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33 YOUNG STREET
DROUIN
8.30AM TO 5.00PM WEEKDAYS

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PLA0033118. \$1,486.00

Advertised

Application for Planning Permit

12/2/18 Rec # 2084418 (L1).

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department on 5624 2411.

The personal information requested on this form is being collected to enable council to consider the application. Council will use this information for this purpose or one directly related and may disclose this information as required by law in accordance with the *Privacy and Data Protection Act 2014*. The applicant may apply to council for access and/or amendment of the information by contacting council's freedom of information/privacy officer on 5624 2411

Section 1: The Land

Unit Number Street Number Street Name
 Town Postcode

Formal Land Description

Complete either Section A or B

Section A

Lot Number Type of Plan Lodged plan Title Plan Plan of Subdivision
 Number TB 5364 56C (Lot 1)
(Lot 23)

Section B

Crown Allotment Number Section Number Parish/Township Name

Section 2: The Proposal

You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

For what use, development or other matter do you require a permit?

Proposed two dwellings on a lot with associated garages

DROUIN SERVICE CENTRE
 RECEIVED BY L1
 DATE 12/2/18 TIME 2.45pm

Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

Estimated cost of development for which the permit is required

500000

Section 3: Existing Conditions

Describe how the land is used and developed now

Single dwelling on a lot

Provide a plan of the existing conditions. Photos are also helpful.

Section 4: Title Information

Encumbrances on title

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, Section 173 agreement or other obligation such as an easement or building envelope?

- Yes (if 'yes' contact Council for advice on how to proceed before continuing with this application).
No
Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering register search statement, the title diagram and the associated title documents (known as instruments).

Section 5: Applicant and Owner Details

Applicant

The person who wants the permit.

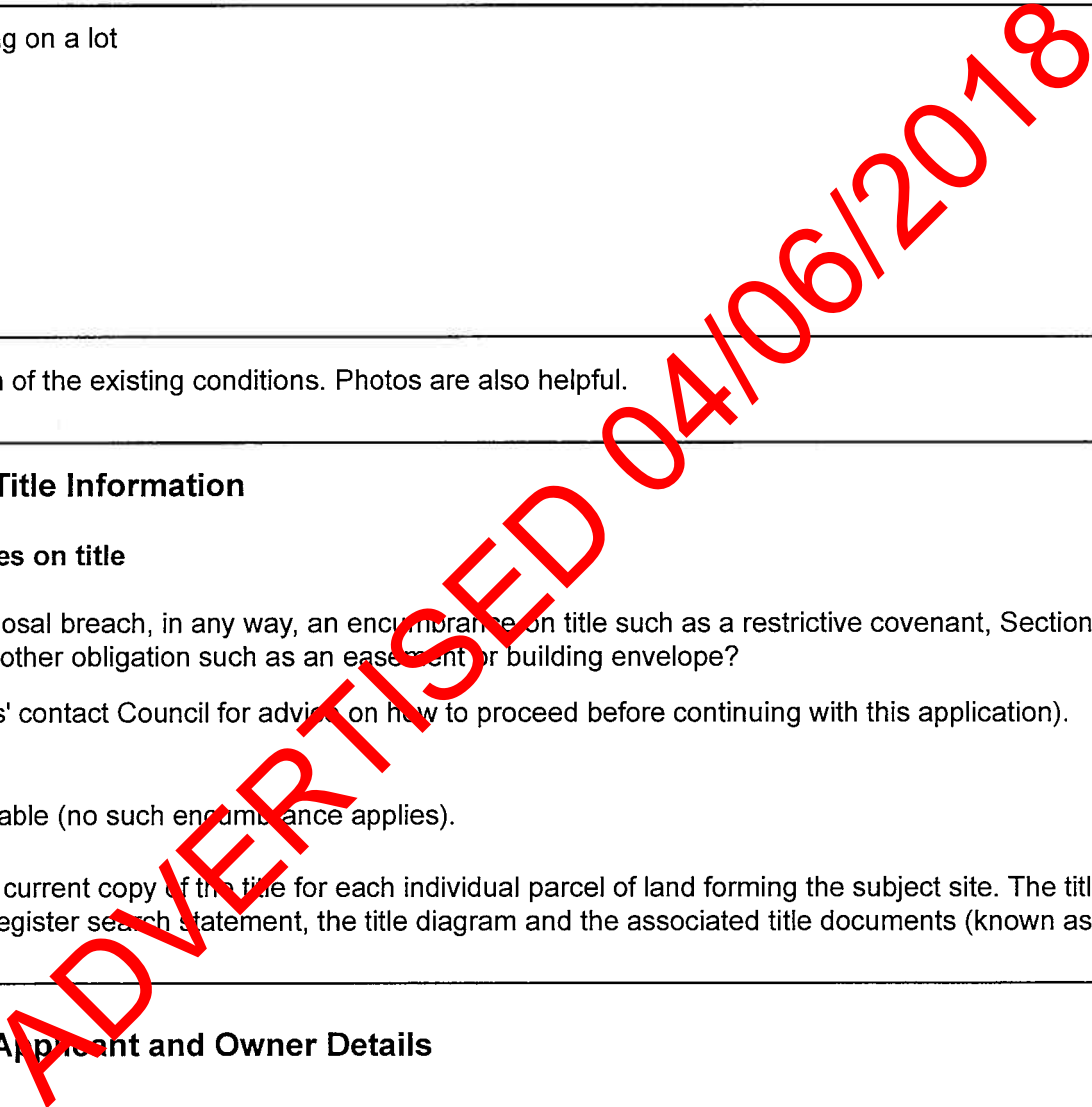
Title Ms First Name Marlene Last Name Muir

Organisation Sketch Building Design (if applicable)

Postal Address

Unit Number Street or Post Box Number 554-556

Street Name Glenhuntly Road Town Elsternwick Postcode 3185



Contact Person's Details

Please provide details of the preferred contact person if this is different from the applicant.

Same as applicant

Title First Name Last Name

Organisation (if applicable)

Postal Address

Unit Number Street or Post Box Number

Street Name Town Postcode

Contact Information

Best Contact Phone Number E-mail

Fax Number

Owner

The person or organisation who owns the land.

Same as applicant

Title First Name Last Name

Organisation (if applicable)

Postal Address

Unit Number Street or Post Box Number

Street Name Town Postcode

I declare that I am the owner of the above stated property; and that the details above are true and correct.

Signature:

Section 6: Declaration

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature:



ADVERTISED 04/06/2018

Section 7: Pre-Application Meeting

Has there been a pre-application meeting with a Council planning officer?

- Yes
- No

If 'Yes' with whom?

What date was the meeting held?

Section 8: Checklist

Have you:

- Filled in the form completely
- Paid or included the application fee
- Provided a full, current copy of the title information for each individual parcel of land, forming the subject site
- Provided a plan of the existing conditions
- Provided plans showing the layout and details of the proposal
- Provided any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist
- Provided a description of the likely effect of the proposal (if required)
- Completed the relevant Council planning permit checklist
- Completed the declaration in Section 7
- Provided a contact phone number and e-mail address

Section 9: Lodgement

Lodge the completed and signed form, the fee payment and all documents:

By Post:

Planning Department
 Baw Baw Shire Council
 PO Box 304
 Warragul, VIC, 3120

In Person:

Customer Service Centres
 90 Smith Street Warragul
 33 Young Street Drouin

Contact information:

Telephone: 5624 2411
 Fax: 5622 2287

ADVERTISED 04/06/2018

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 07007 FOLIO 327

Security no : 124070293799A
Produced 09/02/2018 04:01 pm

LAND DESCRIPTION

Lot 1 on Title Plan 536456C.
PARENT TITLE Volume 02150 Folio 961
Created by instrument 2054866 18/02/1947

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
BRN (VIC) PTY LTD of 30 HIGH STREET BERWICK VIC 3806
AQ572651C 20/12/2017

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AQ572652A 20/12/2017
WESTPAC BANKING CORPORATION

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP536456C FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AQ572651C	TRANSFER	Registered	20/12/2017
AQ572652A	MORTGAGE	Registered	20/12/2017

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 12 CATON STREET WARRAGUL VIC 3820

ADMINISTRATIVE NOTICES

NIL

eCT Control 15232S WESTPAC BUSINESS BANKING
Effective from 20/12/2017

DOCUMENT END

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Document Type	plan
Document Identification	TP536456C
Number of Pages (excluding this cover sheet)	1
Document Assembled	09/02/2018 16:04

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ADVERTISED 04/06/2018

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 08115 FOLIO 127

Security no : 124070293800Y
Produced 09/02/2018 04:01 pm

LAND DESCRIPTION

Lot 23 on Plan of Subdivision 001210.
PARENT TITLE Volume 02028 Folio 575
Created by instrument A175455 20/06/1956

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
BRN (VIC) PTY LTD of 30 HIGH STREET BERWICK VIC 3806
AQ572651C 20/12/2017

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AQ572652A 20/12/2017
WESTPAC BANKING CORPORATION

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DIAGRAM LOCATION

SEE LP001210 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AQ572651C	TRANSFER	Registered	20/12/2017
AQ572652A	MORTGAGE	Registered	20/12/2017

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 1 CATON STREET WARRAGUL VIC 3820

ADMINISTRATIVE NOTICES

NIL

eCT Control 15232S WESTPAC BUSINESS BANKING
Effective from 20/12/2017

DOCUMENT END

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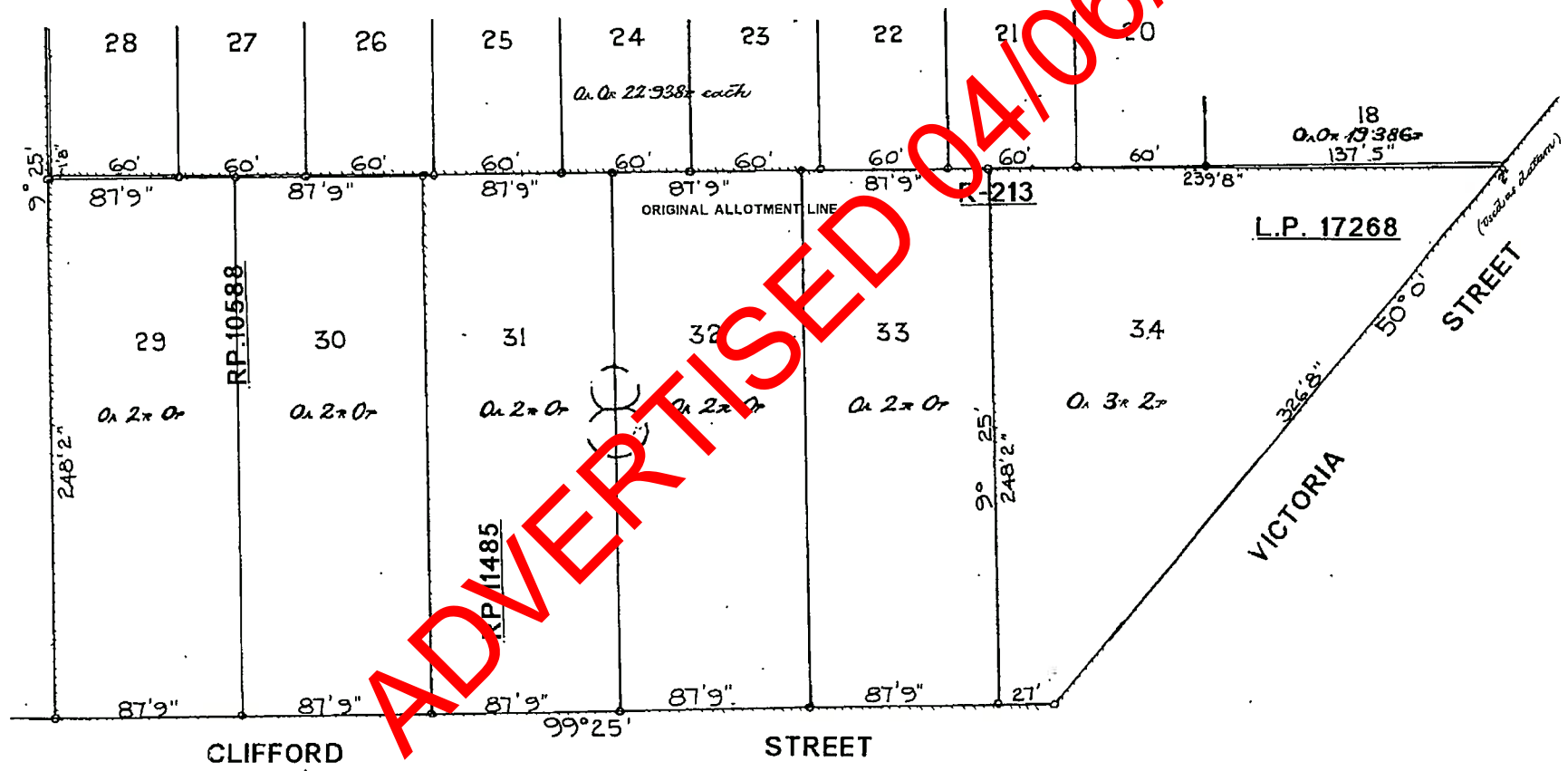
ADVERTISED 04/06/2018

Advertised

2 SHEETS
SHEET 2.



SEE SHEET 1



ADVERTISED 04/06/2018



Sketch Building Design Pty Ltd
554-556 Glenhuntly Road, Elsternwick VIC 3185
p: 03 9523 9884 f: 03 9523 1331
www.sketchbuildingdesign.com.au
admin@sketchbuildingdesign.com.au
abn 91 118 241 517

19 April 2018

Att: Christopher Chiu
Planning Department
Baw Baw Shire Council
PO Box 304
WARRAGUL VIC 3820

Baw Baw Shire Council

Reg No:.....
File No:.....
Received: 01 MAY 2018
Referred:.....
Copies/Circulate To:.....

Dear Christopher,

RE: No.12 CATON STREET, WARRAGUL VIC 3820 APPLICATION NUMBER: PLA0033/18

Please find enclosed the enclosed documents for review:

- One (1) copy of updated Site Feature and Level Survey (A3 unbound)
- One (1) copy of the updated Site Feature and Level Survey (A1 unbound)
- One (1) copy of updated Town Planning Design Submission (A3 unbound)
- Three (3) copies of updated Town Planning Design Submission (A1 unbound)
- One (1) copy of updated Town Planning Report (A4 bound)

We submit the enclosed documents in response to Council's further information request letter received on March 9, 2018 for the proposed development of two (2) dwellings and associated works at No. 12 Caton Street Warragul.

The proposed plans have now been updated and revised to include the additional information requested in item 1a-d, relating to the site context information requested by Council.

A written response to Item 2 and further concerns raised by Council within the RFI letter has also been included within this letter and provided below.

Item 2: Variation to Clause 55.03-1

The proposal includes a revised/increased minimum street setback of 5.0 metres for both of the new dwellings. We believe the proposed variation to the street setback provides a site appropriate design response that respects the prevailing setbacks of Caton Street and adjoining allotments, whilst working within the confines of the subject site.

The required minimum setback of 7.2m under Standard B6 is not considered to be an accurate reflection of the prevailing setback, which is recognised at approx. 6.5m (or between 6-7m) and is most closely represented by the adjoining property at No. 14 Caton Street with a 6.14m minimum street setback.

The design of each dwelling has been designed to be double-fronted, similar to existing dwellings along Caton Street, to provide articulation across the facade with front setbacks increasing to 6.2m (garage/entry). The increased setback of the proposed garages, including the garage of Dwelling 2 constructed on boundary, is consistent with the minimum setback of No. 14 Caton Street (6.14m) and therefore reduces potential visual impact from the street.

Due to the north-south orientation of the site, a reduced front setback allows reasonable setbacks to be maintained within the rear private open space areas of the site. By proposing a minimum front setback of 5.0m, the proposal has an appropriate rear setback of 4.32m and allows reasonable solar access suitable for planting of new canopy trees, as well as, being useable space to the intended occupants.

In response to Council's concerns noted in the RFI letter, we note the following:

Setbacks of the Proposed Development:

The proposed setbacks have been increased to a setback of 6.2 towards the eastern boundary (adjoining No. 14 Caton Street) to further minimise the visual appearance of the reduced setback, as well as, an increase in front setback for Bed 1 (which has a modest external width of less than 3.7m).

Orientation of the Dwellings:

The proposal is noted to be restricted by the north facing orientation, which limits north facing windows to bedroom 1 of Dwelling 1 & 2 only. To counter the site constraints, the proposal includes appropriate side and rear setbacks to allow eastern and western solar access to all habitable rooms, at various times of the day. Additional windows have also been added to the eastern walls of the meals areas of each dwelling, to allow greater solar access to this habitable area.

Materials and Variation

The proposal includes appropriate selection of materials (ie. face and rendered brickwork, vertical lightweight cladding) and colours (including varying colour schemes between each dwelling) to provide variation between each dwelling, including the porch entries and fenestration to each dwelling to be individually identifiable whilst still being respectful of the established neighbourhood character of the Warragul township.

We submit that the above changes are reasonable and that the submission should be considered suitable to proceed to advertising. If it is not suitable, we formally request an extension of time to address any outstanding issues.

If you have any questions please contact myself or Jarrod Timmer at the office on 9523 9884.

Regards



Marlene Muir
Project Coordinator

ADVERTISED 04/10/2018



12 CATON STREET (SUBJECT SITE)



14 CATON STREET



18 CATON STREET

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This plan must be used only for the purpose for which it was prepared. Any use for other purposes is at the user's risk and should not be used for any other purpose.

IMPORTANT NOTICE
This plan was prepared for the purpose of showing the location of the subject site and should not be used for any other purpose. The plan is not to be used for any other purpose.

IMPORTANT NOTICE
This plan was prepared for town planning purposes only and should not be used for any other purpose.

WARNING
TOWN PLANNING PLAN ONLY
NOT FOR DETAILED DESIGN
SEE IMPORTANT NOTICES



UNITS
1:1000
1:1000
1:1000

WARRAGAL FOOTBALL/NETBALL CLUB
±10km

DROUIN TOWN CENTRE
±7.0km

WARRAGAL PRIMARY SCHOOL
±0.9km

M1 PRINCES HWY ON-RAMP
±2.2km

WEST GIPPSLAND HOSPITAL
±2.0km



ADVERTISED 0410612018

NEIGHBOURHOOD AND SITE DESCRIPTION PLAN									
NOTATIONS POSTAL ADDRESS: 12 Caton Street Warragul 3820 NOTE: See certificate of title for easement and Title details NOTE: This plan has been created from aerial photography and should be used for Town Planning purposes only.	<table border="1"> <tr> <td>No. OF SHEETS IN PLAN 1</td> <td>No. OF THIS SHEET 1</td> </tr> <tr> <td>SCALE</td> <td>ORIGINAL SCALE</td> </tr> <tr> <td>0 2 4 8 12</td> <td>1:200</td> </tr> <tr> <td>LENGTHS ARE IN METRES</td> <td>SIZE AD</td> </tr> </table> <p> M. J. Reddie Surveys Pty Ltd 1 Homer Street, Warragul 3820 P.O. Box 254, Warragul 3820 Phone: (03) 8707 4117 Fax: (03) 8707 4428 </p>	No. OF SHEETS IN PLAN 1	No. OF THIS SHEET 1	SCALE	ORIGINAL SCALE	0 2 4 8 12	1:200	LENGTHS ARE IN METRES	SIZE AD
No. OF SHEETS IN PLAN 1	No. OF THIS SHEET 1								
SCALE	ORIGINAL SCALE								
0 2 4 8 12	1:200								
LENGTHS ARE IN METRES	SIZE AD								

**TOWN PLANNING REPORT
REVISION A: APRIL 2017**

**Proposed Two Dwelling Development
at:**

**No.12 Caton Street
WARRAGUL VIC 3820**

Responsible Authority: Baw Baw Shire



prepared by:

SKETCH
building design pty ltd

554-556 glenhuntly road elsternwick

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ADVERTISED 04/06/2018

1.0 INTRODUCTION

This development summary and planning controls assessment within this report have been prepared for No.12 Caton Street, Warragul. This document is intended to be read in conjunction with the Neighbourhood and Site Description, Design Response and other accompanying Planning documents.

The development is assessed against the requirements of the Baw Baw Shire Planning Scheme, including the State Planning Policy Framework, Municipal Strategic Statement and Local Policies, and Rescode (Clause 55).

2.0 DEVELOPMENT SUMMARY

TOTAL SITE AREA:	628 sqm
Number of Dwellings:	2
Building Site Coverage:	51.98 %
Permeability:	41.78 %
Garden Area:	40.39 %
Number of on-site car spaces:	4

Proposed Dwelling 1

Ground Floor Residence Area:	135.66 sqm
Porch Area:	3.66 sqm
Garage Area:	23.65 sqm
Total Building:	162.99 sqm
SPOS (>3mx3m):	58 sqm Approx.
Total POS:	94 sqm Approx.

Proposed Dwelling 1

Ground Floor Residence Area:	136.27 sqm
Porch Area:	3.50 sqm
Garage Area:	23.65 sqm
Total Building:	163.42 sqm
SPOS (>3mx3m):	58 sqm Approx.
Total POS:	94 sqm Approx.

3.0 THE SUBJECT SITE

The subject site is located at No.12 Caton Street (VicRoads Directory Ref: 704 F5). The site has a frontage of approx. 19.81m and a depth of approx. 31.72m with an overall site area is approx. 628 sqm. The site currently has a single storey brick dwelling with associated carport and garage / shed within the western side setback and rear of the site.

There is minimal low-scale scattered vegetation throughout the site and no street tree within the front nature strip. Access to the site is via one vehicle crossover towards the western end of the northern boundary, addressing Caton Street.

The subject site and nearby multi-unit developments near are indicated below.

Map of Subject site and surrounding area



- ★ Denotes subject site
- ★ Denotes multi-unit development within immediate area (including currently seeking planning approval)

4.0 SITE CONTEXT

The surrounding area is mainly residential with Warragul town centre just 650m from the site, including local shops, Library, Police Station, and Post Office. Parks are also nearby with Scenic Reserve 400m west, Civic Park 400m south-east and Brooker Park 500m north.

Schools include Warragul Primary School (360m), St Paul’s Anglican Grammar (900m), Warragul North Primary School (1.2km) and Warragul Community Pre-school (1.3km), whilst West Gippsland Medical Clinic (500m) and West Gippsland Hospital (2.0km) provide medical facilities and services.

The surrounding area is also well serviced by public transport and major roads with the nearest bus stop just 100m from the site on Victoria Street (Route 89), Warragul Railway Station and Princes Way 1.0km south.

The character of the neighbourhood comprises of mostly single storey brick and weatherboard dwellings with more recently constructed infill development. Generally, Hipped tiled roofing at varying pitches, feature gables and some flat roofing also are common features.

Dwellings generally exhibit front setbacks between 6 – 9 metres with well vegetated established gardens providing softened leafy streetscapes. Front fencing varies though generally low to medium in height. More recently constructed dwellings in the area (such as the three dwelling development at No.2 Caton Street or side by side at No.13 Clifford Street) see reduced front setbacks between 4 – 6 metres with no fencing along the street boundary.

5.0 THE PROPOSAL

The proposal involves the removal of the existing dwelling, associated carports and outbuildings, vegetation and the construction of two single storey dwellings, side-by-side.

Included is the removal of the existing crossover and the proposed construction of two new crossovers for both Dwelling 1 and Dwelling 2.

The proposed dwellings have been designed to fit in with the existing neighbourhood character utilising predominantly face brick work with some feature render and both pitched and feature parapet roofing. The proposed dwellings combine the traditional existing built form neighbourhood character elements with some contemporary elements indicative of new dwellings and developments within the Baw Baw Shire and close to the subject site.

Due to the orientation of the site, secluded private open space of both dwellings is located to the south with large rear setbacks proposed to allow both areas to have good solar access provided predominantly from the east and west. There is also additional private open space to the north of the site, within the front setback. These areas are of adequate width and depth to allow various new planting including new canopy trees, as well as, being useable area for the occupants.

As demonstrated in the following section, the proposal satisfies the requirements of ResCode for two or more dwellings on a lot, as well as other relevant planning requirements as set out by Baw Baw Shire Council.

6.0 PLANNING CONTROLS ASSESSMENT

Planning Scheme: Baw Baw Shire Council.

Responsible Authority: Baw Baw Shire Council.

6.1 ZONING AND OVERLAYS

ZONING

32.08 GENERAL RESIDENTIAL ZONE (GRZ1)

- To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Comments

The proposed use, construction of two dwellings on a lot, requires a planning permit in the General Residential Zone (32.08-1).

MINIMUM GARDEN AREA REQUIREMENTS

A minimum percentage of a lot must be set aside as garden area at ground floor level. For a lot size between 500 - 650 square metres, a minimum of 30% must be set aside as uncovered garden space.

Comments

The proposal exceeds the minimum garden area requirements of the Zone, with a minimum area of 253.67 sqm (40.39%) dedicated as uncovered, garden space at ground floor level with a minimum dimension of 1m.

OVERLAYS

45.06 DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY (DCPO1)

- To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies
- To identify areas which require the preparation of a development contributions plan for the purpose of levying contributions for the provision of works, services and facilities before development can commence

Comments

It is acknowledged that the subject site owner will be required to pay a development contribution levy.

6.2 STATE PLANNING POLICY FRAMEWORK
--

12 ENVIRONMENTAL AND LANDSCAPE VALUES**12.01 BIODIVERSITY****Objectives**

- To assist the protection and conservation of Victoria's biodiversity
- To ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation

Comments

The proposal allows for the planting of new vegetation (including canopy trees) within large sized open space areas to front and rear of the proposed dwellings to maintain habitat for plants and animals.

12.04 SIGNIFICANT ENVIRONMENTS AND LANDSCAPES**Objectives**

- To protect and conserve environmentally sensitive areas
- To protect landscapes and significant open spaces that contribute to character, identity and sustainable environments

Comments

There is no existing significant vegetation proposed to be removed from the subject as part of the proposal for the construction of two new dwellings.

16 HOUSING**16.01 RESIDENTIAL DEVELOPMENT****Objectives**

- To promote a housing market that meets community needs
- To locate new housing in or close to activity centres and employment corridors and at other strategic redevelopment sites that offer good access to services and transport
- To identify areas that offer opportunities for more medium and high density housing near employment and transport in Metropolitan Melbourne.
- To provide for a range of housing types to meet increasingly diverse needs
- To deliver more affordable housing closer to jobs, transport and services

Comments

The proposed development strives to meet the Housing objectives by:

- Increasing the proportion of housing in 'built-up' areas to be developed within the established urban area and reduce the share of new dwellings in Green Wedge and dispersed development areas
- Proposing two new dwellings which will achieve a minimum 6-star energy rating, as well as, include solar hot water units to promote water and energy efficient living

- Proposing two liveable, family homes close to community facilities and services, designed for modern living (open plan living/kitchen with private open space directly accessed from a living area)
- The proposed development includes two affordable, liveable housing designs suitable for a range of family structures and residents of different age brackets.
- Providing affordable housing in a well-serviced area
- Promoting higher housing densities in and around activity centres/commercial precincts

6.3 MUNICIPAL STRATEGIC STATEMENT & LOCAL PLANNING POLICIES

21.01 MUNICIPAL PROFILE

Location

The Baw Baw Shire Council was created on December 2, 1954 from the former Shires of Buln Buln, Narracan and Warragul and part of the Upper Yarra Shire. With an area of 4,027 square kilometres, the Shire is located in West Gippsland in south-east Victoria between Melbourne's south eastern growth corridor and the Latrobe Valley.

People

The population of the Baw Baw Shire in 2011 was 42,864, of which 28,229 resided in the six largest towns being Warragul, Drouin, Trafalgar, Yarragon, Longwarry and Neerim South. The projected population for the Shire to the year 2036 is estimated to be about 71,683. In common with State trends, the older age groups (70 years and above) are projected to increase at a greater rate than younger age groups.

Comments

The proposed development caters for variety of different residents, by proposing two affordable single storey three-bedroom dwellings in a location suited to multi-unit development. The proposal has been designed to minimise impact on the streetscape and adjoining properties by proposing a development that sits within the preferred neighbourhood character of Warragul. The subject site is also close to essential services, including public transport and main roads.

21.04 MAIN TOWNS

Objectives

- To provide the flexibility for development to occur in each town to accommodate the needs of its population as well as facilitate the Settlement network.
- To facilitate development in accordance with the specific town plans attached to this clause.

Comments

The proposed development strives to respond to the above objectives by:

- Providing an increased variety affordable housing for different age brackets in a well-serviced areas

- Proposing two liveable, family homes close to community facilities and services.
- Promoting higher housing densities in and around activity centres/commercial precincts

6.4	CAR PARKING ASSESSMENT
------------	-------------------------------

52.06 CAR PARKING

Purpose

- To ensure that car parking is provided in accordance with the State Planning Policy Framework.
- To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.
- To support sustainable transport alternatives to the motor car.
- To promote the efficient use of car parking spaces through the consolidation of car parking facilities.
- To ensure that car parking does not adversely affect the amenity of the locality.
- To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

Design standards for car parking

Plans prepared in accordance with Clause 52.06-7 must meet the design standards of Clause 52.06-8, unless the responsible authority agrees otherwise.

Design Standards

- | | |
|--|-----------------------|
| ▪ Design standard 1 – Accessways | <i>Complies</i> |
| ▪ Design standard 2 – Car parking spaces | <i>Complies</i> |
| ▪ Design standard 3 – Gradients | <i>Complies</i> |
| ▪ Design standard 4 – Mechanical parking | <i>Not Applicable</i> |
| ▪ Design standard 5 – Urban design | <i>Complies</i> |
| ▪ Design standard 6 – Safety | <i>Complies</i> |
| ▪ Design standard 7 – Landscaping | <i>Complies</i> |

Comments

The proposal includes provision for two 3.5m W x 6.0m L min. single garages accessible by the proposed 3.0m wide driveway crossovers to each dwelling.

Both dwellings also include provision for an additional car space within the driveway to the front of the dwelling.

The maximum fall across each driveway is 200mm (Dwelling 1) for a minimum length of 6.2m and therefore gradient requirements for each driveway have been easily met.

The proposed garages are set back from the ground entry porch to avoid the garages dominating the streetscape and providing adequate safety for pedestrians on and off site.

The proposed design response allows for natural surveillance with habitable room windows appropriately located and the garages having convenient access to the respective dwellings and street.

6.5	RESCODE ASSESSMENT
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(Clause 55- Two or more Dwellings on a lot)

55.02.1 NEIGHBOURHOOD CHARACTER AND INFRASTRUCTURE

55.02-1 Neighbourhood character objectives

- To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character
- To ensure that development responds to the features of the site and the surrounding area

Standard B1

- The design response must be appropriate to the neighbourhood and site *Complies*
- The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site *Complies*

Comments

The proposal satisfies the objectives of this clause through compliance with the requirements in this and the following standards.

The proposed development fits in with the surrounding neighbourhood character in scale, materials and built form.

55.02-2 Residential policy objectives

- To ensure that residential development is provided in accordance with any policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and the local planning policies

- To support medium densities in areas where development can take advantage of public transport and community infrastructure and services

Standard B2

- An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies

Complies

Comments

See sections 6.2 and 6.3 of this report

55.02-3

Dwelling diversity objective

- To encourage a range of dwelling sizes and types in developments of ten or more dwellings

Standard B3

- Developments of ten or more dwellings should provide a range of dwelling sizes and types, including:
 - Dwellings with a different number of bedrooms
 - At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level

*Not
Applicable*

Comments

This standard is not applicable as the proposal has less than 10 dwellings

55.02-4

Infrastructure objectives

- To ensure development is provided with appropriate utility services and infrastructure
- To ensure development does not unreasonably overload the capacity of utility services and infrastructure

Standard B4

- Developments should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available
- Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads
- In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on service or infrastructure

Complies

Complies

*Not
Applicable*

Comments

The development is provided with appropriate utility services and infrastructure to support a two dwelling development.

55.02-5 Integration with the street objective

- To integrate the layout of development with the street

Standard B5

- Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility
- Development should be oriented to front existing and proposed streets
- High fencing in front dwellings should be avoided if practicable
- Development next to existing public open space should be laid out to complement the open space

Complies

Comments

The proposal satisfies the objectives of this clause through compliance with the relevant requirements in the above standard. The proposal includes no front fence, with sufficient setbacks for the planting of vegetation to soften views to both dwellings facing the street.

55.03 SITE LAYOUT AND BUILDING MASSING

55.03-1 Street Setback Objective

- To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site

Standard B6

Walls of buildings should be set back from streets:

- At least the distance specified in the schedule to the zone; or
- If no distance is specified in the schedule to the zone, the distance specified in Table B1

Variation Sought

Comments

A variation is sought for the proposed minimum street setback of 5.0m (Dwelling 1 & 2) in lieu of the required 7.195m setback.

The proposed setback is considered more appropriate due to the site's orientation to the north as well as the low level single storey scale of the development and well-articulated built form. By allowing increased setbacks from the rear (southern) boundary of site, the proposal forms larger areas

of useable secluded private open space for the intended occupants.

Despite the reduced setbacks, both dwellings have well-articulated and varied front facades with the 5.0m front setback portion limited to the width of bedroom 1 and setbacks increasing to 6.2m for the proposed garage and entries, as well as including feature open porch structure to add visual interest and limit potential visual bulk,

The proposed front setbacks provide sufficient open spaces areas to the front of the dwelling for the planting of appropriate native vegetation (including one canopy tree to each dwelling) to soften the streetscape.

55.03-2 Building height objectives

- To ensure that the height of buildings respects the existing or preferred neighbourhood character

Standard B7

- The maximum building height should not exceed the maximum height specified in the schedule to the zone
- If no maximum height is specified in the schedule to the zone, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres
- Changes of building height between existing buildings and new buildings should be graduated

Complies

Complies

Comment

The proposed dwellings, being single storey, have maximum heights of no more than 5.0m above natural ground and therefore are comfortably compliant of the above objective and standards.

55.03-2 Site coverage objective

- To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site

Standard B8

The site area covered by buildings should not exceed:

- The maximum site coverage specified in the schedule to the zone; or
- If no maximum site coverage is specified in the schedule to the zone, 60%

Complies

Comments

The proposal has a maximum site coverage of 51.98% and is compliant with the above Standard.

55.03-4.1 Permeability objectives

- To reduce the impact of increased stormwater run-off on the drainage system
- To facilitate on-site stormwater infiltration

Standard B9

- At least 20 per cent of the site should not be covered by impervious surfaces

Complies

Comments

The proposal complies with the above Standard with a site permeability at 41.78%.

55.03-5 Energy efficiency objectives

- To achieve and protect energy efficient dwellings and residential buildings
- To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy

Standard B10

- Building(s) should be:
 - Oriented to make appropriate use of solar energy
 - Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.
 - Living areas and private open space should be located on the north side of the development if practicable
 - Developments should be designed so that solar access to north-facing windows is maximised.

Satisfactory

Complies

Satisfactory

Complies

Comments

Due to the orientation of the site, north facing windows are limited to the front of both dwelling, with Bedroom 1 windows appropriately oriented to maximum northern access.

The remaining habitable rooms have been appropriately oriented to maximise solar access from the east or west, whilst sufficient setbacks from the southern boundary ensure the secluded private open space areas have excellent solar access.

The proposal is appropriately sited such that it does not reduce the energy efficiency of adjoining sites.

ADVERTISED 04/06/2018

55.03-6

Open space objective

- To integrate the layout of development with any public and communal open space provided in or adjacent to the development

Standard B11

- If any public or communal open space is provided on site, it should:
 - Be substantially fronted by dwellings, where appropriate
 - Provide outlook for as many dwellings as practicable
 - Be designed to protect any natural features on the site
 - Be accessible and useable

Not
Applicable

Not
Applicable

Comments

The standard is not applicable as no public or communal open space is provided on site

55.03-7

Safety Objective

- To ensure the layout of development provides for the safety and security of residents and property

Standard B12

- Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways
- Planting which creates unsafe spaces along streets and accessways should be avoided.
- Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways.
- Private spaces within developments should be protected from inappropriate use as public thoroughfares

Complies

Complies

Complies

Complies

Comments

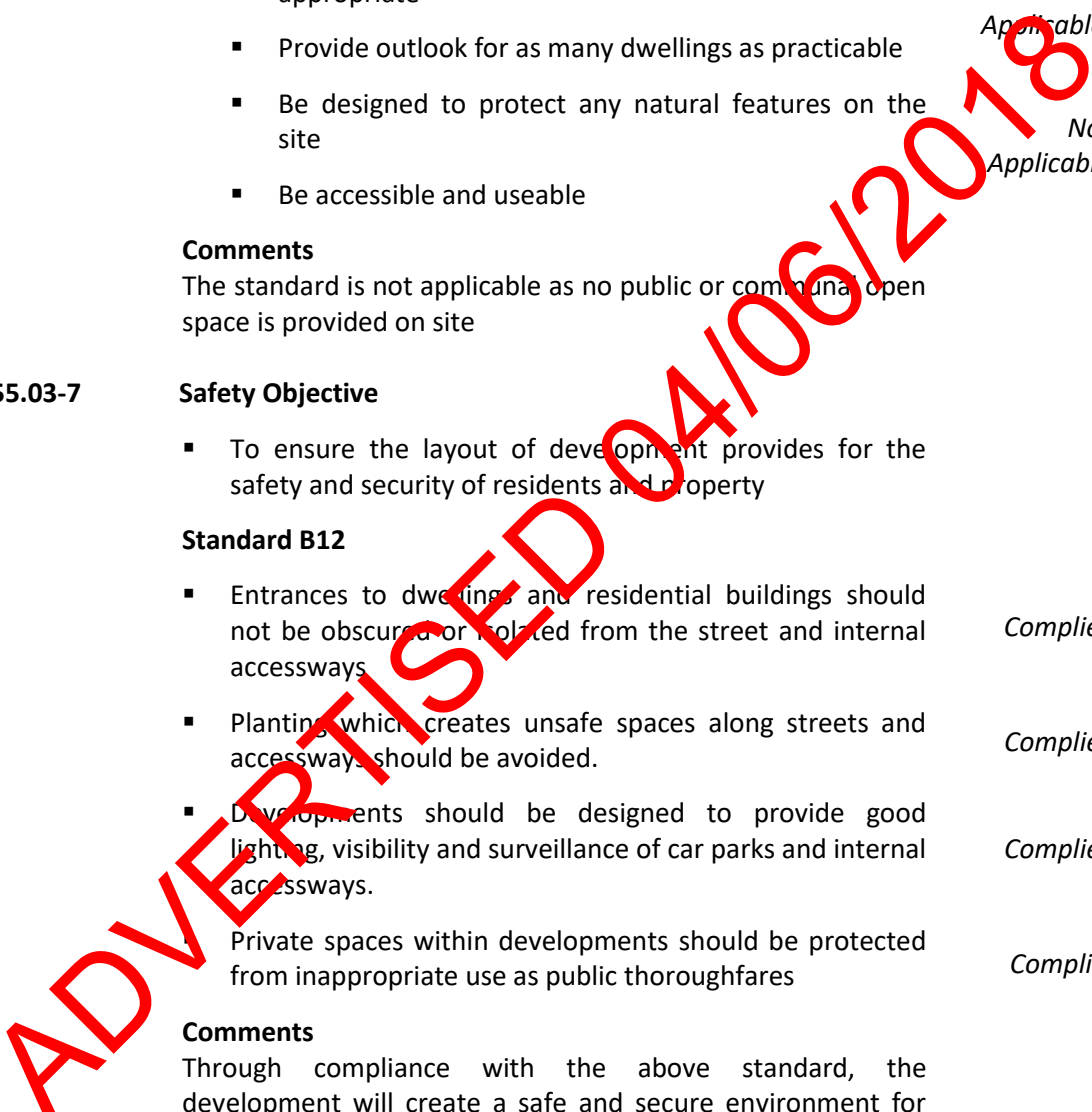
Through compliance with the above standard, the development will create a safe and secure environment for the residents and property.

The proposed dwellings access points are easily identifiable with entries within a safe distance of their proposed garages.

55.03-8

Landscaping objectives

- To encourage development that respects the landscape character of the neighbourhood



- To encourage development that maintains and enhances habitat for plants and animals in location of habitat importance
- To provide appropriate landscaping
- To encourage the retention of mature vegetation on the site

Standard B13

- The landscape layout and design should: *Complies*
 - Protect any predominant landscape features of the neighbourhood
 - Take into account the soil type and drainage patterns of the site
 - Allow for intended vegetation growth and structural protection of buildings
 - In locations of habitat importance, maintain existing habitat, and provide for new habitat for plants and animals
- Provide a safe, attractive and functional environment for residents *Complies*
- Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood *Satisfactory*
- Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made *Complies*
- The landscape design should specify landscape themes, vegetation (location and species), paving and lighting. *Complies*

Comments

The proposed areas of open space, are considered appropriate in meeting the character of the neighbourhood and landscape. Through generous front and rear setbacks, substantial areas have been provided to allow for the planting of new native species and more appropriate replacement canopy trees and vegetation.

No existing vegetation is proposed to be retained on site, though it is noted that there are no existing significant canopy trees on the subject site (or removed within the last 12 months). There are two canopy trees proposed to each dwelling, shared across the front and rear open space areas.

(Refer accompanying Concept Landscape Plan. A detailed Landscape Plan can be provided to Council upon request.)

55.03-9

Access Objectives

- To ensure the number and design of vehicle crossovers respects the neighbourhood character

Standard B14

- The width of accessways or car spaces should not exceed:
 - 33 per cent of the street frontage, or
 - If the width of the street frontage is less than 20 metres, 40 per cent of the street frontage *Complies*
- No more than one single-width crossover should be provided for each dwelling fronting a street *Complies*
- The location of crossovers should maximise the retention of on-street car parking spaces *Complies*
- The number of access points to a Road Zone should be minimised *Complies*
- Developments must provide for access for service, emergency and delivery vehicles *Complies*

Comments

The proposal satisfies the objectives of this clause through compliance with the requirements in the above standard.

The proposed new crossovers total to maximum of 30.29% of the existing street frontage and provide sufficient space between (6.9m) for car parking on the street.

55.03-10

Parking location objectives

- To provide convenient parking for resident and visitor vehicles
- To avoid parking and traffic difficulties in the development and the neighbourhood
- To protect residents from vehicular noise within developments

Standard B15

- Car parking facilities should: *Complies*
 - Be reasonably close and convenient to dwellings and residential buildings
 - Be secure
 - Be designed to allow safe and efficient movements within the development
 - Be well ventilated if enclosed
- Large parking areas should be broken up with trees, buildings or different surface treatments *Not Applicable*
- Shared access ways or car parks of other dwellings and residential buildings should be located at least 1.5 metres *Not Applicable*

from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the access way.

Comments

The proposed car parking has convenient access to the dwellings with natural surveillance to the garages being between the street and the proposed dwellings, in addition to entry and habitable room windows.

(Refer Section 6.4 of this report.)

55.04 AMENITY IMPACTS

55.04-1 Side and rear setbacks objective

- To ensure that the height and setback of buildings from a boundary respect the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings

Standard B17

- A new building not on or within 200mm of a boundary should be set back from side or rear boundaries:
 - At least the distance specified in the schedule to the zone; or
 - If no distance is specified in the schedule to the zone, 1 metre, plus 0.2 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres
- Sunblinds, verandas, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard
- Landings having an area of not more than 2 squares metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard

Complies

Complies

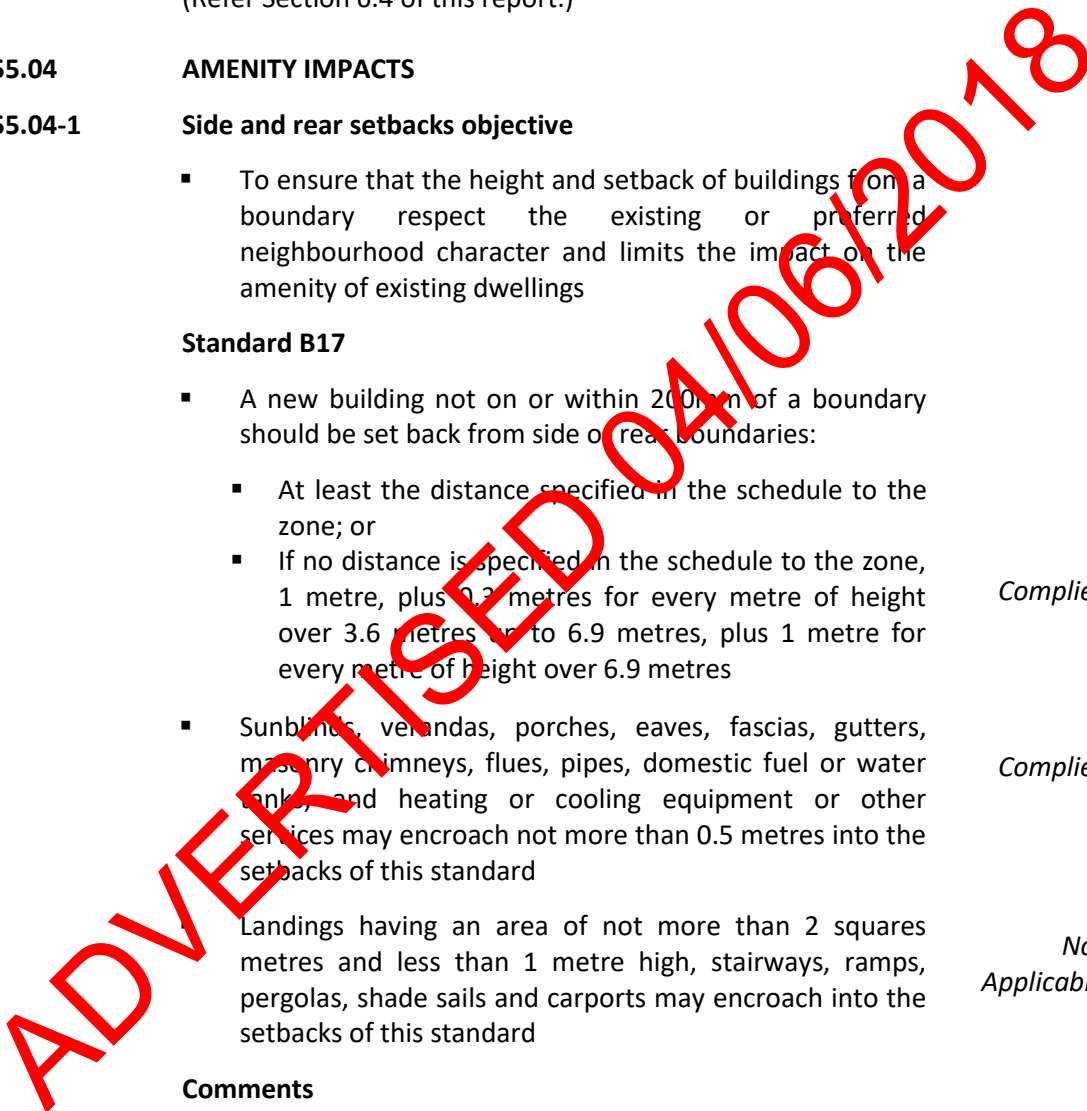
Not Applicable

Comments

The proposal has been designed with sufficient side and rear setbacks, such that it is compliant with the requirements of the above objective and standard.

55.04-2 Walls on boundaries objective

- To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings



Standard B18

- A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary for a length of more than: *Complies*

 - For a length of more than the distance specified in a schedule to the zone; or *Complies*
 - If no distance is specified in a schedule to the zone, for a length of more than:
 - 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot; or
 - Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed wall or carports whichever is the greater
- A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary *Complies*

(A building on a boundary includes a building set back up to 200mm from a boundary)
- The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall *Complies*

Comments

The proposed wall on boundary (Dwelling 2 Garage) is easily compliant with the requirements of the above standard, with a maximum height of 3.2m, maximum average of 3.2m and total length of 6.47m on the eastern boundary.

55.04-3

Daylight to existing windows objective

- To allow adequate daylight into existing habitable room windows

Standard B19

- Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot *Complies*

- Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window *Complies*
- Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window *Complies*

Comments

The proposal has minimal impact on existing windows and meets the above noted standard and objective.

55.04-4 North-facing windows objective

- To allow adequate solar access to existing north-facing habitable room windows

Standard B20

- If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east. *Complies*

Comments

The proposal meets the above noted standard and objective.

55.04-5 Overshadowing open space objective

- To ensure buildings do not significantly overshadow existing secluded private open space.

Standard B21

- Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9am and 3pm on 22 September *Complies*
- If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced *Not Applicable*

Comments

Due to the modest height of the proposed dwellings (along with sufficient side and rear setbacks) the proposal has

minimal overshadowing impact on existing secluded private open space areas, as demonstrated in the accompanying Shadow Diagrams (refer Sheets 06-08 Shadow Diagrams.)

55.04-6 Overlooking objective

- To limit views into existing secluded private open space and habitable room windows

Standard B22

- A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.

Complies

- A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either:

Complies

- Offset a minimum of 1.5 metres from the edge of one window to the edge of the other
- Have sill heights of at least 1.7 metres above floor level
- Have fixed obscure glazing in any part of the window below 1.7 metres above floor level
- Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent

Obscure glazing in any part of the window below 1.7 metres above floor level may be operable provided that there are no direct views as specified in this standard

Complies

- Screens used to obscure a view should be:
 - Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels
 - Permanent, fixed and durable
 - Designed and coloured to blend in with the development

Complies

- This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary

Not Applicable

Comments

Due to the proposal being single storey on modestly sloped site, the requirements of the above objective and standard have been easily met.

55.04-7 Internal views objective

- To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development

Standard B23

- Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the schedule private open space of a lower-level dwelling or residential building directly below and within the same development

Complies

Comments

Appropriate measures have been taken to reduce the internal overlooking within the proposed development.

55.04-8 Noise impacts objectives

- To contain noise sources in developments that may affect existing dwellings
- To protect residents from external noise

Standard B24

- Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings

Not Applicable

- Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties

Complies

Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms

Not Applicable

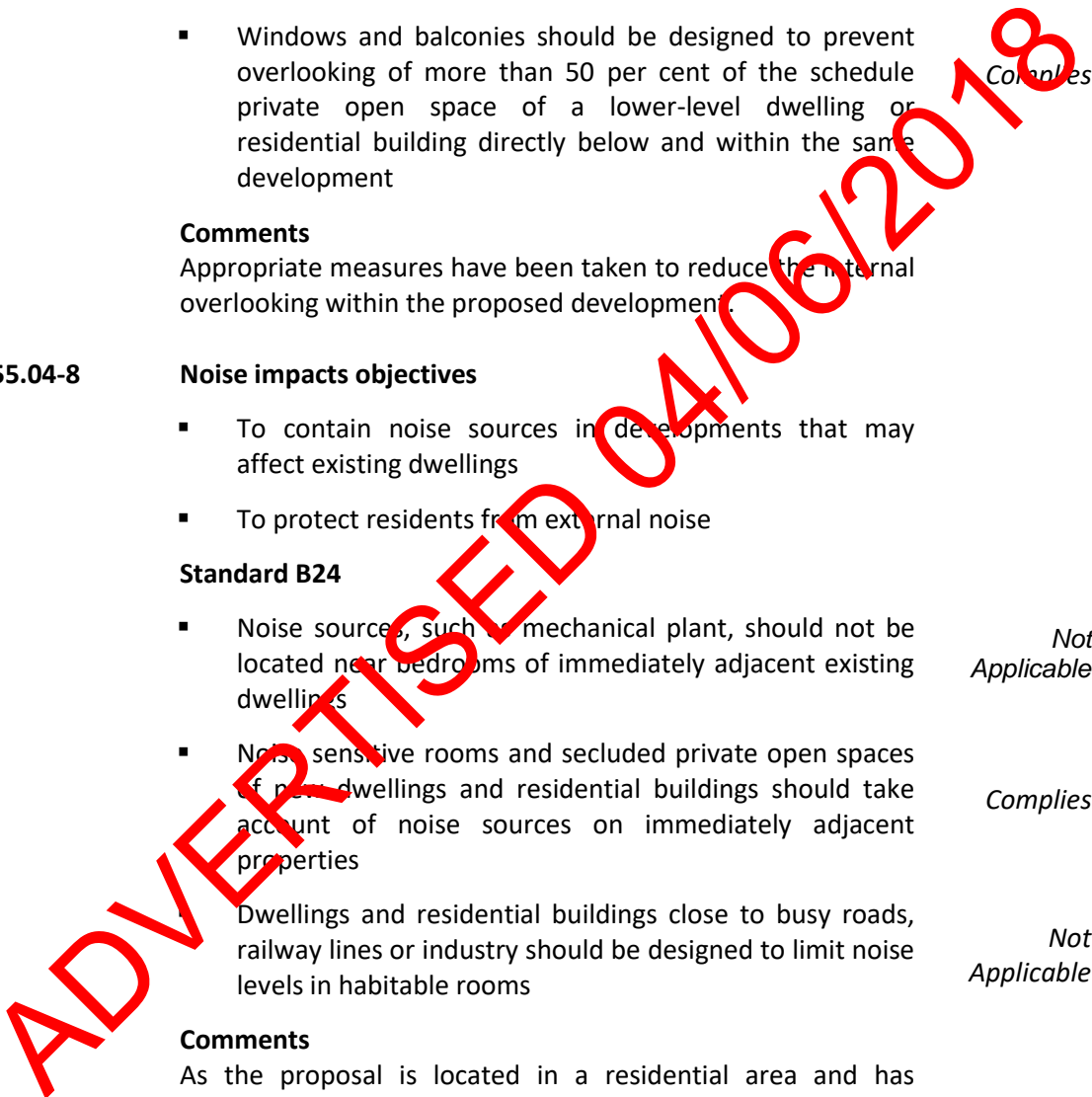
Comments

As the proposal is located in a residential area and has appropriate separation between the dwellings, there are no concerns with any form of noise impact.

55.05 ON-SITE AMENITY AND FACILITIES

55.05-1 Accessibility objective

- To encourage the consideration of the needs of people with limited mobility in the design of developments



Standard B25

- The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility

Complies

Comments

The dwelling entries are only minimally raised from the ground level and are thus accessible or able to be easily made accessible to people with limited mobility.

55.05-2

Dwelling entry objective

- To provide each dwelling or residential building with its own sense of identity

Standard B26

- Entries to dwellings and residential buildings should
 - Be visible and easily identifiable from streets and other public areas
 - Provide shelter, a sense of personal address and a transitional space around the entry

Complies

Comments

Both of the proposed entries are easily identifiable and each dwelling faces Caton Street individually, giving them their own sense of personal address.

55.05-3

Daylight to new windows objective

- To allow adequate daylight into new habitable room windows

Standard B27

- A window in a habitable room should be located to face:
 - An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot; or
 - A verandah provided it is open for at least one third of its perimeter; or
 - A carport provided it has two or more open sides and is open for at least on third of its perimeter

Complies

Not Applicable

Not Applicable

Comments

The proposal satisfies the objectives of this clause through compliance with the requirements in the above standard

55.05-4

Private open space objective

- To provide adequate private open space for the reasonable recreation and service needs of residents

Standard B28

- A dwelling or residential building should have private open space of an area and dimensions specified in the schedule to the zone *Complies*

- If no area or dimensions are specified in the schedule to the zone, a dwelling or residential building should have private open space consisting of:
 - An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, *Complies*
Or;
 - A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or; *Not Applicable*
 - A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room *Not Applicable*

Comments

Both proposed dwellings have at least 94 sqm of private open space area, with a minimum 58 sqm of secluded private open space to the rear, enabling landscaping opportunities as well as, ensuring usable space for the occupants.

55.05-5

Solar access to open space objective

- To allow solar access into the secluded private open space of new dwellings and residential buildings

Standard B29

- The private open space should be located on the north side of the dwelling or residential building, if appropriate *Satisfactory*
The southern boundary of secluded private open space should be set back from any wall on the north of the space at least $(2+0.9h)$ metres, where 'h' is the height of the wall *Complies*

Comments

The proposal provides generous areas (of secluded private open space to the south-west of each dwelling with sufficient setbacks to ensure good solar access throughout the day.

Additional open space is also provided within the northern, front setback of each dwelling.

55.05-6

Storage objective

- To provide adequate storage facilities for each dwelling

Standard B30

- Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space *Complies*

Comments

Each dwelling has provision for a minimum 6 cubic meters of external storage shed within the dedicated rear private open space areas of the subject site.

55.06 DETAILED DESIGN

55.06-1 Design detail objective

- To encourage design detail that respects the existing or preferred neighbourhood character

Standard B31

- The design of buildings, including: *Complies*
 - Façade articulation and detailing,
 - Window and door proportions,
 - Roof form, and
 - Verandahs, eaves and parapets.
- Should respect the existing or preferred neighbourhood character *Complies*
- Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character *Complies*

Comments

The design of the proposed dwellings respects the existing neighbourhood character in its materials, articulation, proportions and built form.

55.06-2 Front fences objectives

- To encourage front fence design that respects the existing or preferred neighbourhood character

Standard B32

- The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties *Not Applicable*
- A front fence within 3 metres of a street should not exceed: *Not Applicable*
 - The maximum height specified in the schedule to the zone; or
 - If no maximum height is specified in the schedule to the zone, the maximum height specified in Table B3

Comments

There is no fence proposed along the front boundary of the subject site, allowing proposed vegetation to soften and enhance the built form.

55.06-3

Common property objectives

- To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained
- To avoid future management difficulties in areas of common ownership

Standard B33

- Developments should clearly delineate public, communal and private areas *Not Applicable*
- Common property, where provided, should be functional and capable of efficient management *Not Applicable*

Comments

There is no common property shared between the dwellings.

55.06-4

Site services objectives

- To ensure that site services can be installed and easily maintained
- To ensure that site facilities are accessible, adequate and attractive

Standard B34

- The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required and facilities for services to be installed and maintained efficiently and economically) *Complies*
- Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development *Complies*
- Bin and recycling enclosures should be located for convenient access by residents *Complies*
- Mailboxes should be provided and located for convenient access as required by Australia Post *Complies*

Comments

The proposal satisfies the objectives of this clause through compliance with the requirements in the above standard. (Ref: Site Layout, Sheet 03). Appropriate bin storage areas have been proposed, meterboxes are in proximity to dwelling entries and mailboxes at the entry of the subject site.

7.0 CONCLUSION

It is submitted that the proposed development is appropriate for the subject site and is consistent with the future planning of the area. In support of this statement, the following points are noted:

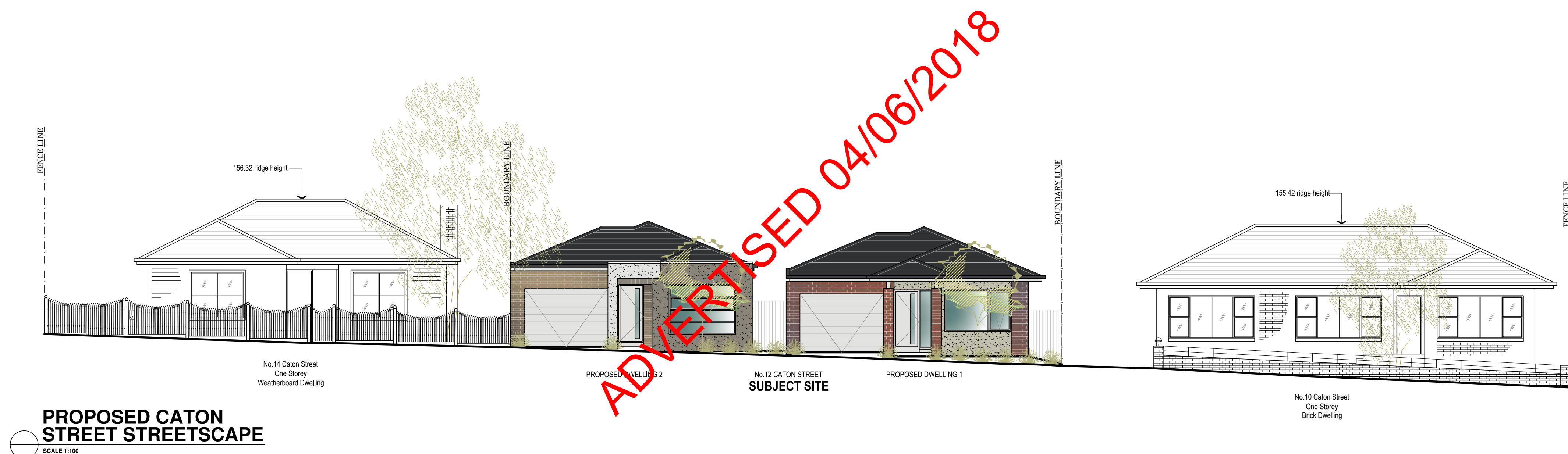
- The proposed duplex development is consistent with the policy framework of the Baw Baw Shire Planning Scheme and the State and Local Planning Policy Frameworks.
- The proposed development is largely compliant with ResCode standards and objectives.
- The subject site is appropriately located within proximity to essential services and forms of public transport and therefore appropriate for multi-unit development.
- This report demonstrates that the proposal provides a site responsive design that is sensitive to the amenity of adjoining properties and the character of the area.
- The proposed dwellings utilise varying materials, and articulation to provide an appropriate streetscape response.
- The site complies with the site coverage requirement with 51.98% proposed site coverage.
- The proposal exceeds the requirement for permeability at 41.78%
- The development allows for large areas of secluded private open space and private open space (58 sqm min. SPOS / 94 sqm min. POS) that exceeds the minimum requirements and provides useable area for the occupants as well as area for new planting, including canopy trees.
- The proposed development meets the future demands of residents in the local area.

TOWN PLANNING SUBMISSION
REVISION A: APRIL 2018

PROPOSED TWO DWELLING DEVELOPMENT

AT:

NO.12 CATON STREET
WARRAGUL, VIC 3820



- SHEET 00: COVER SHEET AND PROPOSED STREETScape ELEVATIONS
- SHEET 01: SITE ANALYSIS AND NEIGHBOURHOOD DESCRIPTION
- SHEET 02: DESIGN RESPONSE
- SHEET 03: GROUND FLOOR SITE LAYOUT
- SHEET 04: ELEVATIONS AND COLOURS & MATERIALS SCHEDULE
- SHEET 05: SHADOW DIAGRAMS-9AM (SEPTEMBER EQUINOX)
- SHEET 06: SHADOW DIAGRAMS-12NOON (SEPTEMBER EQUINOX)
- SHEET 07: SHADOW DIAGRAMS-3PM (SEPTEMBER EQUINOX)

NOTE:
All levels are to A.H.D. Refer to site survey and site re-establishment for additional details.

NOTE:
There have been no significant trees removed from the site within the past 12 months

NOTE:
There is no contaminated soils and/or filled areas to our knowledge on the subject site but would require investigation by a geotechnical engineer to assess.

VICTORIA STREET MEDICAL CLINIC, LOCAL SHOPS 500M

WARRAGUL BOWLING CLUB, BURKE STREET PARK 1.8KM

WARRAGUL TRAIN STATION (V/LINE), BUS STOP ROUTES 81, 82, 83 85, 89 1.5KM

LOCAL SHOPS, LOCAL RESTAURANTS, WEST GIPPSLAND MEDICAL CLINIC 1.1KM

GLADSTONE STREET MEDICAL CLINIC 1.3KM

CIVIC PARK 550M

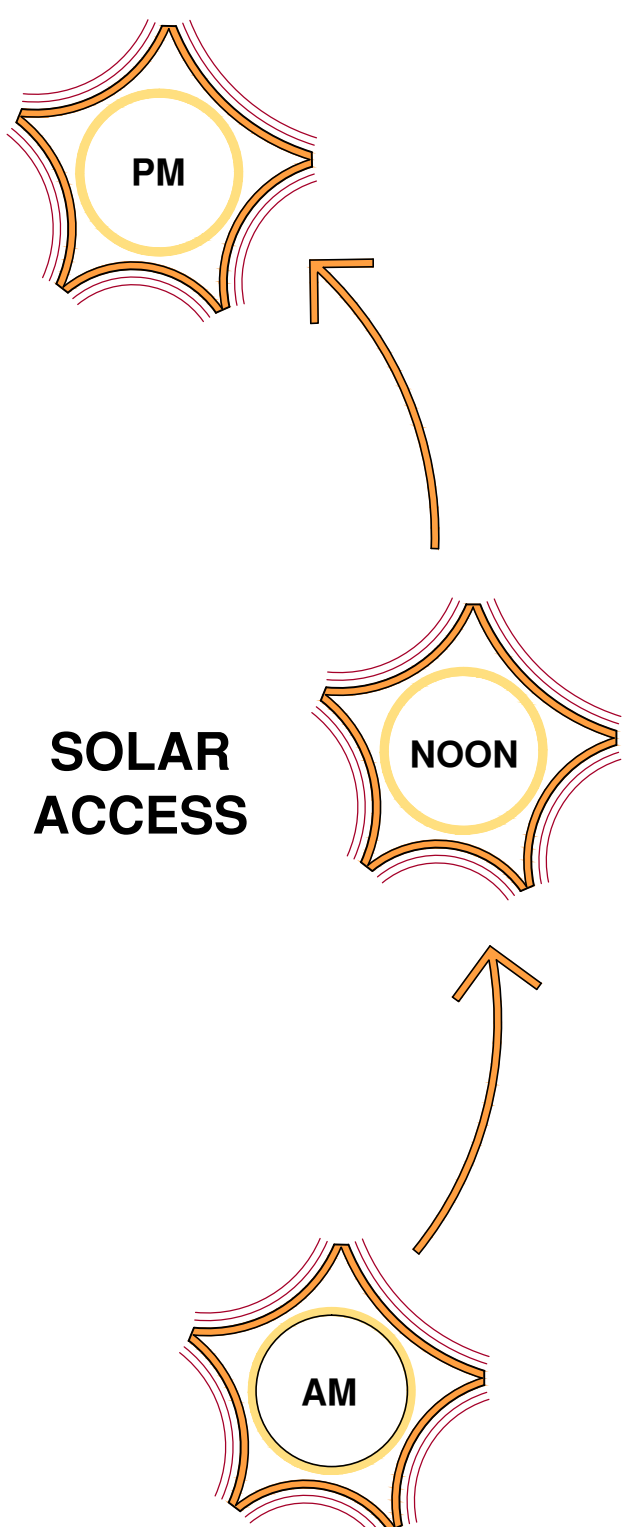
WESTERN PARK, WARRAGUL FOOTBALL & NETBALL CLUB 1.2KM

SCENIC RESERVE 500M

BUS STOP ROUTE 81 550M

BROOKER PARK 450M

ST PAUL'S ANGLICAN GRAMMAR SCHOOL 1.3KM



SITE LOCATION NOT TO SCALE MELWAYS REF: 704 F5



EXISTING NEIGHBOURHOOD AND SITE DESCRIPTION PLAN SCALE 1:200

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01 **bdav** **building design**

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BUILER:

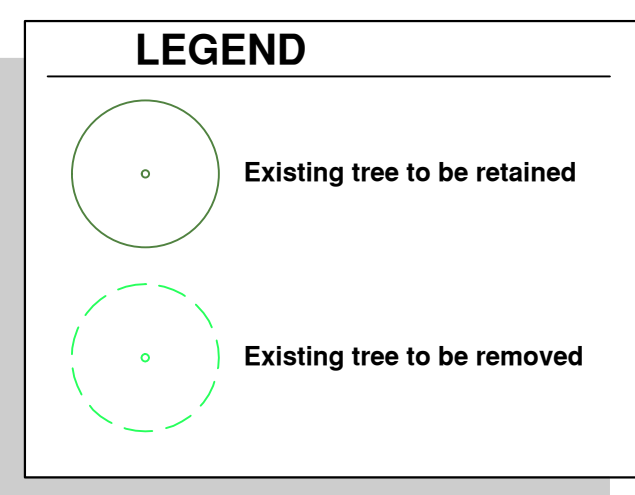


JOB ADDRESS: NO. 12 CATON STREET WARRAGUL VIC. 3820		CLIENT: ROMEO HOMES	
DRAWN: AD	SHEET: 01	CODE: PC	PROJECT TYPE: MULTI-UNIT DEVELOPMENT
CHECKED:	TIME:	TYPE: MU	REVISION: JOB No:
DATE: APR 2018	SCALE: 1:200 AT A1	DRAFT No:	ISSUE: PI
			18-037

NOTE: All levels are to A.H.D. Refer to site survey and site re-establishment for additional details.

NOTE: There have been no significant trees removed from the site within the past 12 months

NOTE: There is no contaminated soils and/or filled areas to our knowledge on the subject site but would require investigation by a geotechnical engineer to assess.



VICTORIA STREET MEDICAL CLINIC, LOCAL SHOPS 500M

WARRAGUL BOWLING CLUB, BURKE STREET PARK 1.8KM

WARRAGUL TRAIN STATION (V/LINE), BUS STOP ROUTES 81, 82, 83 85, 89 1.5KM

LOCAL SHOPS, LOCAL RESTAURANTS, WEST GIPPSLAND MEDICAL CLINIC 1.1KM

GLADSTONE STREET MEDICAL CLINIC 1.3KM

CIVIC PARK 550M

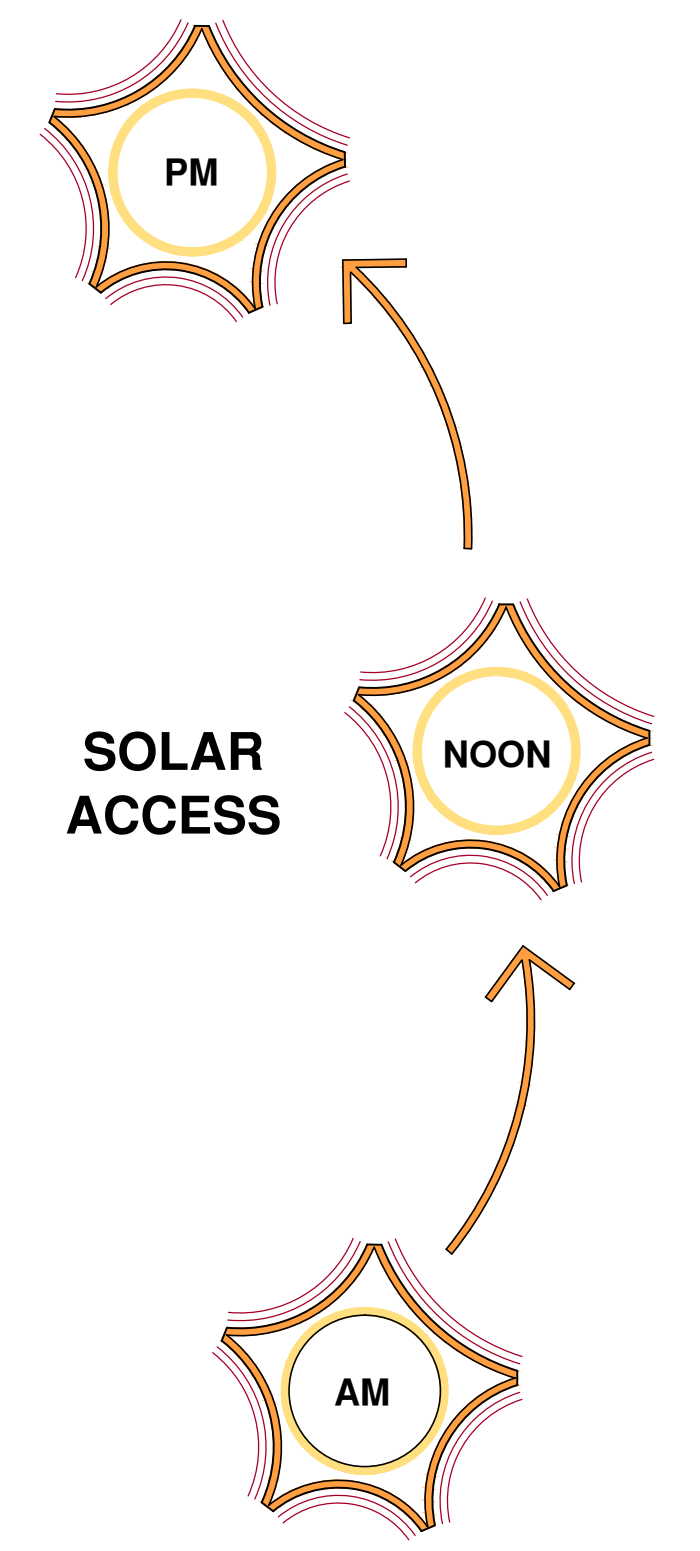
WESTERN PARK, WARRAGUL FOOTBALL & NETBALL CLUB 1.2KM

SCENIC RESERVE 500M

BUS STOP ROUTE 81 550M

BROOKER PARK 450M

ST PAUL'S ANGLICAN GRAMMAR SCHOOL 1.3KM



DESIGN RESPONSE PLAN SCALE 1:200



SITE LOCATION NOT TO SCALE MELWAYS REF: 704 F5

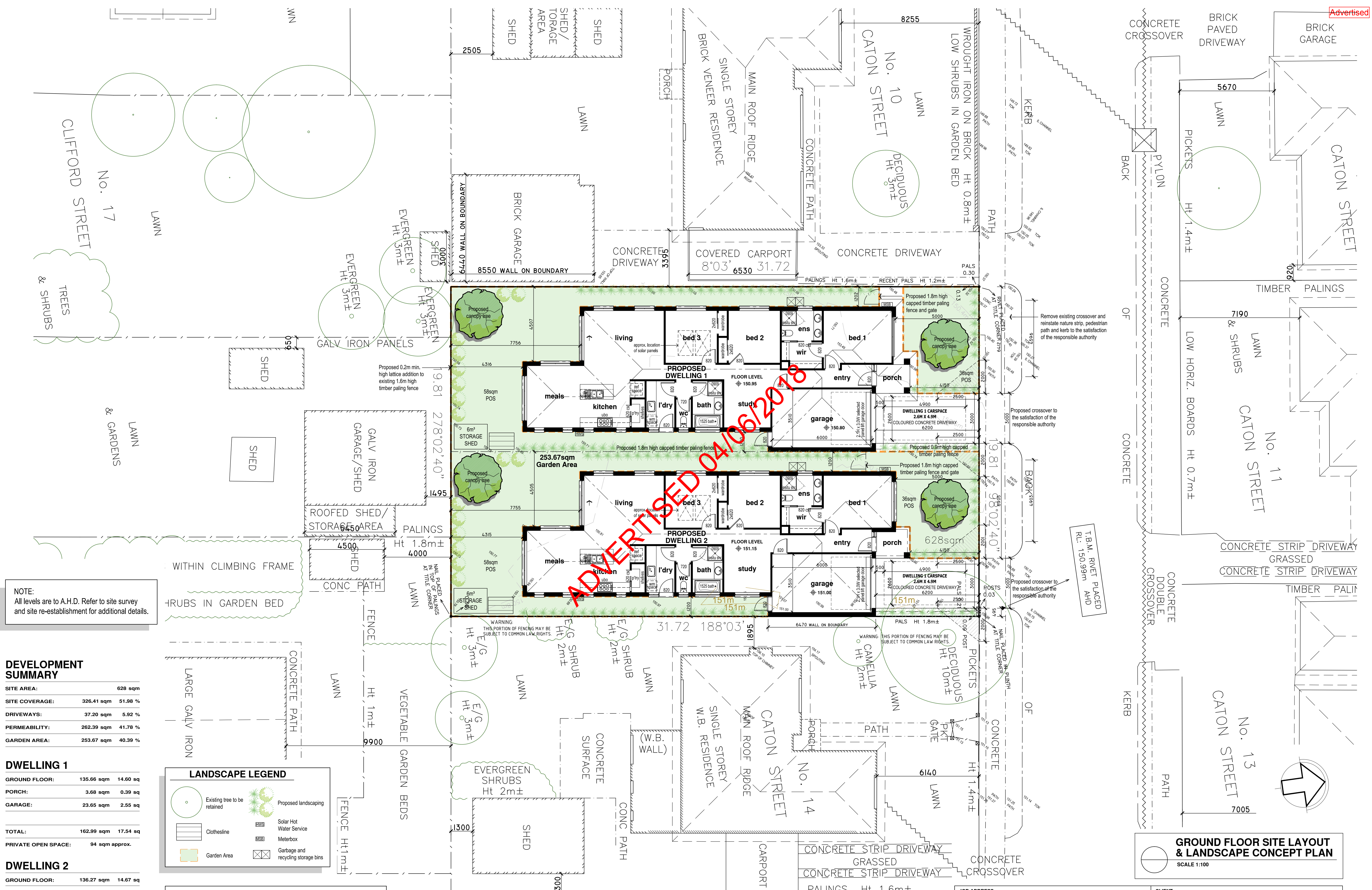
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02 bdaV CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

BUILDER:



JOB ADDRESS: NO. 12 CATON STREET WARRAGUL VIC. 3820		CLIENT: ROMEO HOMES	
DRAWN: AD	SHEET: 02	CODE: PC	PROJECT TYPE: MULTI-UNIT DEVELOPMENT
CHECKED:	TIME:	TYPE: MU	REVISION: JOB No:
DATE: APR 2018	SCALE: 1:200 AT A1	DRAFT No:	ISSUE: PI
			18-037



NOTE:
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DEVELOPMENT SUMMARY

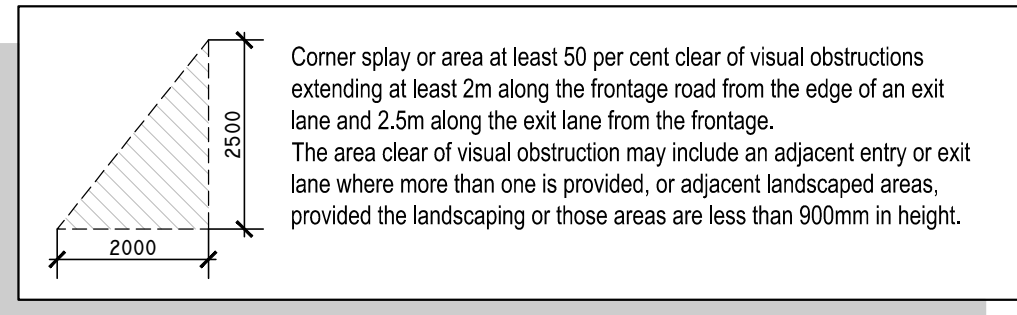
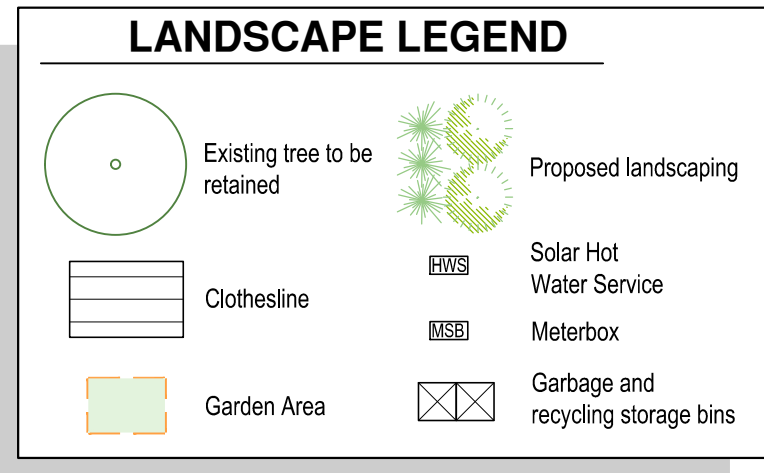
SITE AREA:	628 sqm
SITE COVERAGE:	326.41 sqm 51.98 %
DRIVEWAYS:	37.20 sqm 5.92 %
PERMEABILITY:	262.39 sqm 41.78 %
GARDEN AREA:	253.67 sqm 40.39 %

DWELLING 1

GROUND FLOOR:	135.66 sqm	14.60 sq
PORCH:	3.68 sqm	0.39 sq
GARAGE:	23.65 sqm	2.55 sq
TOTAL:	162.99 sqm	17.54 sq
PRIVATE OPEN SPACE:	94 sqm approx.	

DWELLING 2

GROUND FLOOR:	136.27 sqm	14.67 sq
PORCH:	3.50 sqm	0.38 sq
GARAGE:	23.65 sqm	2.55 sq
TOTAL:	163.42 sqm	17.59 sq
PRIVATE OPEN SPACE:	94 sqm approx.	



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03 bdcv
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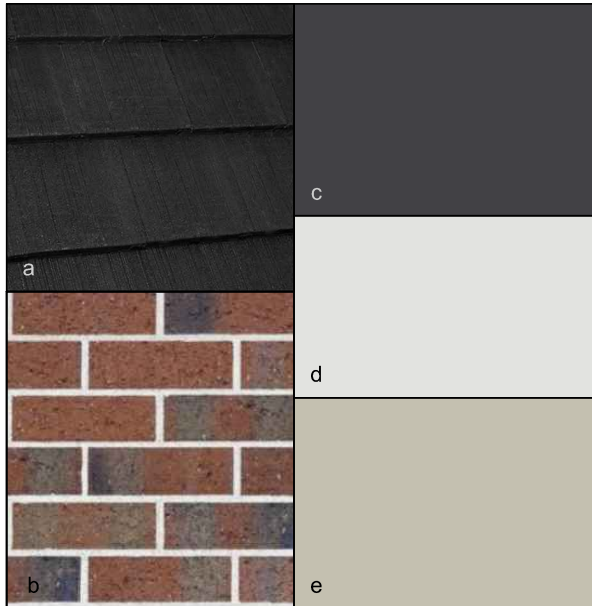
BUILDER:



GROUND FLOOR SITE LAYOUT & LANDSCAPE CONCEPT PLAN
SCALE 1:100

JOB ADDRESS: NO.12 CATON STREET WARRAGUL VIC. 3820		CLIENT: ROMEO HOMES	
DRAWN: MM / JT	SHEET: 03	CODE: PC	PROJECT TYPE: MULTI-UNIT DEVELOPMENT
CHECKED:	TIME:	TYPE: MU	REVISION: JOB No:
DATE: APR 2018	SCALE: 1:100 AT A1	DRAFT No:	ISSUE: PI
			18-037

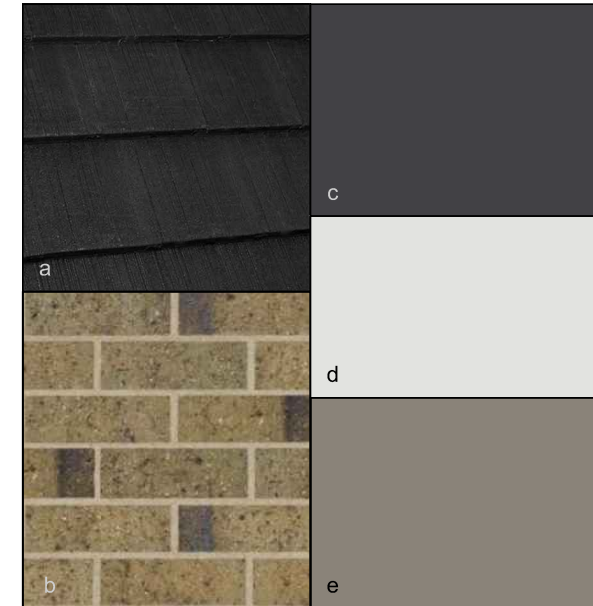
DWELLING 1 COLOUR & MATERIALS SCHEDULE



- a) Roof Tiles BORAL Striata 'Ebony' (or similar)
- b) Selected Bricks: AUSTRAL Melbourne 'Canterbury' (or similar)
- c) Gutters: COLORBOND 'Monument' (or similar)
- d) Downpipes, Fascia, Capping, Aluminium Window Frames, Selected Garage Door: COLORBOND 'Surfmist' (or similar)
- e) Rendered Lightweight Cladding: COLORBOND 'Evening Haze'

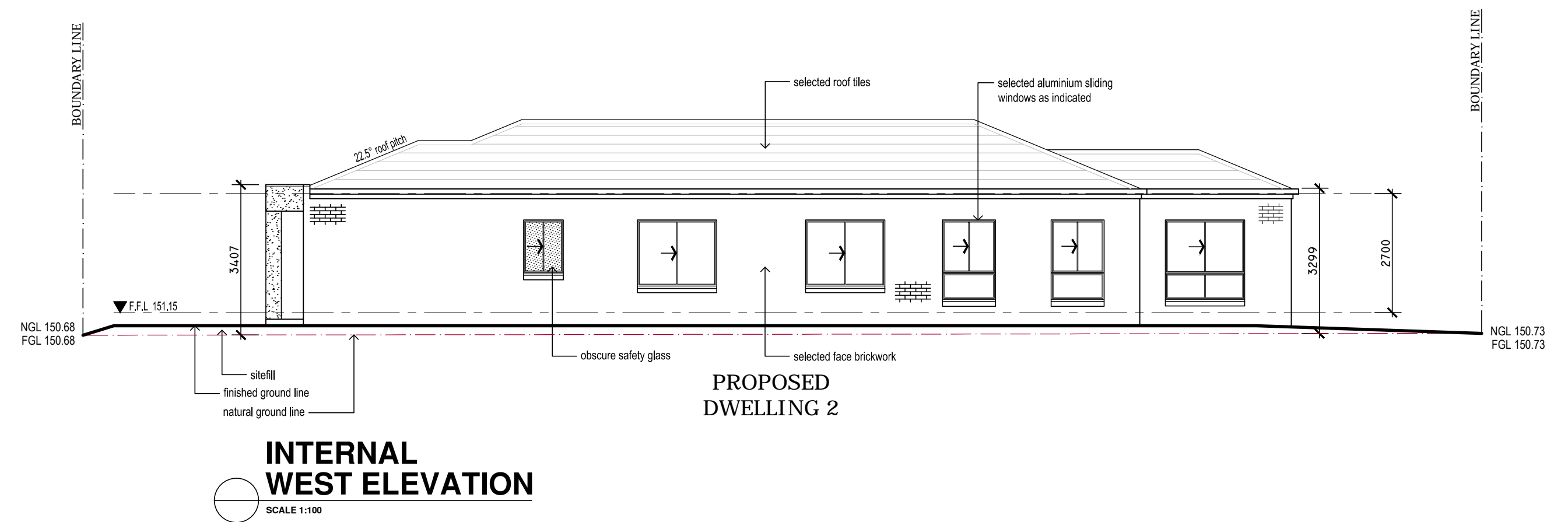
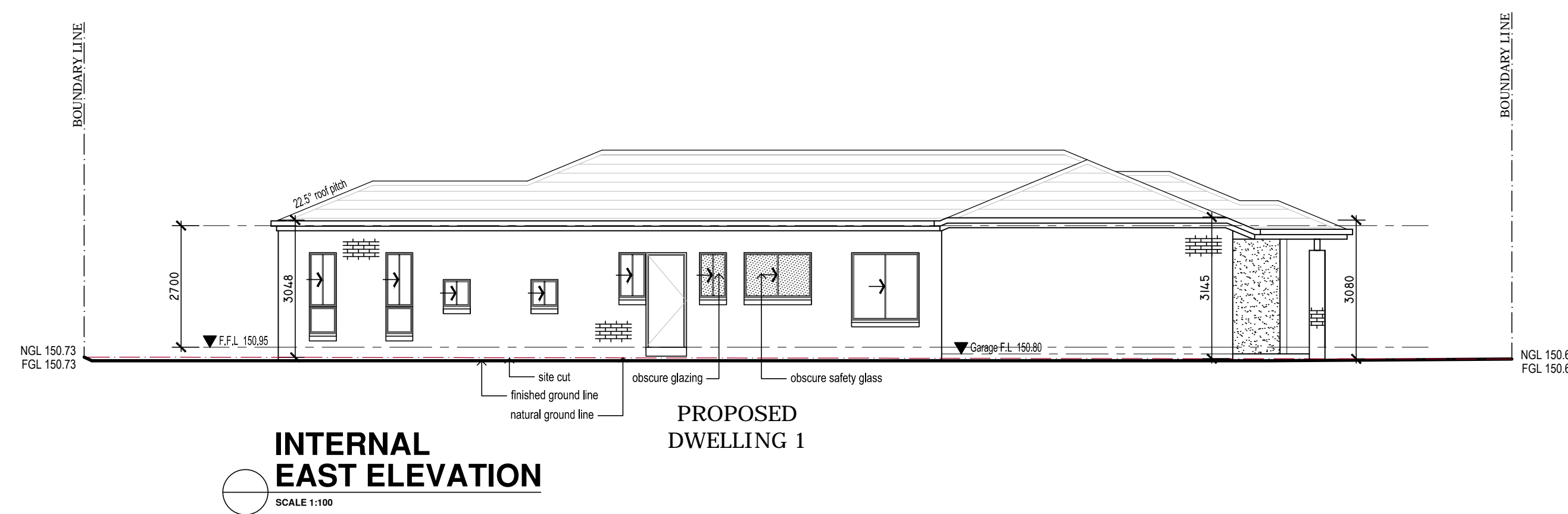
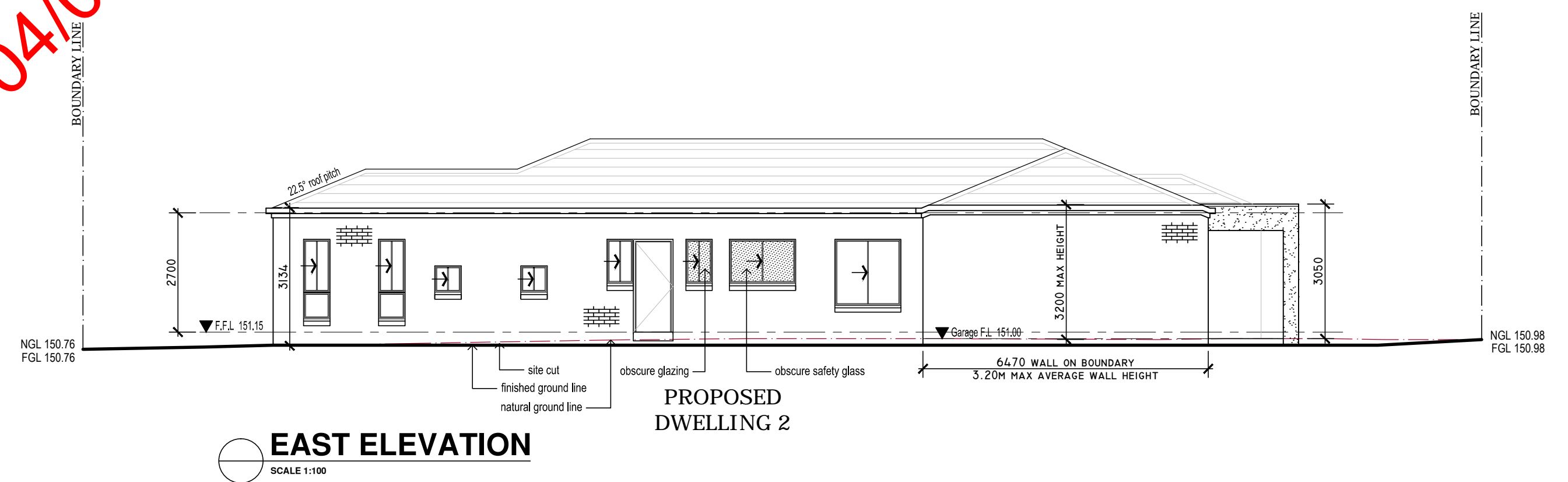
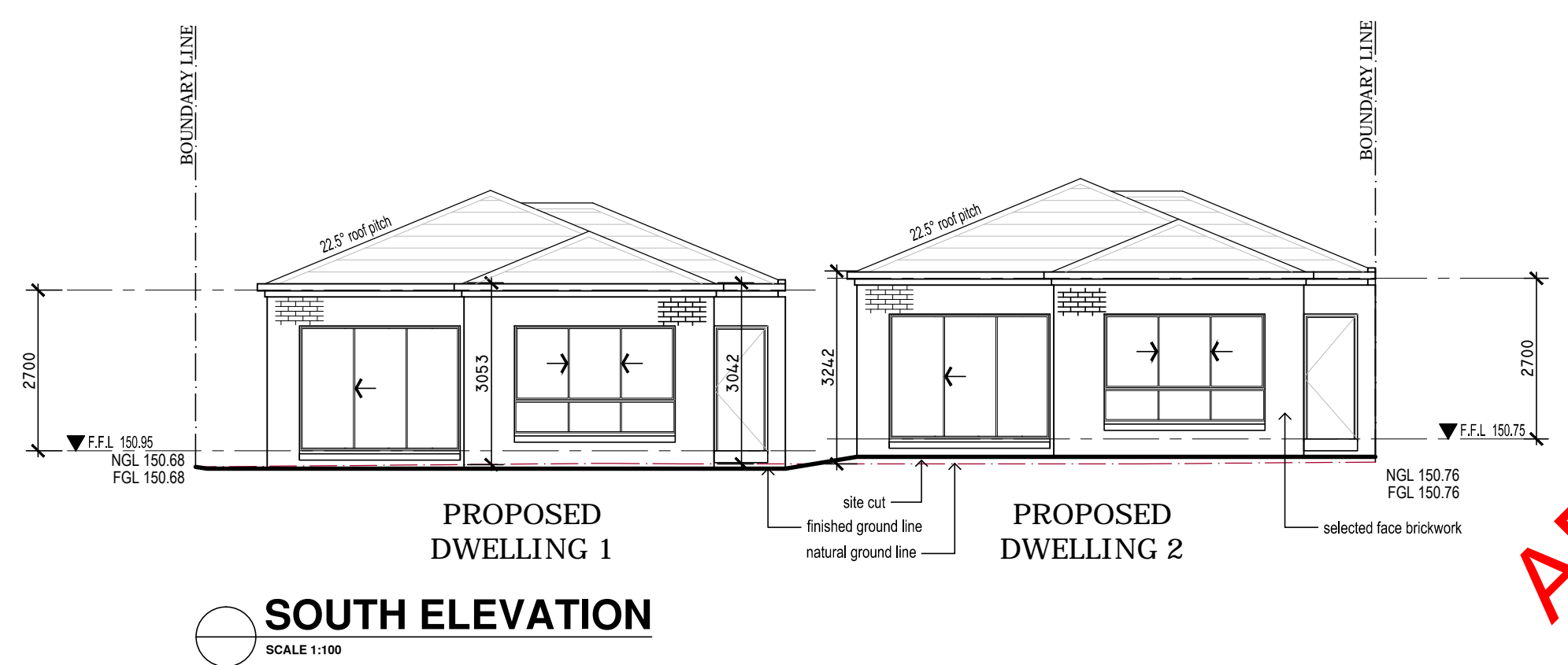
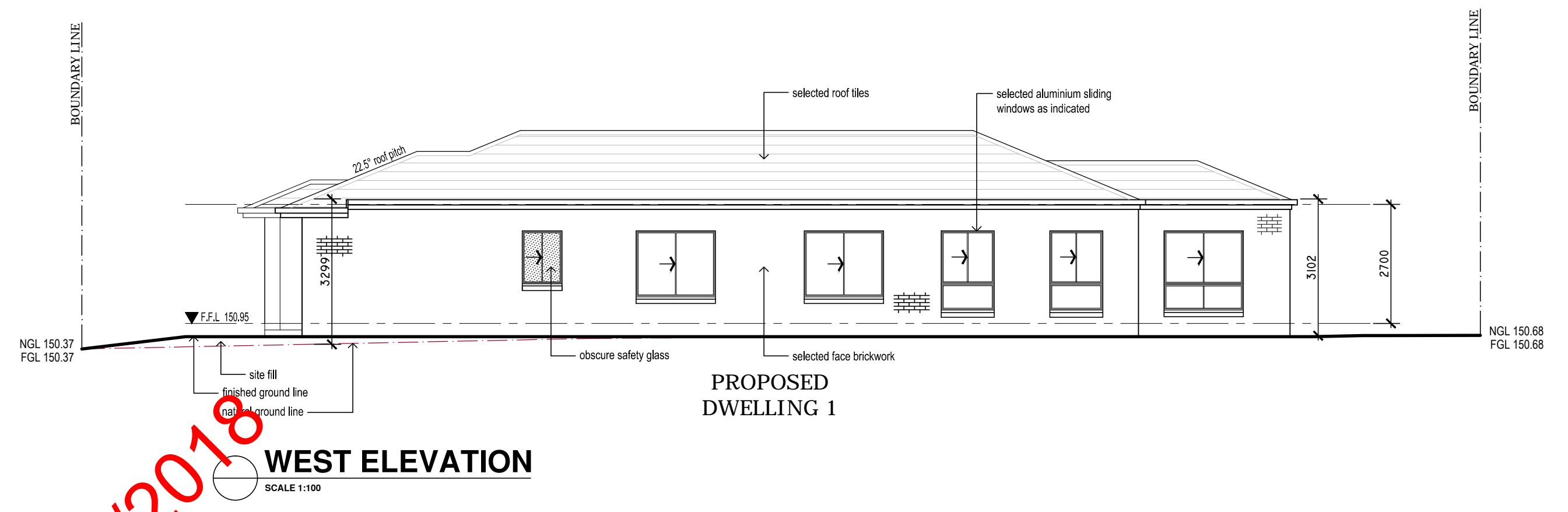
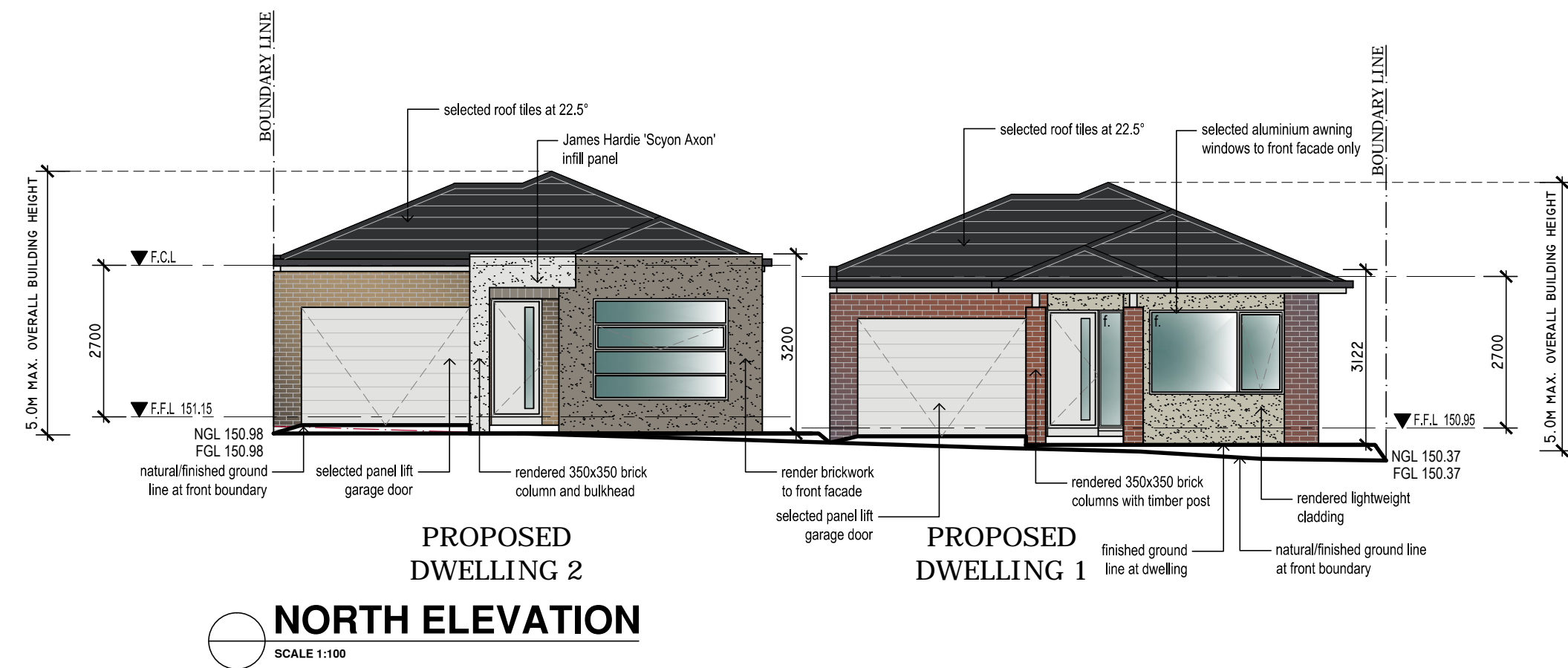
PLEASE NOTE:
All colours are AutoCAD derived and only indicative of the manufacturers product.
Please refer to manufacturer specification for exact colour match.
Where colour and manufacturers' specified not available, a similar match is to be substituted

DWELLING 2 COLOUR & MATERIALS SCHEDULE



- a) Roof Tiles BORAL Striata 'Ebony' (or similar)
- b) Selected Bricks: AUSTRAL Melbourne 'Newport' (or similar)
- c) Gutters: COLORBOND 'Monument' (or similar)
- d) Downpipes, Fascia, Capping, Aluminium Window Frames, Selected Garage Door: COLORBOND 'Surfmist' (or similar)
- e) Rendered Brickwork, Selected Lightweight Cladding: WATTYL 'Tuz Lake 46.70'


PLEASE NOTE:
All colours are AutoCAD derived and only indicative of the manufacturers product.
Please refer to manufacturer specification for exact colour match.
Where colour and manufacturers' specified not available, a similar match is to be substituted



ADVERTISED 04/06/2018

NOTE:
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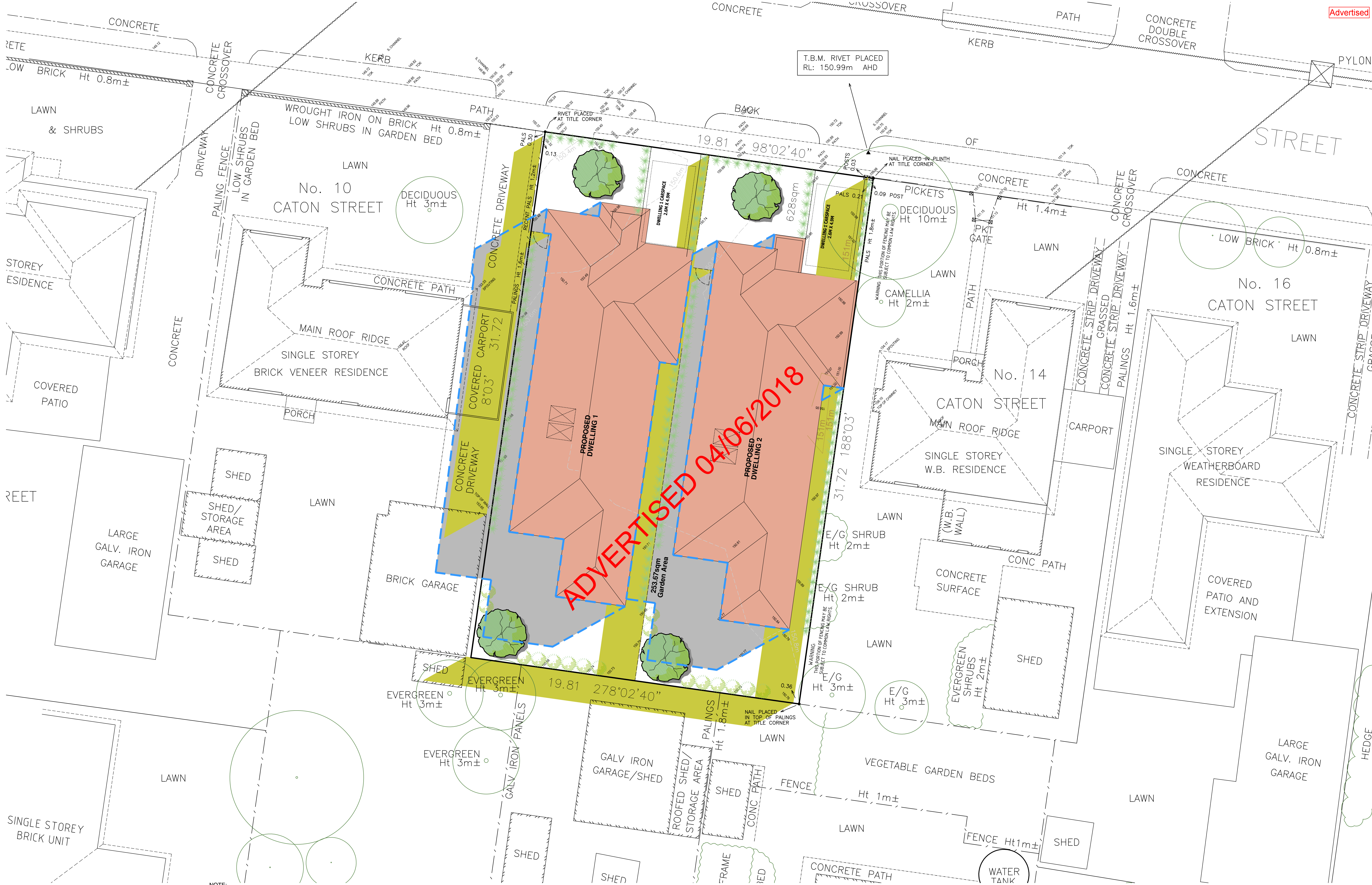
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BUILDER:

SKETCH building design

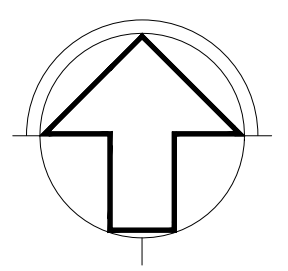
JOB ADDRESS: NO. 12 CATON STREET WARRAGUL VIC. 3820		CLIENT: ROMEO HOMES	
DRAWN: MM / JT	SHEET: 04	CODE: PC	PROJECT TYPE: MULTI-UNIT DEVELOPMENT
CHECKED:	TIME:	TYPE: MU	REVISION: JOB No:
DATE: APR 2018	SCALE: 1:100 AT A1	DRAFT No:	ISSUE: PI A
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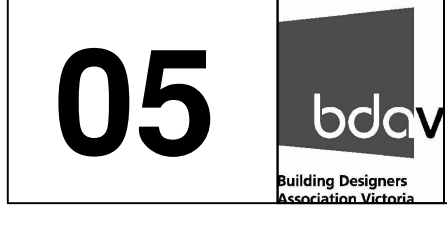
ADVERTISED 04/06/2018

NOTE:
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- Shadow cast from existing and proposed fencing
- Shadow cast from proposed dwellings
- Shadow cast from adjoining dwelling

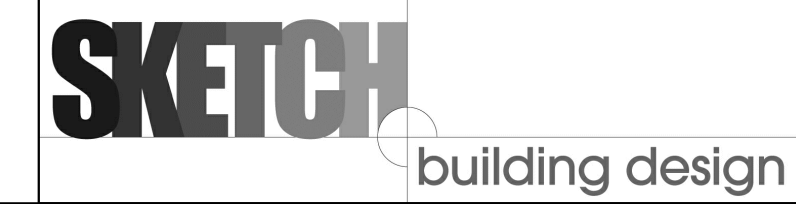


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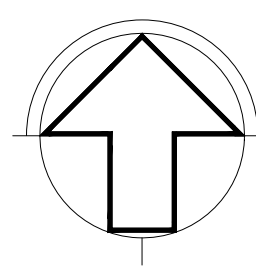
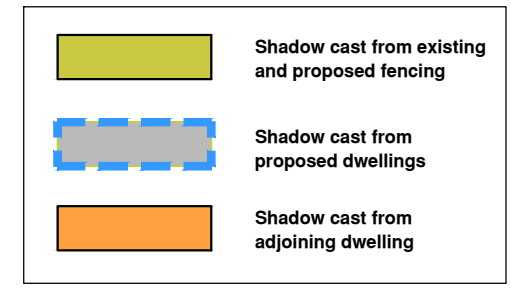
22 SEPTEMBER - EQUINOX 9AM SHADOW ANALYSIS
SCALE 1:100

JOB ADDRESS: NO.12 CATON STREET WARRAGUL VIC. 3820		CLIENT: ROMEO HOMES	
DRAWN: MM	SHEET: 05	CODE: PC	PROJECT TYPE: MULTI-UNIT DEVELOPMENT
CHECKED:	TIME:	TYPE: MU	REVISION: JOB No:
DATE: APR 2018	SCALE: 1:100 AT A1	DRAFT No:	ISSUE: PI A
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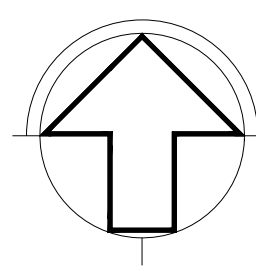
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DATE:	APR 2018	SCALE:	1:100 AT A1
CODE: PC		PROJECT TYPE: MULTI-UNIT DEVELOPMENT	
TYPE: MU		REVISION: JOB No:	
ISSUE: PI		18-037	

**22 SEPTEMBER - EQUINOX
12NOON SHADOW ANALYSIS**
SCALE 1:100



22 SEPTEMBER - EQUINOX 3PM SHADOW ANALYSIS
SCALE 1:100

- Shadow cast from existing and proposed fencing
- Shadow cast from proposed dwellings
- Shadow cast from adjoining dwelling



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BUILDER:



JOB ADDRESS: NO. 12 CATON STREET WARRAGUL VIC. 3820			CLIENT: ROMEO HOMES		
DRAWN:	MM	SHEET:	07	CODE:	PC
CHECKED:		TIME:		TYPE:	MU
DATE:	APR 2018	SCALE:	1:100 AT A1	DRAFT NO.:	
			PROJECT TYPE:	MULTI-UNIT DEVELOPMENT	
			REVISION:	JOB No:	
			ISSUE:	18-037	