
| Dwelling 39 | 3 | 2 | Double garage |
| Dwelling 40 | 3 | 2 | Single garage w/ tandem space |
| Dwelling 41 | 3 | 2 | Double garage |
| Dwelling 42 | 3 | 2 | Single garage w/ tandem space |
| Dwelling 49 | 3 | 2 | Double garage |
| Dwelling 50 | 3 | 2 | Single garage w/ tandem space |
| Dwelling 51 | 3 | 2 | Single garage w/ tandem space |
| Dwelling 52 | 3 | 2 | Double garage |

GENERAL NOTES

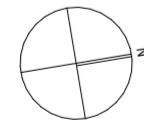
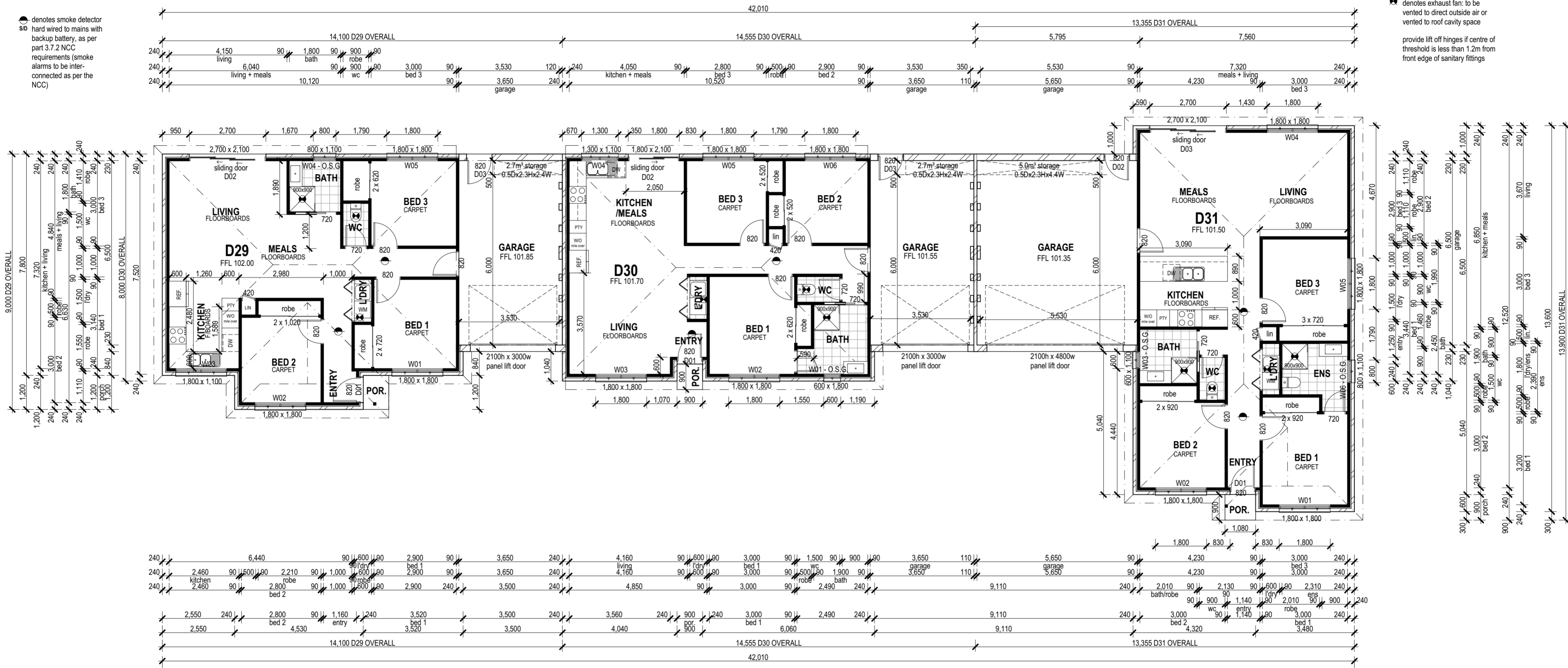
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE RELEVANT REGULATIONS AND STANDARDS.
2. THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK.
3. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJOINING PROPERTIES AT ALL TIMES.
4. THE DEVELOPER SHALL PROTECT ALL EXISTING UTILITIES AND SERVICES.
5. THE DEVELOPER SHALL MAINTAIN THE EXISTING SURFACE WATER DRAINAGE SYSTEM.
6. THE DEVELOPER SHALL MAINTAIN THE EXISTING SUBSURFACE WATER DRAINAGE SYSTEM.
7. THE DEVELOPER SHALL MAINTAIN THE EXISTING LANDSCAPE AND VEGETATION.
8. THE DEVELOPER SHALL MAINTAIN THE EXISTING SERVICES AND UTILITIES.
9. THE DEVELOPER SHALL MAINTAIN THE EXISTING ACCESS AND EGRESS.
10. THE DEVELOPER SHALL MAINTAIN THE EXISTING STRUCTURES AND BUILDINGS.
11. THE DEVELOPER SHALL MAINTAIN THE EXISTING FENCES AND BOUNDARIES.
12. THE DEVELOPER SHALL MAINTAIN THE EXISTING DRIVEWAYS AND PATHS.
13. THE DEVELOPER SHALL MAINTAIN THE EXISTING PARKING AREAS.
14. THE DEVELOPER SHALL MAINTAIN THE EXISTING STORAGE AREAS.
15. THE DEVELOPER SHALL MAINTAIN THE EXISTING WASTE DISPOSAL AREAS.
16. THE DEVELOPER SHALL MAINTAIN THE EXISTING WATER SUPPLY AREAS.
17. THE DEVELOPER SHALL MAINTAIN THE EXISTING SEWERAGE AREAS.
18. THE DEVELOPER SHALL MAINTAIN THE EXISTING GAS SUPPLY AREAS.
19. THE DEVELOPER SHALL MAINTAIN THE EXISTING ELECTRICITY SUPPLY AREAS.
20. THE DEVELOPER SHALL MAINTAIN THE EXISTING TELEPHONE AND CABLE AREAS.
21. THE DEVELOPER SHALL MAINTAIN THE EXISTING AIR CONDITIONING AREAS.
22. THE DEVELOPER SHALL MAINTAIN THE EXISTING HEATING AREAS.
23. THE DEVELOPER SHALL MAINTAIN THE EXISTING COOLING AREAS.
24. THE DEVELOPER SHALL MAINTAIN THE EXISTING VENTILATION AREAS.
25. THE DEVELOPER SHALL MAINTAIN THE EXISTING SOUND BARRIER AREAS.
26. THE DEVELOPER SHALL MAINTAIN THE EXISTING LIGHTING AREAS.
27. THE DEVELOPER SHALL MAINTAIN THE EXISTING SECURITY AREAS.
28. THE DEVELOPER SHALL MAINTAIN THE EXISTING SAFETY AREAS.
29. THE DEVELOPER SHALL MAINTAIN THE EXISTING HEALTH AND SAFETY AREAS.
30. THE DEVELOPER SHALL MAINTAIN THE EXISTING ENVIRONMENTAL AREAS.
31. THE DEVELOPER SHALL MAINTAIN THE EXISTING CULTURAL AREAS.
32. THE DEVELOPER SHALL MAINTAIN THE EXISTING HISTORICAL AREAS.
33. THE DEVELOPER SHALL MAINTAIN THE EXISTING ARCHITECTURAL AREAS.
34. THE DEVELOPER SHALL MAINTAIN THE EXISTING ARTISTIC AREAS.
35. THE DEVELOPER SHALL MAINTAIN THE EXISTING SCULPTURAL AREAS.
36. THE DEVELOPER SHALL MAINTAIN THE EXISTING LANDSCAPE ARCHITECTURE AREAS.
37. THE DEVELOPER SHALL MAINTAIN THE EXISTING GARDEN AREAS.
38. THE DEVELOPER SHALL MAINTAIN THE EXISTING TREES AND PLANTS.
39. THE DEVELOPER SHALL MAINTAIN THE EXISTING SOIL AREAS.
40. THE DEVELOPER SHALL MAINTAIN THE EXISTING WATER AREAS.
41. THE DEVELOPER SHALL MAINTAIN THE EXISTING AIR AREAS.
42. THE DEVELOPER SHALL MAINTAIN THE EXISTING LIGHT AREAS.
43. THE DEVELOPER SHALL MAINTAIN THE EXISTING SOUND AREAS.
44. THE DEVELOPER SHALL MAINTAIN THE EXISTING VIBRATION AREAS.
45. THE DEVELOPER SHALL MAINTAIN THE EXISTING POLLUTION AREAS.
46. THE DEVELOPER SHALL MAINTAIN THE EXISTING CLIMATE AREAS.
47. THE DEVELOPER SHALL MAINTAIN THE EXISTING WEATHER AREAS.
48. THE DEVELOPER SHALL MAINTAIN THE EXISTING CLIMATE CHANGE AREAS.
49. THE DEVELOPER SHALL MAINTAIN THE EXISTING ENVIRONMENTAL IMPACT AREAS.
50. THE DEVELOPER SHALL MAINTAIN THE EXISTING SOCIAL IMPACT AREAS.
51. THE DEVELOPER SHALL MAINTAIN THE EXISTING ECONOMIC IMPACT AREAS.
52. THE DEVELOPER SHALL MAINTAIN THE EXISTING CULTURAL IMPACT AREAS.
53. THE DEVELOPER SHALL MAINTAIN THE EXISTING HISTORICAL IMPACT AREAS.
54. THE DEVELOPER SHALL MAINTAIN THE EXISTING ARCHITECTURAL IMPACT AREAS.
55. THE DEVELOPER SHALL MAINTAIN THE EXISTING ARTISTIC IMPACT AREAS.
56. THE DEVELOPER SHALL MAINTAIN THE EXISTING SCULPTURAL IMPACT AREAS.
57. THE DEVELOPER SHALL MAINTAIN THE EXISTING LANDSCAPE ARCHITECTURE IMPACT AREAS.
58. THE DEVELOPER SHALL MAINTAIN THE EXISTING GARDEN IMPACT AREAS.
59. THE DEVELOPER SHALL MAINTAIN THE EXISTING TREES AND PLANTS IMPACT AREAS.
60. THE DEVELOPER SHALL MAINTAIN THE EXISTING SOIL IMPACT AREAS.
61. THE DEVELOPER SHALL MAINTAIN THE EXISTING WATER IMPACT AREAS.
62. THE DEVELOPER SHALL MAINTAIN THE EXISTING AIR IMPACT AREAS.
63. THE DEVELOPER SHALL MAINTAIN THE EXISTING LIGHT IMPACT AREAS.
64. THE DEVELOPER SHALL MAINTAIN THE EXISTING SOUND IMPACT AREAS.
65. THE DEVELOPER SHALL MAINTAIN THE EXISTING VIBRATION IMPACT AREAS.
66. THE DEVELOPER SHALL MAINTAIN THE EXISTING POLLUTION IMPACT AREAS.
67. THE DEVELOPER SHALL MAINTAIN THE EXISTING CLIMATE IMPACT AREAS.
68. THE DEVELOPER SHALL MAINTAIN THE EXISTING WEATHER IMPACT AREAS.
69. THE DEVELOPER SHALL MAINTAIN THE EXISTING CLIMATE CHANGE IMPACT AREAS.
70. THE DEVELOPER SHALL MAINTAIN THE EXISTING ENVIRONMENTAL IMPACT ASSESSMENT AREAS.
71. THE DEVELOPER SHALL MAINTAIN THE EXISTING SOCIAL IMPACT ASSESSMENT AREAS.
72. THE DEVELOPER SHALL MAINTAIN THE EXISTING ECONOMIC IMPACT ASSESSMENT AREAS.
73. THE DEVELOPER SHALL MAINTAIN THE EXISTING CULTURAL IMPACT ASSESSMENT AREAS.
74. THE DEVELOPER SHALL MAINTAIN THE EXISTING HISTORICAL IMPACT ASSESSMENT AREAS.
75. THE DEVELOPER SHALL MAINTAIN THE EXISTING ARCHITECTURAL IMPACT ASSESSMENT AREAS.
76. THE DEVELOPER SHALL MAINTAIN THE EXISTING ARTISTIC IMPACT ASSESSMENT AREAS.
77. THE DEVELOPER SHALL MAINTAIN THE EXISTING SCULPTURAL IMPACT ASSESSMENT AREAS.
78. THE DEVELOPER SHALL MAINTAIN THE EXISTING LANDSCAPE ARCHITECTURE IMPACT ASSESSMENT AREAS.
79. THE DEVELOPER SHALL MAINTAIN THE EXISTING GARDEN IMPACT ASSESSMENT AREAS.
80. THE DEVELOPER SHALL MAINTAIN THE EXISTING TREES AND PLANTS IMPACT ASSESSMENT AREAS.
81. THE DEVELOPER SHALL MAINTAIN THE EXISTING SOIL IMPACT ASSESSMENT AREAS.
82. THE DEVELOPER SHALL MAINTAIN THE EXISTING WATER IMPACT ASSESSMENT AREAS.
83. THE DEVELOPER SHALL MAINTAIN THE EXISTING AIR IMPACT ASSESSMENT AREAS.
84. THE DEVELOPER SHALL MAINTAIN THE EXISTING LIGHT IMPACT ASSESSMENT AREAS.
85. THE DEVELOPER SHALL MAINTAIN THE EXISTING SOUND IMPACT ASSESSMENT AREAS.
86. THE DEVELOPER SHALL MAINTAIN THE EXISTING VIBRATION IMPACT ASSESSMENT AREAS.
87. THE DEVELOPER SHALL MAINTAIN THE EXISTING POLLUTION IMPACT ASSESSMENT AREAS.
88. THE DEVELOPER SHALL MAINTAIN THE EXISTING CLIMATE IMPACT ASSESSMENT AREAS.
89. THE DEVELOPER SHALL MAINTAIN THE EXISTING WEATHER IMPACT ASSESSMENT AREAS.
90. THE DEVELOPER SHALL MAINTAIN THE EXISTING CLIMATE CHANGE IMPACT ASSESSMENT AREAS.
91. THE DEVELOPER SHALL MAINTAIN THE EXISTING ENVIRONMENTAL IMPACT ASSESSMENT REPORT AREAS.
92. THE DEVELOPER SHALL MAINTAIN THE EXISTING SOCIAL IMPACT ASSESSMENT REPORT AREAS.
93. THE DEVELOPER SHALL MAINTAIN THE EXISTING ECONOMIC IMPACT ASSESSMENT REPORT AREAS.
94. THE DEVELOPER SHALL MAINTAIN THE EXISTING CULTURAL IMPACT ASSESSMENT REPORT AREAS.
95. THE DEVELOPER SHALL MAINTAIN THE EXISTING HISTORICAL IMPACT ASSESSMENT REPORT AREAS.
96. THE DEVELOPER SHALL MAINTAIN THE EXISTING ARCHITECTURAL IMPACT ASSESSMENT REPORT AREAS.
97. THE DEVELOPER SHALL MAINTAIN THE EXISTING ARTISTIC IMPACT ASSESSMENT REPORT AREAS.
98. THE DEVELOPER SHALL MAINTAIN THE EXISTING SCULPTURAL IMPACT ASSESSMENT REPORT AREAS.
99. THE DEVELOPER SHALL MAINTAIN THE EXISTING LANDSCAPE ARCHITECTURE IMPACT ASSESSMENT REPORT AREAS.
100. THE DEVELOPER SHALL MAINTAIN THE EXISTING GARDEN IMPACT ASSESSMENT REPORT AREAS.



☉ denotes smoke detector hard wired to mains with backup battery, as per part 3.7.2 NCC requirements (smoke alarms to be interconnected as per the NCC)

☒ denotes exhaust fan: to be vented to direct outside air or vented to roof cavity space

provide lift off hinges if centre of threshold is less than 1.2m from front edge of sanitary fittings



GROUND FLOOR PLAN - DWELLING 29-31

SCALE 1:100

AREA: DWELLING 29

| | | |
|--------------|----------------------------|----------------|
| ground floor | 88.12m ² | 9.48sq |
| garage | 24.36m ² | 2.62sq |
| porch | 1.08m ² | 0.12sq |
| total | 113.56m² | 12.22sq |

AREA: DWELLING 30

| | | |
|--------------|----------------------------|----------------|
| ground floor | 87.46m ² | 9.41sq |
| garage | 24.36m ² | 2.62sq |
| porch | 0.81m ² | 0.09sq |
| total | 112.63m² | 12.12sq |

AREA: DWELLING 31

| | | |
|--------------|----------------------------|----------------|
| ground floor | 103.49m ² | 11.14sq |
| garage | 39.05m ² | 4.20sq |
| porch | 0.97m ² | 0.10sq |
| total | 143.51m² | 15.45sq |

PROPOSED:
**DWELLINGS:
D29-D42 & D49-D52**

AT:
**53 RODIER ROAD
YARRAGON VIC 3823**

DATE: **22/08/2022** PROJECT NO: **833393**

AMENDMENTS:

SCALE: **1:100 @ A2**

SHEET:

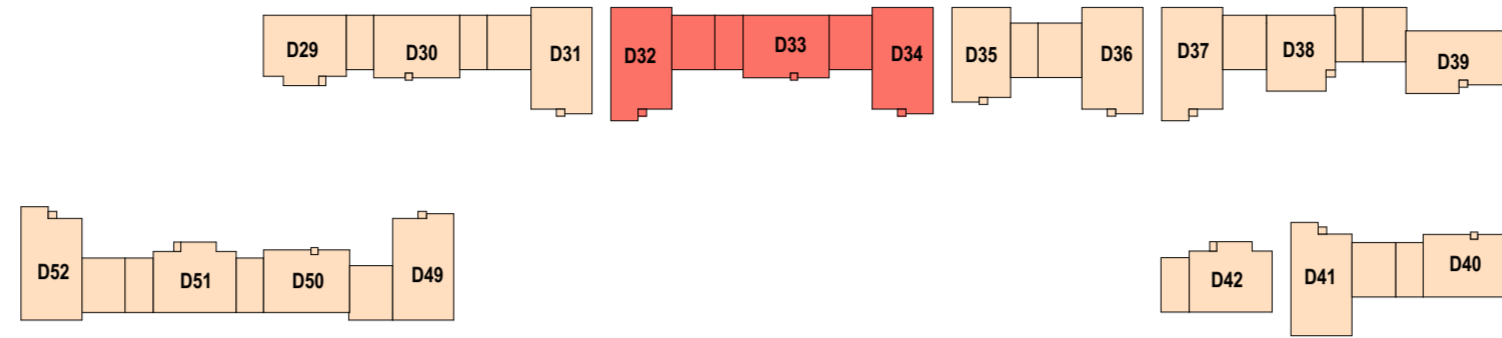
A03

LAZAROVSKI DESIGN

MELBOURNE: 101 MORAY ST SOUTH MELBOURNE VIC 3205
GEELENG: L1/87 LITTLE MALOP ST GEELENG VIC 3220

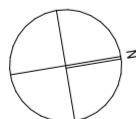
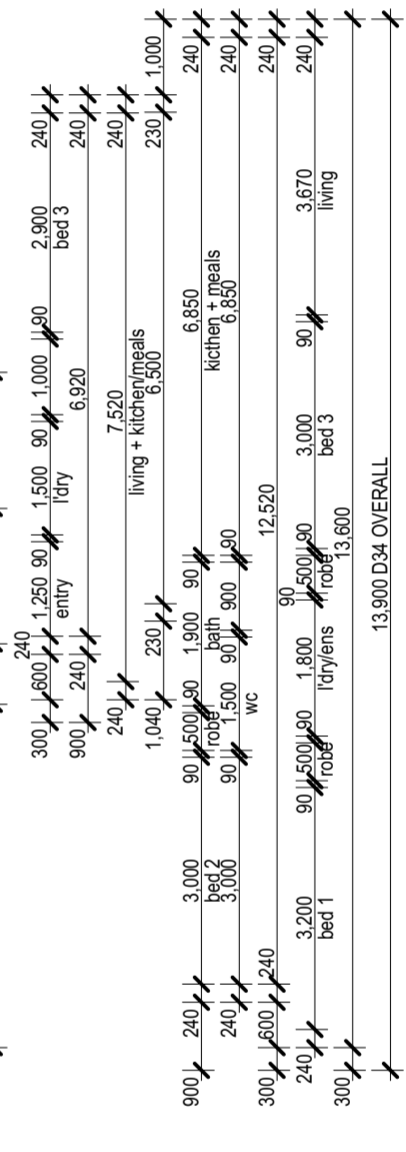
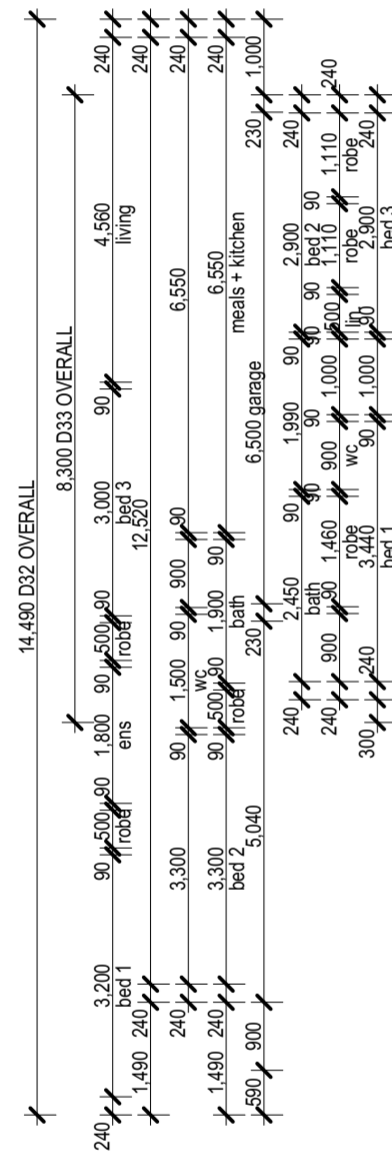
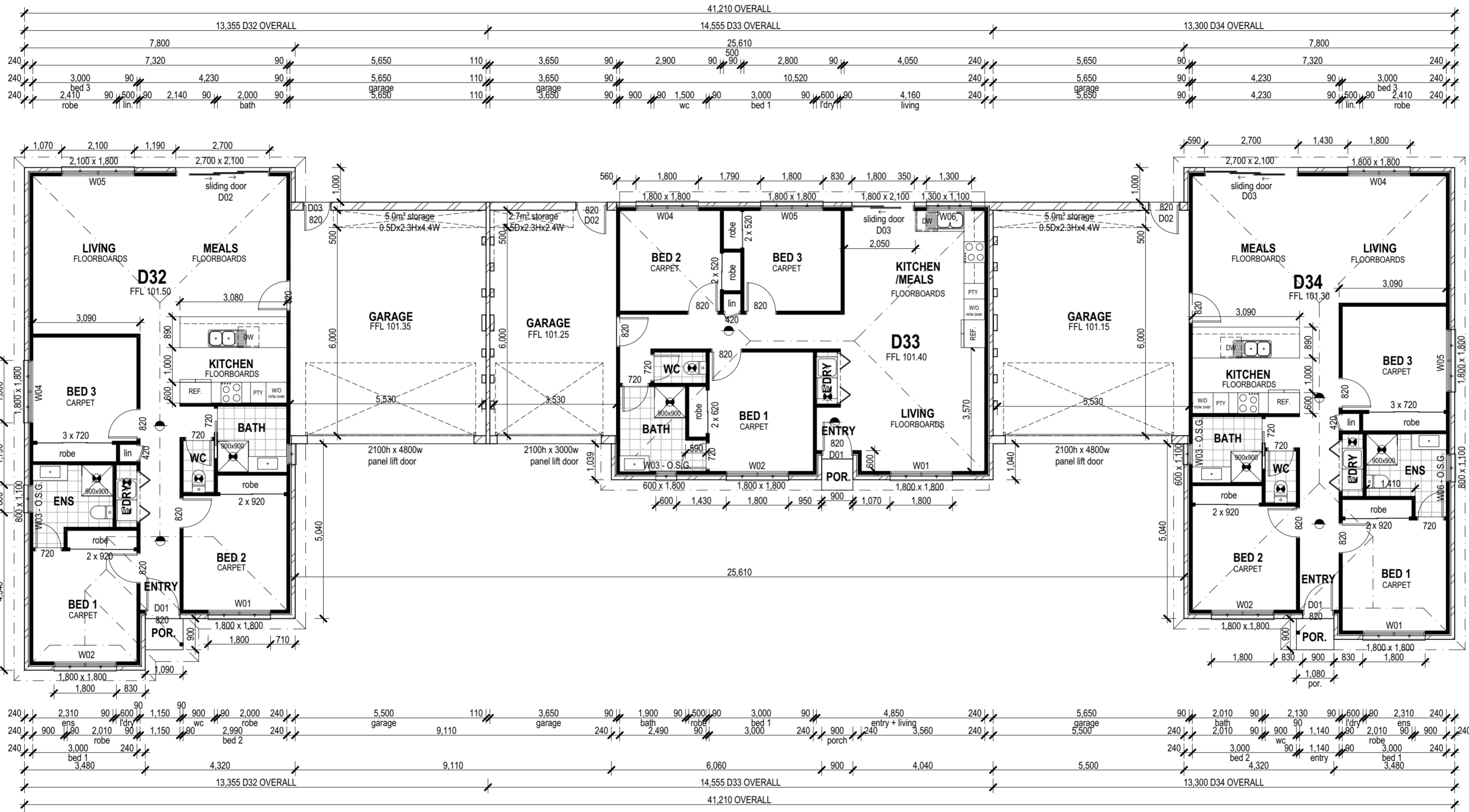
hello@lazarovski.com.au | 1300 95 88 88 | CDP-AD 64532

© COPYRIGHT 2021 THESE DRAWINGS ARE NOT TO BE COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN CONSENT OF THE AUTHOR



☼ denotes smoke detector
 sid hard wired to mains with backup battery, as per part 3.7.2 NCC requirements (smoke alarms to be interconnected as per the NCC)

☼ denotes exhaust fan: to be vented to direct outside air or vented to roof cavity space
 provide lift off hinges if centre of threshold is less than 1.2m from front edge of sanitary fittings



GROUND FLOOR PLAN - DWELLING 32-34

SCALE 1:100

AREA: DWELLING 32

| | | |
|--------------|----------------------------|----------------|
| ground floor | 106.59m ² | 11.47sq |
| garage | 38.26m ² | 4.12sq |
| porch | 0.98m ² | 0.10sq |
| total | 145.85m² | 15.70sq |

AREA: DWELLING 33

| | | |
|--------------|----------------------------|----------------|
| ground floor | 87.46m ² | 9.41sq |
| garage | 24.36m ² | 2.62sq |
| porch | 0.81m ² | 0.09sq |
| total | 112.63m² | 12.12sq |

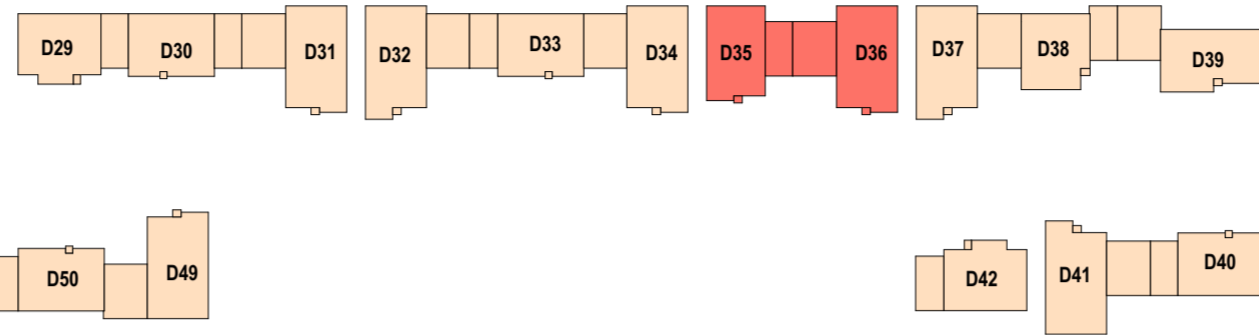
AREA: DWELLING 34

| | | |
|--------------|----------------------------|----------------|
| ground floor | 103.49m ² | 11.14sq |
| garage | 39.05m ² | 4.20sq |
| porch | 0.97m ² | 0.10sq |
| total | 143.51m² | 15.45sq |

PROPOSED:
**DWELLINGS:
 D29-D42 & D49-D52**
 AT:
**53 RODIER ROAD
 YARRAGON VIC 3823**

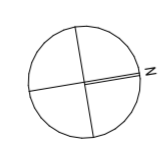
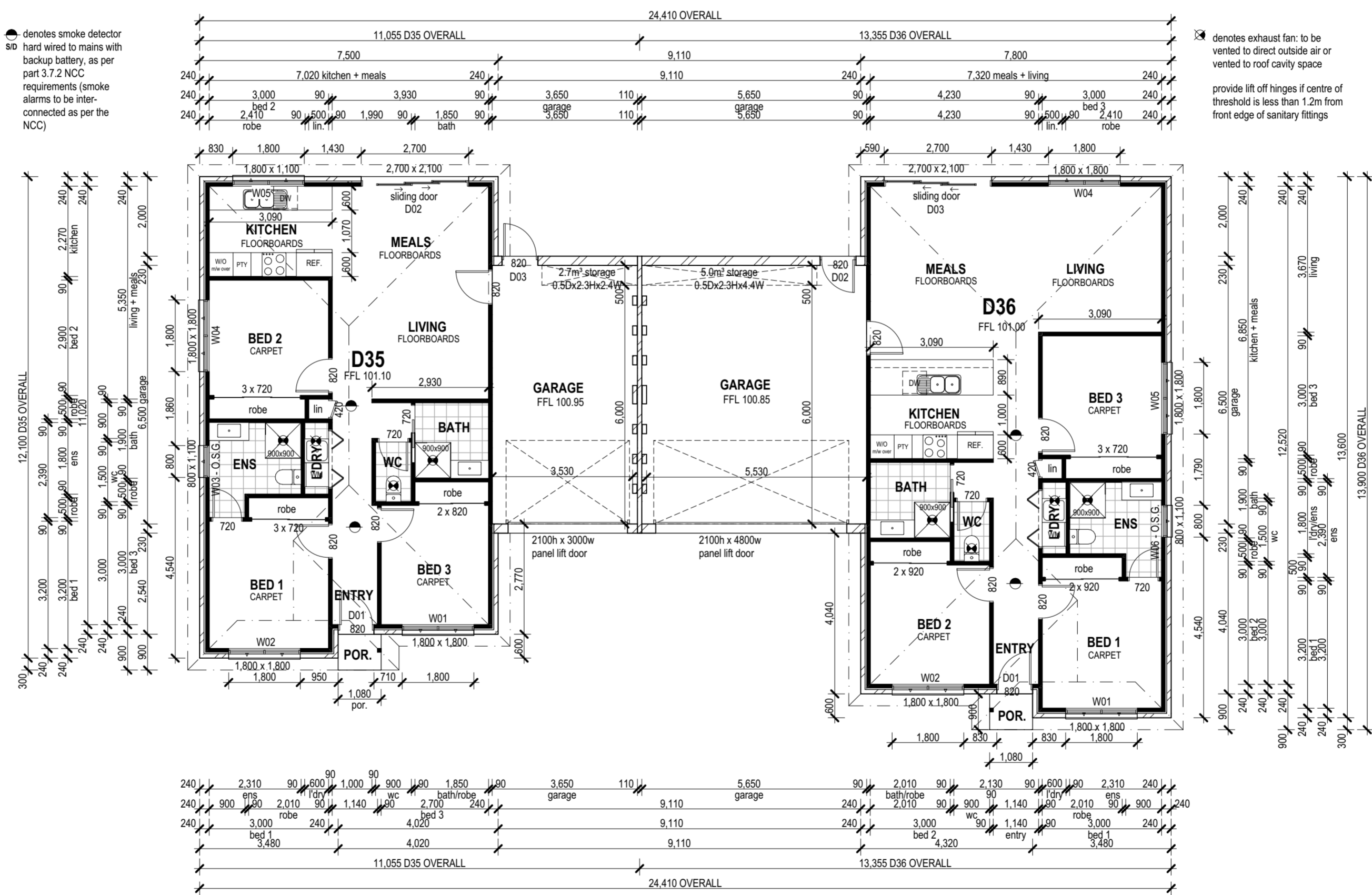
DATE: **22/08/2022** PROJECT NO: **833393**
 AMENDMENTS:

SCALE: **1:100 @ A2** SHEET:



● denotes smoke detector
 s/d hard wired to mains with backup battery, as per part 3.7.2 NCC requirements (smoke alarms to be interconnected as per the NCC)

⊗ denotes exhaust fan: to be vented to direct outside air or vented to roof cavity space
 provide lift off hinges if centre of threshold is less than 1.2m from front edge of sanitary fittings



GROUND FLOOR PLAN - DWELLING 35-36

SCALE 1:100

AREA: DWELLING 35

| | | |
|--------------|----------------------------|----------------|
| ground floor | 88.34m ² | 9.51sq |
| garage | 25.13m ² | 2.71sq |
| porch | 0.97m ² | 0.10sq |
| total | 114.44m² | 12.32sq |

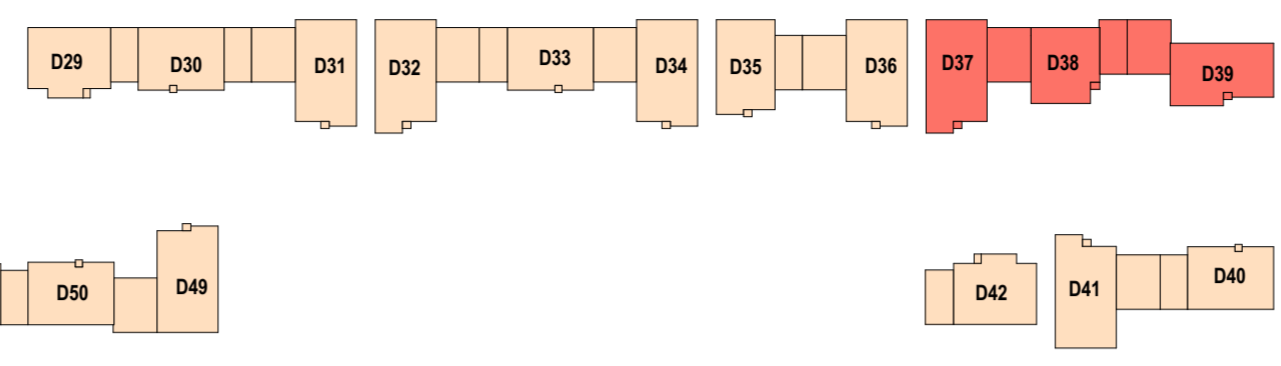
AREA: DWELLING 36

| | | |
|--------------|----------------------------|----------------|
| ground floor | 103.49m ² | 11.14sq |
| garage | 39.05m ² | 4.20sq |
| porch | 0.97m ² | 0.10sq |
| total | 143.51m² | 15.45sq |

PROPOSED:
**DWELLINGS:
 D29-D42 & D49-D52**
 AT:
**53 RODIER ROAD
 YARRAGON VIC 3823**

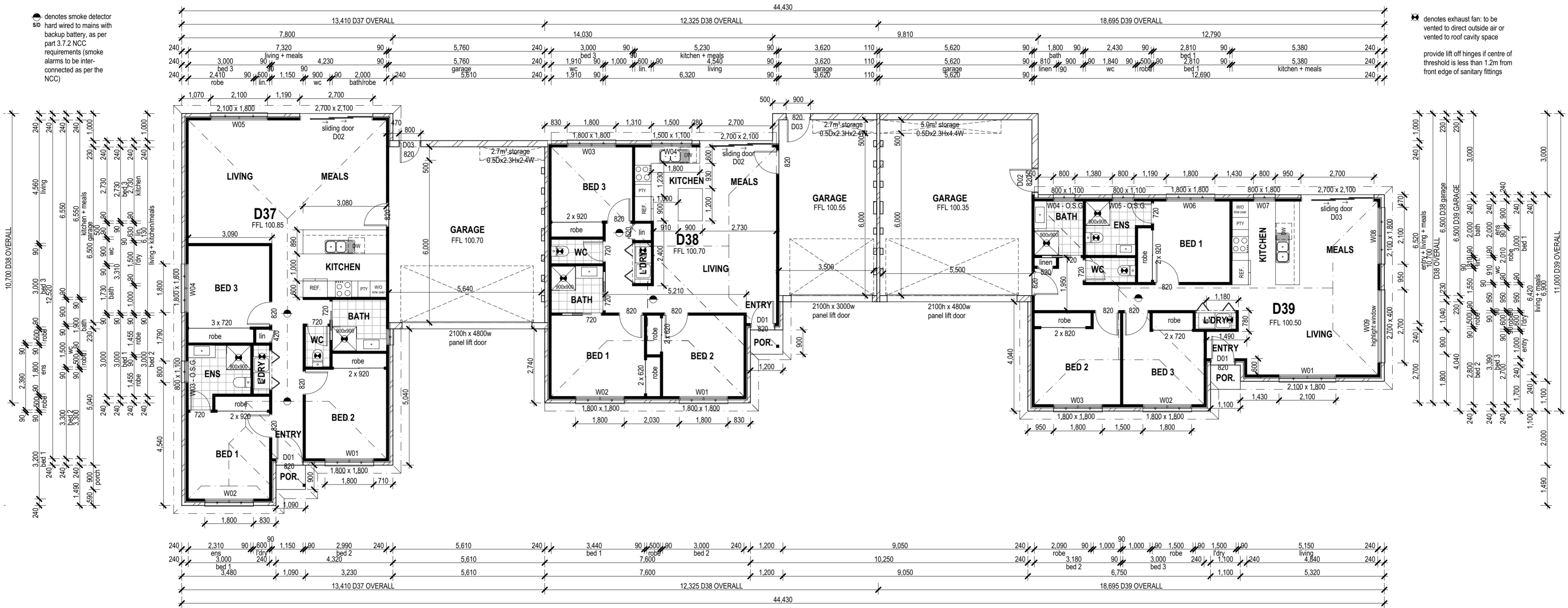
DATE: **22/08/2022** PROJECT NO: **833393**
 AMENDMENTS:

SCALE: **1:100 @ A2** SHEET:



● denotes smoke detector
SD hard wired to mains with backup battery, as per part 3.7.2 NCC requirements (smoke alarms to be interconnected as per the NCC)

⊠ denotes exhaust fan: to be vented to direct outside air or vented to roof cavity space
provide lift hinges if centre of threshold is less than 1.2m from front edge of sanitary fittings



GROUND FLOOR PLAN - DWELLING 37-39

SCALE 1:100

| AREA: | DWELLING 37 | | DWELLING 38 | | DWELLING 39 | |
|--------------|----------------------|---------|----------------------|---------|----------------------|---------|
| ground floor | 106.59m ² | 11.47sq | 82.12m ² | 8.84sq | 98.04m ² | 10.55sq |
| garage | 39.05m ² | 4.20sq | 24.47m ² | 2.63sq | 38.61m ² | 4.16sq |
| porch | 0.98m ² | 0.11sq | 1.08m ² | 0.12sq | 0.99m ² | 0.11sq |
| total | 146.61m ² | 15.78sq | 107.67m ² | 11.59sq | 137.64m ² | 14.82sq |

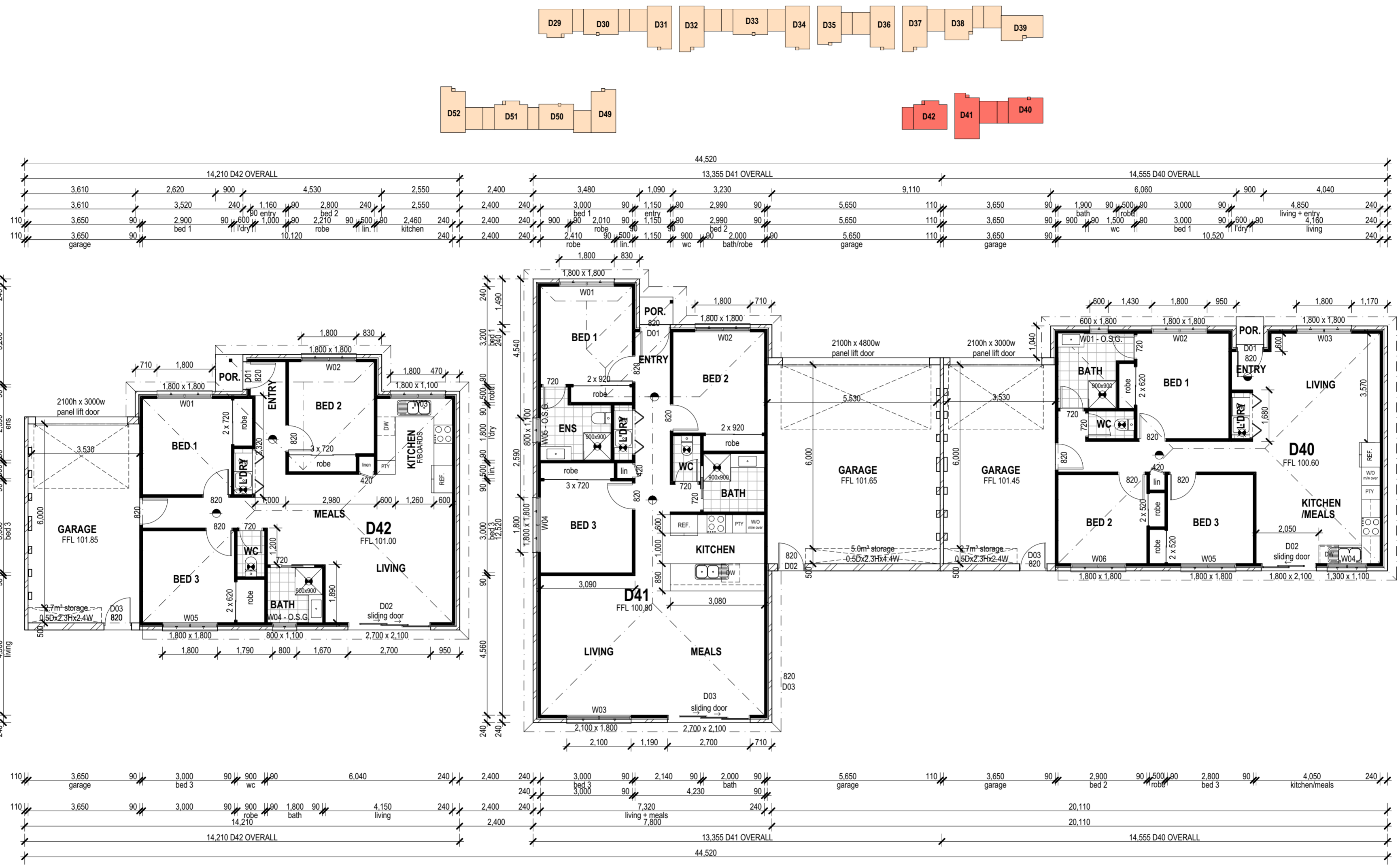
PROPOSED:
**DWELLINGS:
D29-D42 & D49-D52**

AT:
**53 RODIER ROAD
YARRAGON VIC 3823**

DATE: **22/08/2022** PROJECT NO: **833393**

AMENDMENTS:

SCALE: **1:100 @ A2** SHEET:



GROUND FLOOR PLAN - DWELLING 40-42

SCALE 1:100

| AREA: DWELLING 40 | | | AREA: DWELLING 41 | | | AREA: DWELLING 42 | | |
|-------------------|----------------------|---------|-------------------|----------------------|---------|-------------------|----------------------|---------|
| ground floor | 87.46m ² | 9.41sq | ground floor | 106.59m ² | 11.47sq | ground floor | 88.12m ² | 9.48sq |
| garage | 24.36m ² | 2.62sq | garage | 39.05m ² | 4.20sq | garage | 25.13m ² | 2.71sq |
| porch | 0.81m ² | 0.09sq | porch | 0.98m ² | 0.11sq | porch | 1.08m ² | 0.12sq |
| total | 112.63m ² | 12.12sq | total | 146.61m ² | 15.78sq | total | 114.32m ² | 12.31sq |

PROPOSED:
**DWELLINGS:
 D29-D42 & D49-D52**

AT:
**53 RODIER ROAD
 YARRAGON VIC 3823**

DATE: **22/08/2022** PROJECT NO: **833393**

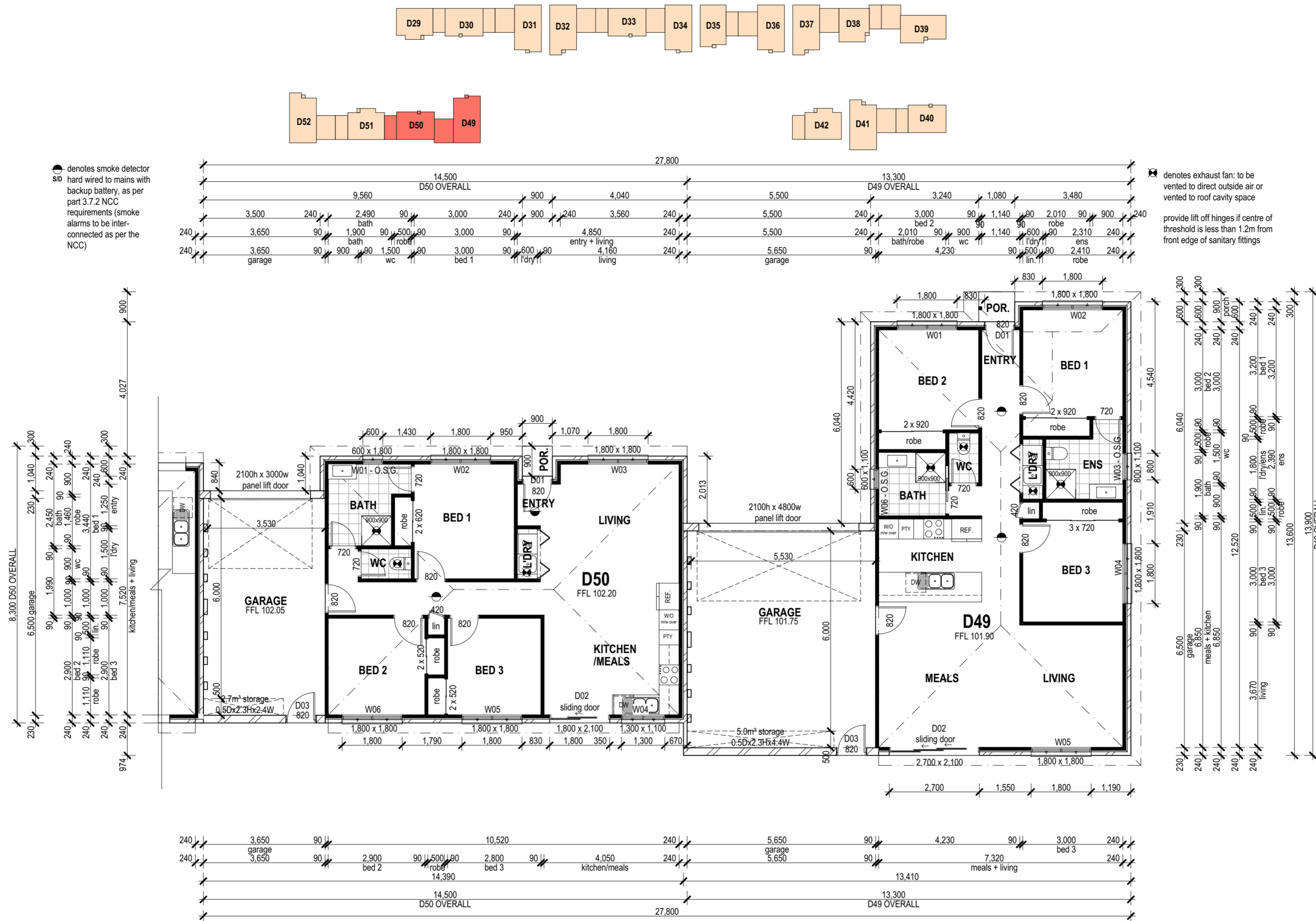
AMENDMENTS:

SCALE: **1:100 @ A2** SHEET:

● denotes smoke detector hard wired to mains with backup battery, as per part 3.7.2 NCC requirements (smoke alarms to be interconnected as per the NCC)

✕ denotes exhaust fan: to be vented to direct outside air or vented to roof cavity space

provide lift off hinges if centre of threshold is less than 1.2m from front edge of sanitary fittings



GROUND FLOOR PLAN - DWELLING 49-50

SCALE 1:100

AREA: DWELLING 49

| | | |
|--------------|----------------------|---------|
| ground floor | 87.46m ² | 9.41sq |
| garage | 24.36m ² | 2.62sq |
| porch | 0.81m ² | 0.09sq |
| total | 112.63m ² | 12.12sq |

AREA: DWELLING 50

| | | |
|--------------|----------------------|---------|
| ground floor | 103.49m ² | 11.14sq |
| garage | 38.39m ² | 4.13sq |
| porch | 0.97m ² | 0.10sq |
| total | 142.85m ² | 15.38sq |

PROPOSED:
**DWELLINGS:
D29-D42 & D49-D52**

AT:
**53 RODIER ROAD
YARRAGON VIC 3823**

DATE:
22/08/2022

PROJECT NO:
833393

AMENDMENTS:

SCALE:
1:100 @ A2

SHEET:

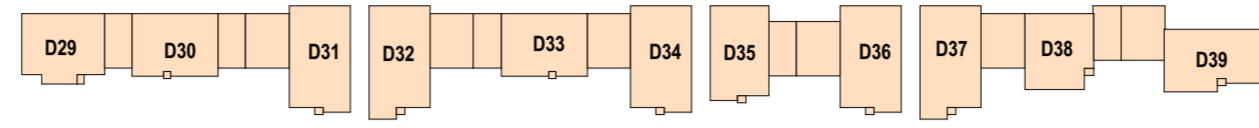
A08

LAZAROVSKI DESIGN

MELBOURNE: 101 MORAY ST SOUTH MELBOURNE VIC 3205
GEELENG: L1/87 LITTLE MALOP ST GEELENG VIC 3220

hello@lazarovski.com.au | 1300 95 88 88 | CDP-AD 64532

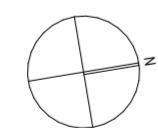
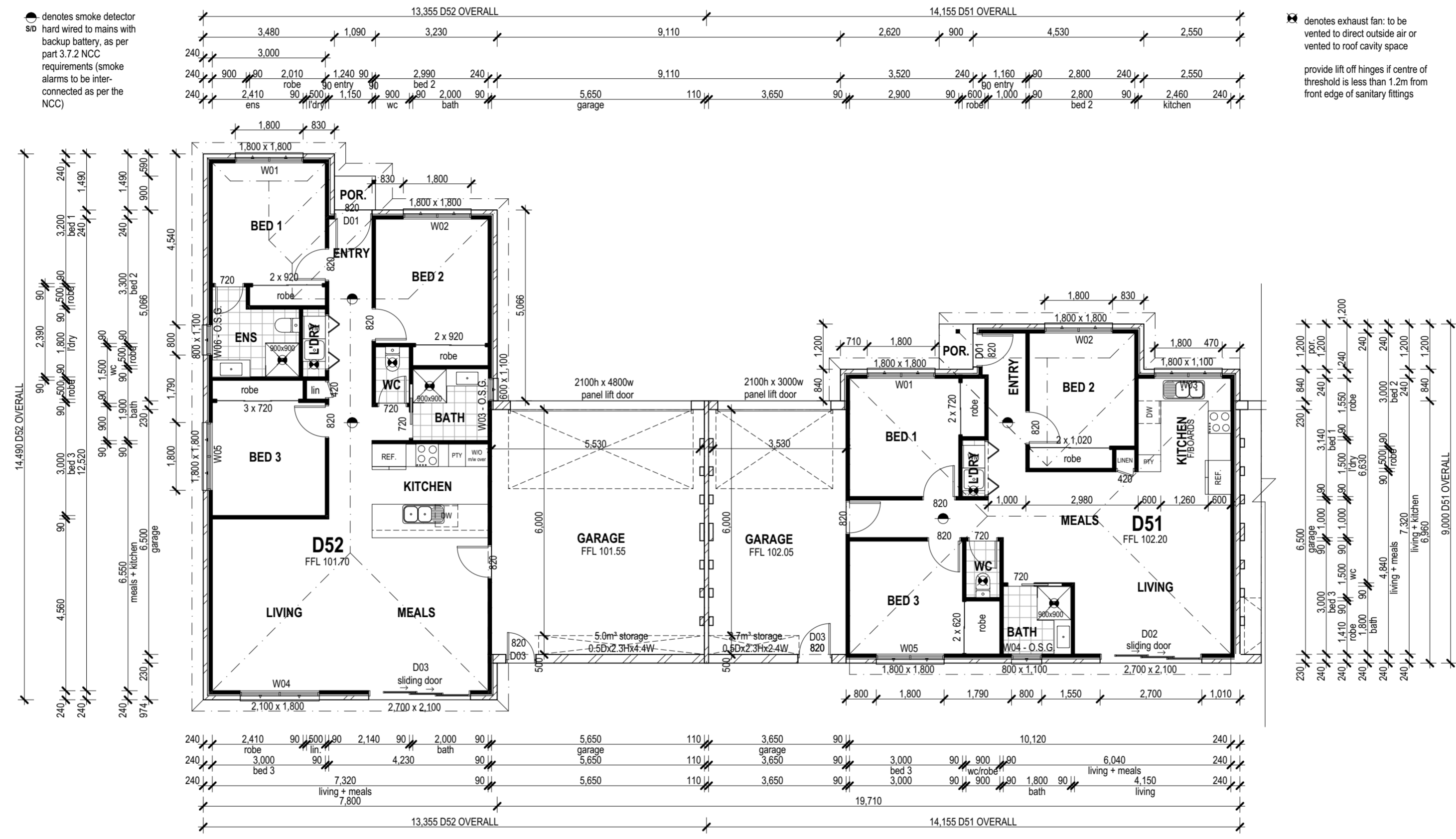
© COPYRIGHT 2021 THESE DRAWINGS ARE NOT TO BE COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN CONSENT OF THE AUTHOR



denotes smoke detector
 hard wired to mains with backup battery, as per part 3.7.2 NCC requirements (smoke alarms to be interconnected as per the NCC)

denotes exhaust fan: to be vented to direct outside air or vented to roof cavity space

 provide lift off hinges if centre of threshold is less than 1.2m from front edge of sanitary fittings



GROUND FLOOR PLAN - DWELLING 51-52

SCALE 1:100

AREA: DWELLING 51

| | | |
|--------------|----------------------|---------|
| ground floor | 88.12m ² | 9.48sq |
| garage | 25.13m ² | 2.70sq |
| porch | 1.08m ² | 0.12sq |
| total | 114.32m ² | 12.30sq |

AREA: DWELLING 52

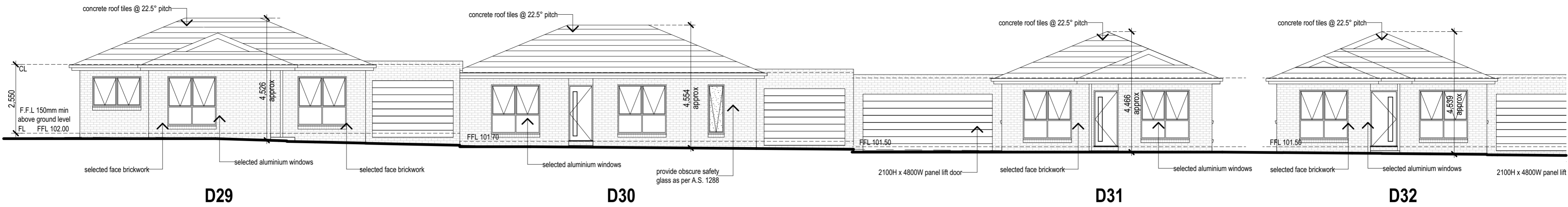
| | | |
|--------------|----------------------|---------|
| ground floor | 106.59m ² | 11.47sq |
| garage | 38.28m ² | 4.12sq |
| porch | 0.98m ² | 0.11sq |
| total | 145.84m ² | 15.70sq |

PROPOSED:
**DWELLINGS:
 D29-D42 & D49-D52**

 AT:
**53 RODIER ROAD
 YARRAGON VIC 3823**

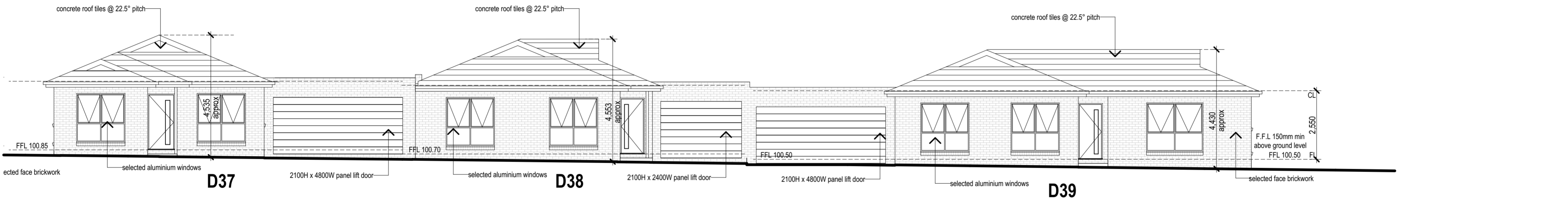
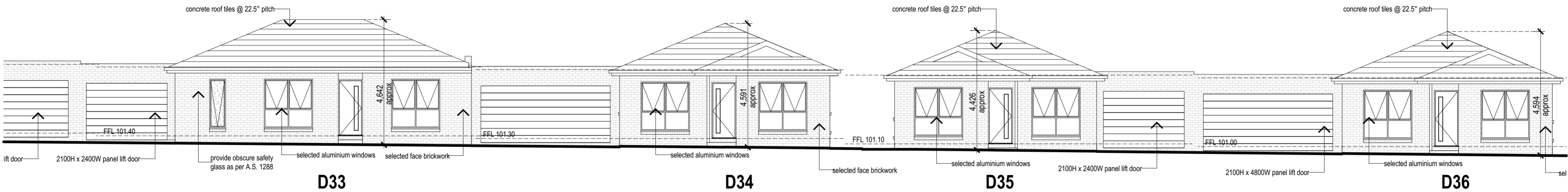
DATE: **22/08/2022** PROJECT NO: **833393**
 AMENDMENTS:

SCALE: **1:100 @ A2** SHEET:



WEST ELEVATION - D29-D39

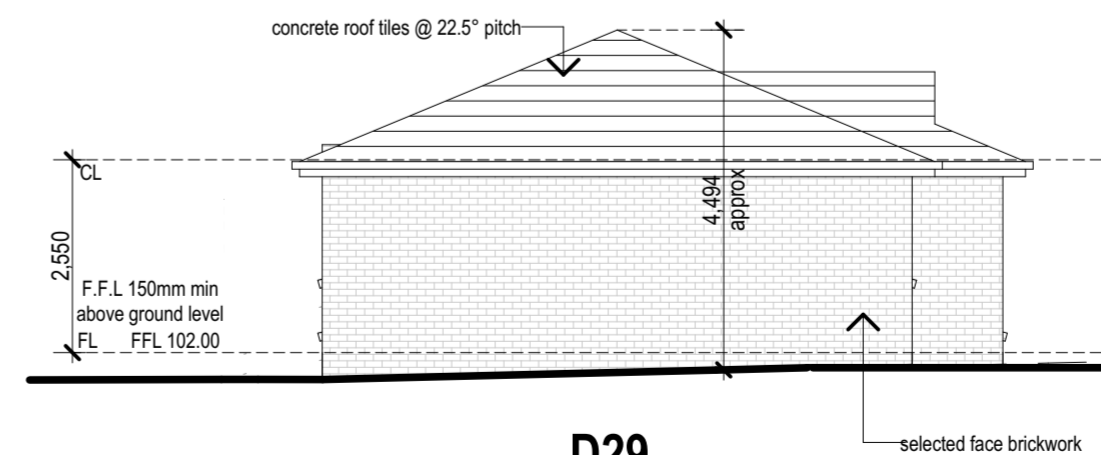
SCALE 1:100



DOMESTIC NOTES

- The sight shall be adequately fenced off during construction to prevent public access;
- No part of the building shall project beyond the boundary line, i.e.: including moulds, architectural features and the like;
- The premises shall treat for termite protection using a chemical barrier in accordance with AS3660.1-2014. Alternatively physical barriers may be adopted, such as ant caps or granitgard. If adopting ant caps ensure there is sub floor clearance of 400mm; this is only applicable if the area has been designated termite prone by the local authority
- Eaves within 900mm (But no closer than 450mm) of the boundary shall be constructed using non combustible material;
- Eaves exposed to within 450mm of the boundary shall be protected by either a wing wall or corbelled brickwork;
- Rainwater heads, fascias, gutters, downpipes and the like within 450mm of the boundary shall be constructed of non combustible materials;
- Openings in external walls within 900mm from the side facing the boundary require to be protected, i.e.: windows shall be fixed, fire rated windows no less than 60/60/60;
- Open able windows within 1 metre of the finished floor level shall be restricted so that the openings do not permit a 125mm sphere to pass through it, if the fall is greater than 1 metre from the natural ground level;
- The door to a fully enclosed sanitary compartment shall open outwards, slide or be readily removable from the outside of the compartment, i.e.: removable hinges;
- The stumps are required to be brace in accordance with AS1684-2010, if the height of the stump from natural ground level to the underside of the bearer exceeds the ratio of 15 times the width of the stump, i.e.: 100 x 100 stump has a maximum height of 1500mm;
- Vertical articulation joints must be provided in un-reinforced masonry walls except walls built where the site soil classification is A or S. Articulation joints must have a width not less than 10mm and be provided
 - In straight, continuous walls having no opening, at not more than 6m centres and not closer than the height of the wall away from corners; and
 - Where the height of the wall changes by more than 20%, at the position of change in height and
 - Where openings more than 900x900mm occur, at not more than 5m centres, and positioned in line with one of the opening; and
 - Where walls change in thickness; and
 - At control or construction joints in footing slabs; and
 - At junctions of walls construction of different masonry materials; and
 - At deep chases (rebates) for service pipes.
- Sub floor ventilation shall be provided at a rate of 7300mm²/m, where in the minimum sub-floor clearance is 150mm;
- Smoke detectors shall be a BRK 86 RAI 250v self-contained smoke alarm or the equivalent to be connected to the consumer power mains in accordance with AS3786;
- The wall surface of a shower enclosure with a preformed shower base shall be water resistant to a minimum height of 1.8m above the floor, with all junctions and floor to horizontal surfaces completely waterproofed. The surface immediately adjacent or behind a bath, basin or sink shall be water resistance to a height not less than 150mm above the fixture with all junctions to horizontal surfaces completely waterproofed. Furthermore, an enclosed shower with floor substrate;

- All glazing shall be accordance with AS 1288-2006. All glazing within 500mm of FFL is to be grade A safety glass. All bathroom and ensuite windows within 2.0m of FFL is required to be grade A safety glass.
- A landing not less than 750mm wide shall be provided where the sill of a threshold of a doorway opens on to a stair that provides a change in floor level or floor to ground level greater than 3 risers or 570mm.
- The hearth shall extend 300mm beyond the front of the fireplace and 150mm beyond each side of the opening. If the flooring is combustible the hearth must be situated 150mm above the floor
- Refer to Energy Rating Report for thermal insulation requirements
- Laundries, bathrooms, enquiries and powder rooms that are not naturally ventilated, shall be provided with mechanical ventilation
- The selection of gutters and downpipes shall be in accordance with AS3500.3 2015 wherein the spacing between downpipes must not be more than 12m and down pipes are also located within 1.2m of a valley or provision for overflow must be made;
- The storm water discharge shall be connected to the existing legal point of discharge;
- The ground beneath the suspended floor must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the adjacent external finished ground level and surface water is prevented from ponding under the building. Alternatively, agricultural pipes shall be provided beneath the building to drain ponding surface water. Surface water must be diverted away from a slab-on-ground, so that the adjacent external finished surface surrounding the slab must be drained to move surface water away from the building and grade to give a slope of not less than 50mm over the first 1m from the building;
- All footings shall extend 200mm beyond the angle of repose of all existing and not more than 80% of the allotment can be covered by impermeable surfaces;
- Combustible roof lights, skylights or the like installed in a roof or part of a roof required to have a non-combustible covering must have an aggregate area not more than 20% of the roof or part of the roof and be no less than 900mm from tile boundary;



SOUTH ELEVATION - D29

SCALE 1:100

PROPOSED:
DWELLINGS:
D29-D42 & D49-D52

AT:
53 RODIER ROAD
YARRAGON VIC 3823

DATE: **22/08/2022** PROJECT NO:
833393

AMENDMENTS:

SCALE: **1:100 @ A2** SHEET:

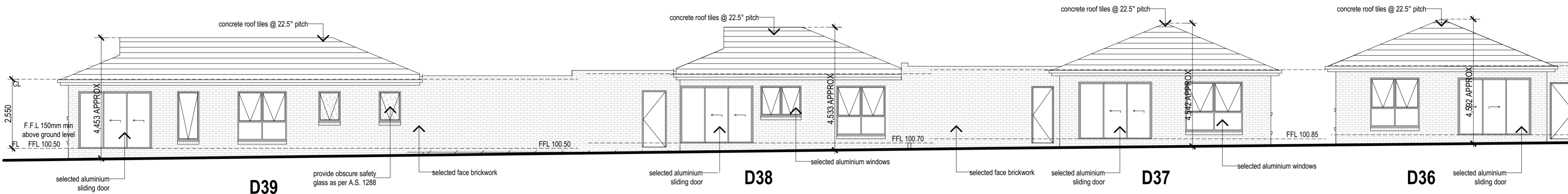
A10

LAZAROVSKI DESIGN

MELBOURNE: 101 MORAY ST
SOUTH MELBOURNE VIC 3205
hello@lazarovski.com.au | 1300 95 88 88 | CDP-AD 64532

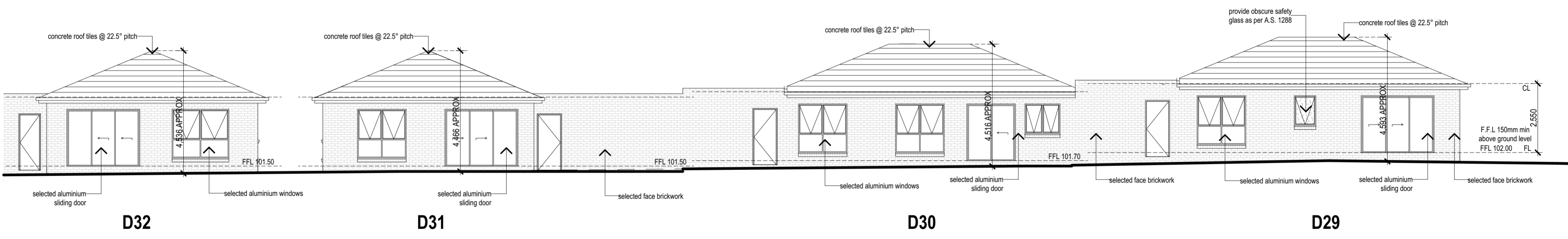
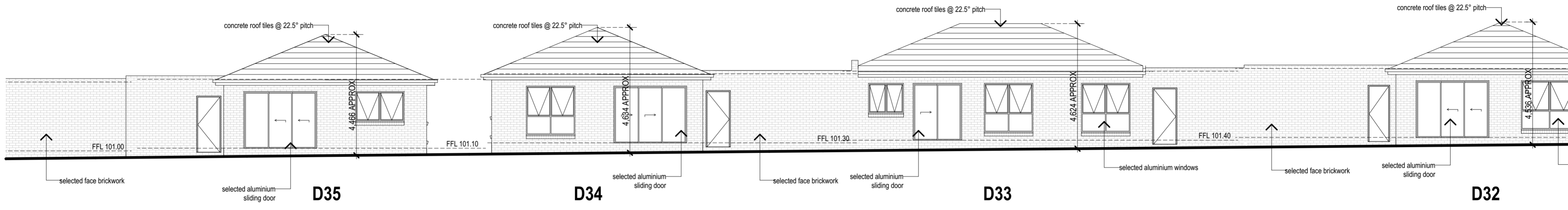
GEELONG: L1/87 LITTLE MALOP ST
GEELONG VIC 3220

© COPYRIGHT 2021 THESE DRAWINGS ARE NOT TO BE COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN CONSENT OF THE AUTHOR



WEST ELEVATION - D39-D29

SCALE 1:100



GENERAL SPECIFICATIONS

CONCRETE:
All concrete footing and slab works shall comply with A.S. 2870 - 2011 "Residential slabs and footings" Part 1: construction in the absence of engineer's drawings or computations

EXCAVATION:
Excavate footings and drains as shown. Keep excavations dry and backfill with approved materials free of any building debris

BRICK VENEER WALLS:
Comply with A.S. 3700 masonry in buildings and A.S. 2904 damp proof courses and flashing. Use brick as selected and M3 (1:1.6) mortar. Use face fixing cavity ties to avoid holes in foil insulation material. Steel lintels to each 110 brick skin overall openings not otherwise specified (all external lintels to be hot dip galvanised):

| OPENINGS | SIZE | MATERIAL |
|------------|--------------|----------|
| up to 600 | 100x10 | MS FLAT |
| up to 1800 | 100x100h x6 | MS ANGLE |
| up to 2100 | 100x100h x8 | MS ANGLE |
| up to 3000 | 150x100h x10 | MS ANGLE |

Provide 150 mm Min. End bearing to all lintels (up to 2100), openings greater than 2100mm, 200 min. end bearing.

MASONRY CONTROL JOINTS:
Provide masonry control joints as recommended by soil test report and in strict accordance with technical note CN9 of Cement and Concrete Association of Australia. Masonry control joints to be constructed at 6.0m spacings (max.) and preferably located behind downpipes and beside full height openings in accordance with TN61 of the Cement and Concrete Association

TIMBER FLOOR, WALL AND ROOF FRAMING:
All works to be carried out in strict accordance with A.S. 1684 "timber framing code" and supplementary tables.

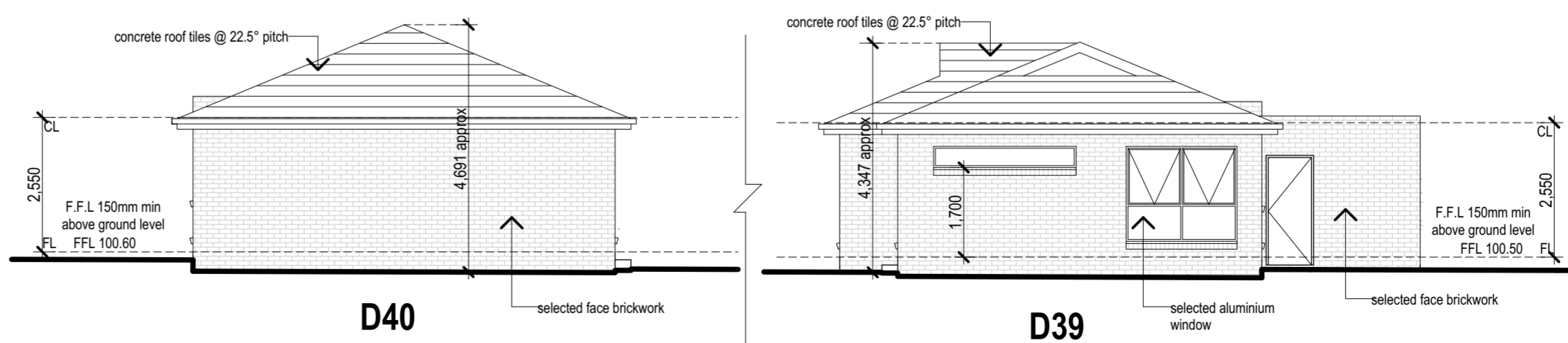
WALL CONSTRUCTION:
Timber studs to be 90x35 MGP 10 pine @ 450 ctrs
Timber studs over 2700 high to be 90x45 MGP 10 pine @ 450 ctrs
Timber studs more than 3000 high to be 90x70 MGP 10 @ 700 ctrs
Top and bottom plates to be 90x45 MGP 10 pine
Bracing to be perforated metal angle
Internal lining: Dry areas to be 10mm thick plaster board, wet areas "hardies" villaboard 6mm thick
Studs @ more than 1500mm wide to be 90x90 MGP 10 pine

TILING TO WET AREAS:
The walls of sanitary compartments (kitchen, laundry, wc, bathroom, ensuite) shall be finished with fully compressed fibre cement, waterproof render, ceramic tile or other impervious finish

PLASTER:
Provide 10mm thick plasterboard to walls and 13mm thick plasterboard to ceilings. All wet areas shall have an approved 10mm thick w.r. plasterboard or "hardies" villaboard installed in strict accordance with manufacturers instruction and specifications

DOWNPIPES & BOX GUTTERS:
downpipes to be 100 x 50 galvanised iron and box gutters to be min. 300 x 100 galvanised iron, u.n.o.

STORMWATER:
Stormwater drains to be 90mm diameter U.P.V.C. with 1 in 100min. fall to legal point of discharge as per local council requirements and to the satisfaction of the city engineer. Install inspection openings at each change of direction and at 9.0m max. spacings to straight runs. All stormwater to comply with A.S. 3500 and Part 3.1.2 of the NCC - 2019



NORTH ELEVATION - D39-D40

SCALE 1:100

PROPOSED:
DWELLINGS:
D29-D42 & D49-D52

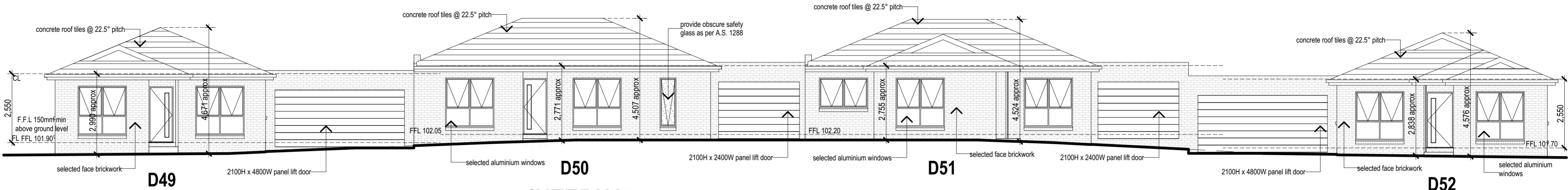
AT:
53 RODIER ROAD
YARRAGON VIC 3823

DATE: 22/08/2022 PROJECT NO: 833393

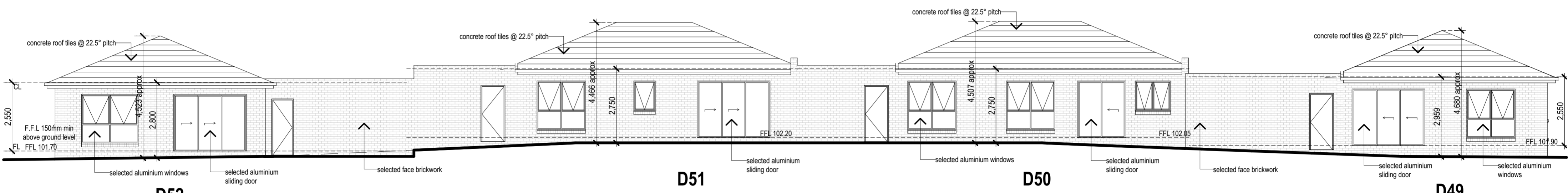
AMENDMENTS:

SCALE: 1:100 @ A2 SHEET:

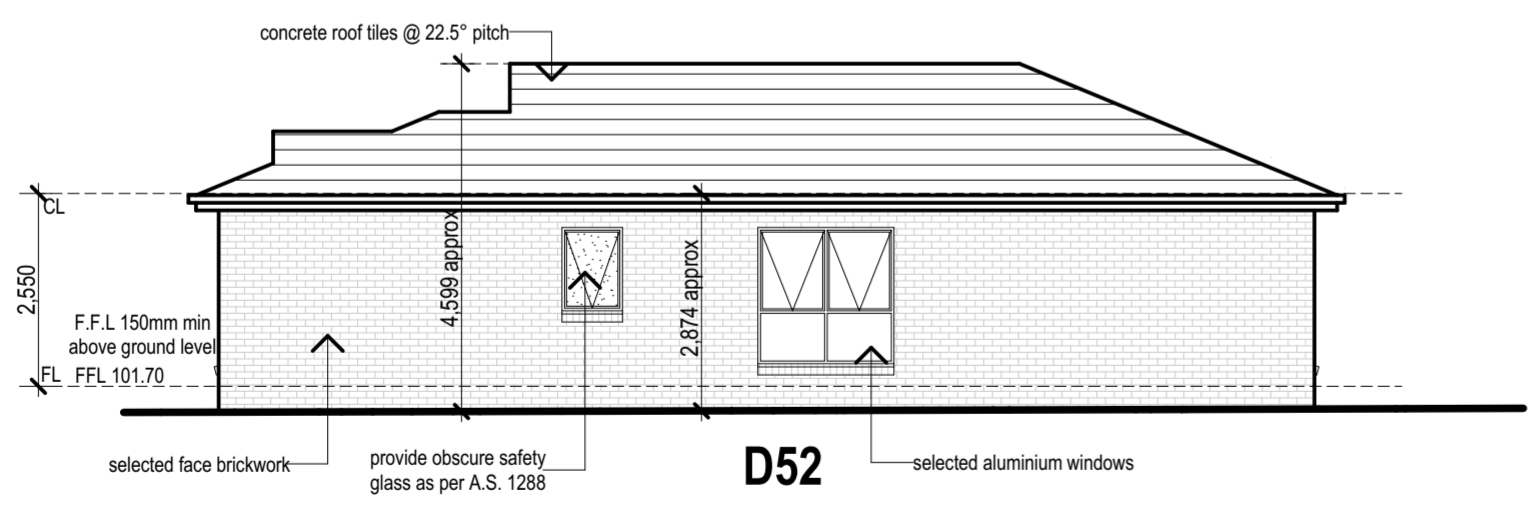
A11
LAZAROVSKI DESIGN
MELBOURNE: 101 MORAY ST SOUTH MELBOURNE VIC 3205
GEELONG: L1/87 LITTLE MALOP ST GEELONG VIC 3220
hello@lazarovski.com.au | 1300 95 88 88 | CDP-AD 64532
© COPYRIGHT 2021 THESE DRAWINGS ARE NOT TO BE COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN CONSENT OF THE AUTHOR



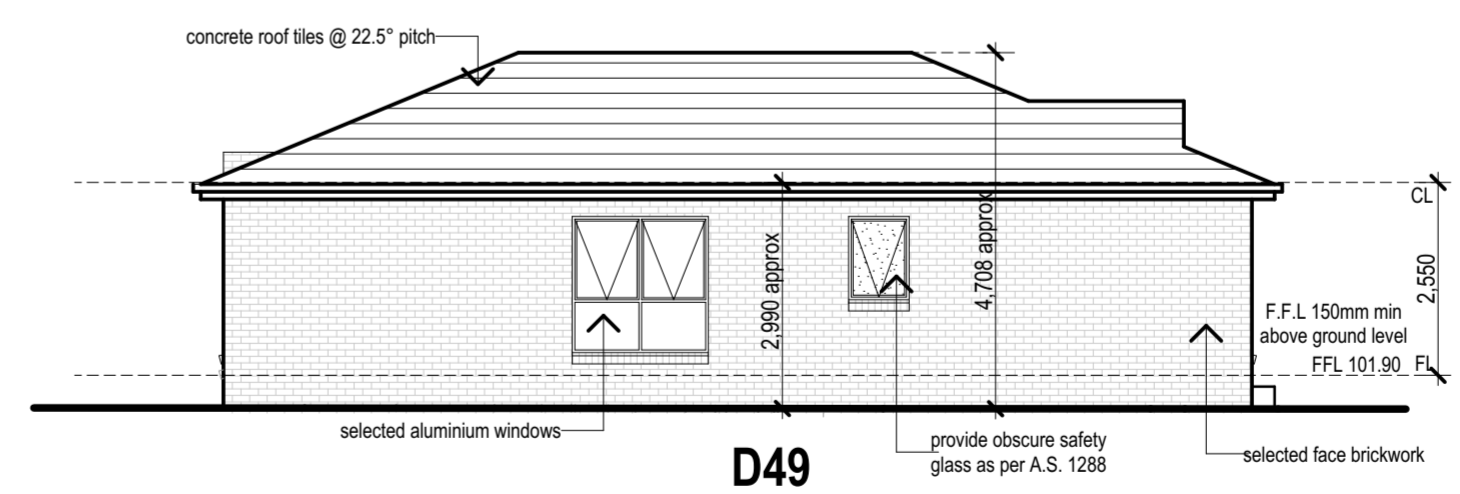
INTERNAL WEST ELEVATION - D49-D52
SCALE 1:100



INTERNAL EAST ELEVATION - D49-D52
SCALE 1:100



SOUTH ELEVATION - D52
SCALE 1:100

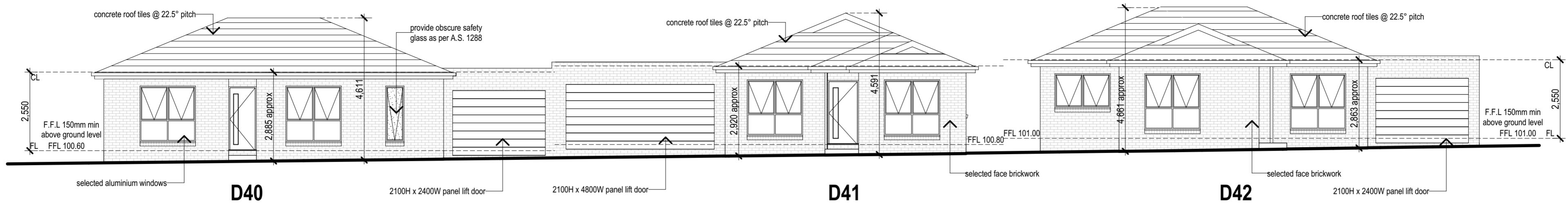


INTERNAL NORTH ELEVATION - D49
SCALE 1:100

PROPOSED:
DWELLINGS:
D29-D42 & D49-D52
AT:
53 RODIER ROAD
YARRAGON VIC 3823

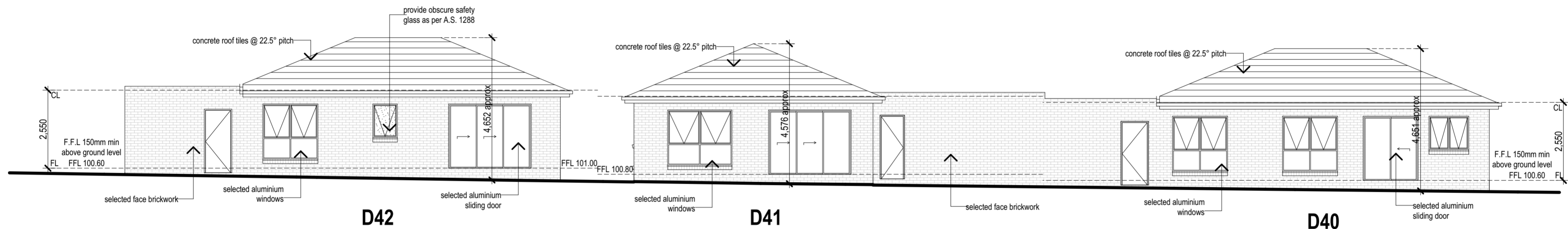
DATE: **22/08/2022** PROJECT NO: **833393**
AMENDMENTS:

SCALE: **1:100 @ A2** SHEET:



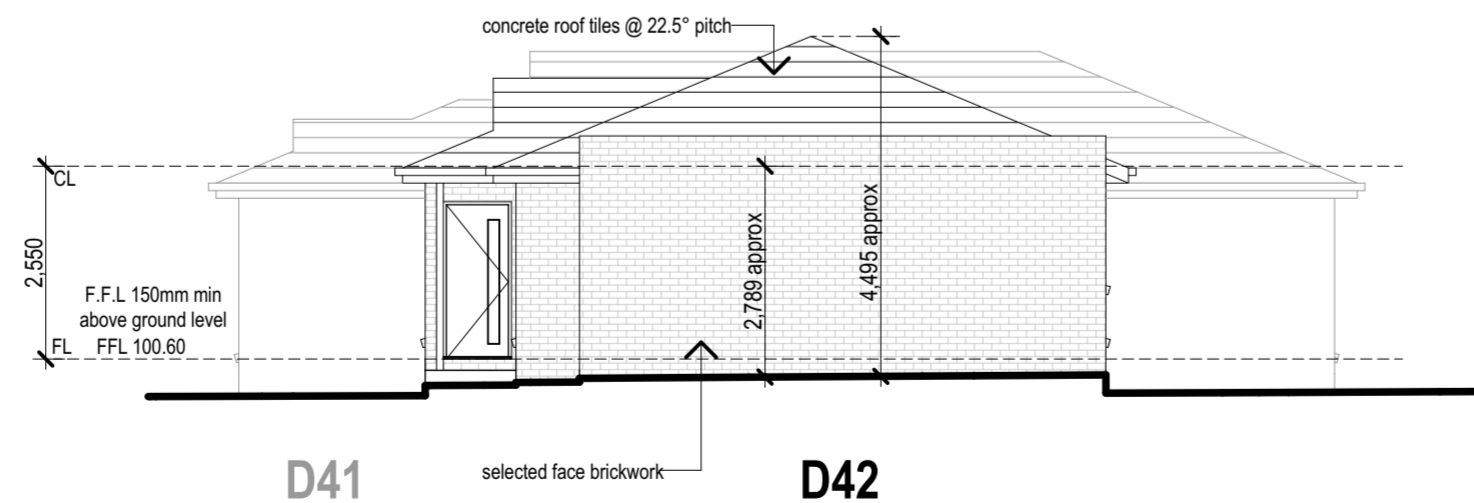
**INTERNAL
WEST ELEVATION - D40-D42**

SCALE 1:100



**INTERNAL
EAST ELEVATION - D40-D42**

SCALE 1:100



**INTERNAL
SOUTH ELEVATION - D42**

SCALE 1:100

PROPOSED:
**DWELLINGS:
D29-D42 & D49-D52**
AT:
**53 RODIER ROAD
YARRAGON VIC 3823**

DATE: **22/08/2022** PROJECT NO:
833393

AMENDMENTS:

SCALE: **1:100 @ A2** SHEET:

A13
LAZAROVSKI DESIGN
MELBOURNE: 101 MORAY ST
SOUTH MELBOURNE VIC 3205
hello@lazarovski.com.au | 1300 95 88 88 | CDP-AD 64532
GEELENG: L1/87 LITTLE MALOP ST
GEELENG VIC 3220
© COPYRIGHT 2021 THESE DRAWINGS ARE NOT TO BE COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN CONSENT OF THE AUTHOR